

CITY OF ESCONDIDO

Planning Commission and Staff Seating



- A. CALL TO ORDER: 7:00 p.m.
- B. FLAG SALUTE
- C. ROLL CALL:
- D. MINUTES: 03/22/16

The Brown Act provides an opportunity for members of the public to directly address the Planning Commission on any item of interest to the public before or during the Planning Commission's consideration of the item. If you wish to speak regarding an agenda item, please fill out a speaker's slip and give it to the minutes clerk who will forward it to the chairman.

Electronic Media: Electronic media which members of the public wish to be used during any public comment period should be submitted to the Planning Division at least 24 hours prior to the meeting at which it is to be shown.

The electronic media will be subject to a virus scan and must be compatible with the City's existing system. The media must be labeled with the name of the speaker, the comment period during which the media is to be played and contact information for the person presenting the media.

The time necessary to present any electronic media is considered part of the maximum time limit provided to speakers. City staff will queue the electronic information when the public member is called upon to speak. Materials shown to the Commission during the meeting are part of the public record and may be retained by the City.

The City of Escondido is not responsible for the content of any material presented, and the presentation and content of electronic media shall be subject to the same responsibilities regarding decorum and presentation as are applicable to live presentations.

If you wish to speak concerning an item not on the agenda, you may do so under "Oral Communications" which is listed at the beginning and end of the agenda. All persons addressing the Planning Commission are asked to state their names for the public record.

Availability of supplemental materials after agenda posting: any supplemental writings or documents provided to the Planning Commission regarding any item on this agenda will be made available for public inspection in the Planning Division located at 201 N. Broadway during normal business hours, or in the Council Chambers while the meeting is in session.

The City of Escondido recognizes its obligation to provide equal access to public services for individuals with disabilities. Please contact the A.D.A. Coordinator, (760) 839-4643 with any requests for reasonable accommodation at least 24 hours prior to the meeting.

The Planning Division is the coordinating division for the Planning Commission.
For information, call (760) 839-4671.

E. WRITTEN COMMUNICATIONS:

"Under State law, all items under Written Communications can have no action, and will be referred to the staff for administrative action or scheduled on a subsequent agenda."

1. Future Neighborhood Meetings

F. ORAL COMMUNICATIONS:

"Under State law, all items under Oral Communications can have no action, and may be referred to the staff for administrative action or scheduled on a subsequent agenda."

This is the opportunity for members of the public to address the Commission on any item of business within the jurisdiction of the Commission.

G. PUBLIC HEARINGS:

Please try to limit your testimony to 2-5 minutes.

1. TENTATIVE SUBDIVISION MAP, MASTER and PRECISE DEVELOPMENT PLAN, ZONE CHANGE, and AMENDMENT TO THE SOUTH ESCONDIDO AREA PLAN – SUB 15-0022; SUB 15-0023; PHG 15-0031; AZ 15-0002 and ENV 15-0011:

REQUEST: The project involves a Master and Precise Development Plan for 113 air-space, three-story condominium/townhome units on approximately 4.90 acres of land. Two Tentative Subdivision Maps (Del Prado North – 81 units and Del Prado South – 32 units) are requested because all of the subject parcels are not contiguous. An Amendment to the South Escondido Boulevard Area Plan is requested to allow an exclusively residential project on the site in conjunction with a Zone Change from General Commercial (CG) zoning to Planned Development-Residential (PD-R). Project components includes a mix of two- and three-bedroom units ranging from 1,109 SF to 1,584 SF situated in 27 separate buildings (21 buildings Del Prado North and 6 buildings Del Prado South). A dedicated two-car garage would be provided for each unit along with additional on-site open parking spaces. The project includes shared recreational facilities including a pool, deck/trellis features and BBQ areas. The proposal also includes the adoption of the environmental determination prepared for the project.

PROPERTY LOCATION: The 4.90-acre project site generally is located on the southwestern corner of S. Centre City Parkway and Brotherton Road. The project consists of five parcels (APNs 238-130-11; -26; -27; -35 and -36) addressed as 2329 Centre City Parkway. The site fronts onto and takes access from Brotherton Road on the north, and Centre City Parkway frontage road on the east.

ENVIRONMENTAL STATUS: A Draft Mitigated Negative Declaration (MND) was issued for the project on March 1, 2016 in conformance with the California Environmental Quality Act (CEQA).

APPLICANT:

STAFF RECOMMENDATION: Approval

COMMISSION ACTION:

PROJECTED COUNCIL HEARING DATE:

H. CURRENT BUSINESS:

Note: Current Business items are those which under state law and local ordinances do not require either public notice or public hearings. Public comments will be limited to a maximum time of three minutes per person.

- 1. Approve Planning Commission Resolution 6063 Recommending DENIAL of a Tentative Map, Master and Precise Plan, Zone Change and Amendment to the South Escondido Boulevard Area Plan (SUB 14-0018; AZ 14-0006) to construct 65 attached, three-story condominium units.**

Location: 2516 S. Escondido Boulevard

I. ORAL COMMUNICATIONS:

"Under State law, all items under Oral Communications can have no action and may be referred to staff for administrative action or scheduled on a subsequent agenda."

This is the opportunity for members of the public to address the Commission on any item of business within the jurisdiction of the Commission.

J. PLANNING COMMISSIONERS

K. ADJOURNMENT

CITY OF ESCONDIDO

**MINUTES OF THE REGULAR MEETING OF THE
ESCONDIDO PLANNING COMMISSION**

March 22, 2016

The meeting of the Escondido Planning Commission was called to order at 7:00 p.m. by Chairman Weber in the City Council Chambers, 201 North Broadway, Escondido, California.

Commissioners present: Jeffery Weber, Chairman; Bob McQuead, Vice-chairman; Ed Hale, Commissioner; James Spann, Commissioner; Don Romo, Commissioner; and Gregory Johns, Commissioner. (One position vacant).

Commissioners absent: None.

Staff present: Jay Petrek, Director of Community Development; Adam Phillips, Deputy City Attorney; Owen Tunnell, Principal Engineer; and Ty Paulson, Minutes Clerk.

MINUTES:

Moved by Commissioner Hale, seconded by Commissioner Romo, to approve the minutes of the February 9, 2016 meeting. Motion carried unanimously. (6-0)

WRITTEN COMMUNICATIONS – None.

FUTURE NEIGHBORHOOD MEETINGS – None.

ORAL COMMUNICATIONS – None.

PUBLIC HEARINGS:

1. **TENTATIVE MAP, MASTER AND PRECISE DEVELOPMENT PLAN, ZONE CHANGE, AND AMENDMENT TO THE SOUTH ESCONDIDO BOULEVARD AREA PLAN – SUB 14-0018; AZ 14-0006:**

REQUEST: A request for a Zone Change from CG (General Commercial) to PD-R 28.4 (Planned Development – Residential, 28.4 dwelling units per acre), in conjunction with a Master and Precise Development Plan and a one-lot Tentative Subdivision Map to construct 65 attached, three-story condominium units. The residential units would be grouped in 11 residential buildings with five to seven

units each. Each approximately 1,600 SF townhome unit would include a two-car garage and up to three bedrooms. Three recreational open space areas for residents are proposed on the site. An amendment to the South Escondido Boulevard Area Plan also is proposed to allow residential development without a mixed-use commercial component within the South Escondido Boulevard commercial corridor. The proposal also includes the adoption of the environmental determination prepared for the project.

LOCATION: The approximately 2.29-acre project site is located within the South Escondido Boulevard Area Plan on the eastern side of South Escondido Boulevard and the western side of Cranston Drive, south of Citracado Parkway, addressed as 2516 S. Escondido Boulevard.

Jay Petrek, Director of Community Development, referenced the staff report and noted staff issues were the appropriateness of the project design elements and whether adequate setbacks, parking and open space had been provided for the proposed development; 2) the appropriateness of the proposed amendment to the South Escondido Boulevard Neighborhood Plan to eliminate the commercial requirement on the site; and whether a residential use without a commercial component would be appropriate for the project site. Staff recommended approval based on the following: 1) The overall mass, scale and design of the proposed residential buildings were comparable to the residential development existing on the adjacent property to the north. The project had been designed to function almost as a second phase to that adjacent residential project by incorporating a similar building style with the buildings located in a manner that allows view corridors to remain through the site. Staff believed the development provided an appropriate amount of parking to suit the needs of residents and guests, and that a quality living environment will be ensured by the level of amenities provided in the recreation areas and the even distribution of outdoor recreation areas throughout the development; and 2) Staff felt the proposed amendment to the South Escondido Boulevard Neighborhood Plan to allow an exclusively residential project at this 'mid-block' location would be appropriate because this type of development would serve as an appropriate transition between the mix of commercial uses to the north and south, and residential uses to the north and east. The General Plan vision for the Centre City Parkway/Brotherton Road Target Area called for locating non-residential uses at major intersections and specific nodes that were more conducive to commercial development. Staff felt that an exclusively residential development on this site could provide the catalyst for future residential development in the corridor and strengthen the customer base for mixed-use development at key intersections and node areas.

Discussion ensued regarding a clarification of the proposed street improvements on Escondido Boulevard, a clarification of the location for the power poles on

Cranston Drive and Escondido Boulevard in relation to the project, and a clarification of waste collection operations for the subject project.

Vice-chairman McQuead referenced the setbacks for the project's northern units and questioned whether adequate space would be provided for vehicles to back out of the parking spaces. Mr. Petrek replied in the affirmative.

Vice-chairman McQuead referenced the projected trip generations, feeling that the peak hour morning traffic would be more than projected. Mr. Tunnell noted that the preliminary traffic projections were calculated using SANDAG guidelines, which showed no significant impacts as well as the subject intersections operating at a Level B.

Commissioner Romo asked if the traffic study took into consideration the adjacent apartment complex. Mr. Petrek replied in the affirmative.

Commissioner Johns asked if the project warranted a full traffic study. Mr. Petrek replied in the negative. Commissioner Johns noted that the intersection of Citracado and Escondido Boulevard was heavily congested in the mornings, questioning whether the subject project would add to this issue. Mr. Petrek replied that the congestion was a regional issue and that the project would incrementally add to the existing traffic in the area.

Commissioner Spann and staff discussed the proposed location for the project's vertical landscaping. Commissioner Spann noted he had issues with the project's floor plans.

Commissioner Romo did not feel the project's vehicle trips would create significant impacts.

Commissioner Hale and staff discussed the project's traffic impact fees.

Vice-chairman McQuead asked what the plan was if the units could not be sold.

Edward Kaen, ETP, LLC, noted that they planned on selling the units as townhomes. He also indicated that the City was recommending four- and five-story units with higher density.

Vice-chairman McQuead asked what would happen if the units did not sell and whether there was a prohibition against renting. Mr. Kaen noted that the CC&Rs had not been developed yet.

Vice-chairman McQuead asked Mr. Kaen if they had communications with EDI for the trash collection. Mr. Kaen replied in the affirmative. Vice-chairman McQuead did not feel the proposed trash collection was the best method for collecting trash. Mr. Kaen noted the adjacent property was using the same trash collection system.

Commissioner Spann asked Mr. Kaen if the project could be constructed reducing it by 8 units on the north side in order to accommodate more parking and reducing the density of the project. Mr. Kaen noted that they had already reduced the project from 68 units to 65 units.

Ron Verrier, Escondido, noted that he lived in Urbana, noting that the project would block his view. He expressed his concern with the intersection of Cranston and Escondido Boulevard already being heavily congested and the subject project adding to the congestion. He stated that there was no parking on Escondido Boulevard or Cranston in the subject area. He also elaborated that he had witnessed many accidents in the subject area due to the traffic congestion.

Vice-chairman McQuead asked Mr. Verrier if he felt his complex needed additional guest parking. Mr. Verrier replied in the affirmative.

Vice-chairman McQuead asked Mr. Verrier if he had any issues with the current trash collection, which was similar to what was being proposed for the subject project. Mr. Verrier replied in the negative.

Vice-chairman McQuead felt the project would create traffic issues as well as being too dense.

Commissioner Johns expressed his concern with the project creating issues with traffic, not having adequate parking, and the potential for the project becoming a rental project.

Commissioner Spann felt the project would add traffic to an area that was already congested during peak hours. He felt the project needed additional parking and was too dense. He was also concerned with the setbacks and floor plan.

Commissioner Hale expressed his concern with the project becoming a rental project. He was concerned with the City wanting the project to be more dense, noting he was opposed to urbanization. He did not feel the project would create traffic issues or trash collection issues. He felt there was a conflict with what was the best use for the subject property and what the applicant was told, noting the applicant followed what the City approved.

Chairman Weber expressed his concern with the subject area being a gateway to the City, feeling a moratorium should be established for this type of project. He felt the project would not be compatible with the Spanish architecture existing in the area. He felt the project was too dense, would not provide adequate parking as well as there being no off-street parking in the area.

Commissioner Hale felt the Commission should base its decision on the Findings of Fact in the staff report before taking action.

Commissioner Romo and Mr. Oliver discussed the ratio of units that would be allowed for a mixed-use project.

Commissioner Hale and staff discussed the project's parking plan. Commissioner Hale noted that according to staff the project did not meet the needed parking.

MOTION:

Moved by Commissioner Hale, seconded by Chairman Weber, to continue Item 1 and encourage the applicant to review the Findings of Fact, specifically Page 30, Item 3.

Commissioner Spann noted that there was no guarantee that the project would pencil out even though it met the land use criteria.

Commissioner Hale sympathized with the developer working with the City to present a project that staff could support.

Commissioner Romo suggested the applicant figure out the parking and come back to the Commission versus moving forward with a mixed-use project.

Mr. Kaen noted that the project provided the needed parking. Mr. Petrek re-examined the site plan and the staff report and noted that staff report was incorrect and the project provided adequate parking.

Commissioner Hale withdrew his motion, noting that the applicant had met the letter of the law. Chairman Weber withdrew his motion.

ACTION:

Moved by Commissioner Hale, seconded by Commissioner Johns, to approve staff's recommendation. Motion did not carry. Ayes: Hale and Romo. Noes: Spann, Johns, McQuead, and Weber. (2-4)

CURRENT BUSINESS – None.

ORAL COMMUNATIONS – None.

PLANNING COMMISSIONERS:

Commissioner Hale noted this would be his last meeting. Chairman Weber thanked Commissioner Hale for his service.

ADJOURNMENT:

Chairman Weber adjourned the meeting at 8:10 p.m. The next meeting was scheduled for April 12, 2016, at 7:00 p.m. in the City Council Chambers, 201 North Broadway, Escondido, California.

Bill Martin, Secretary to the Escondido
Planning Commission

Ty Paulson, Minutes Clerk

PLANNING COMMISSION

Agenda Item No.: G.1
Date: April 12, 2016

CASE NUMBER: SUB 15-0022 and SUB 15-0023, PHG 15-0031, AZ 15-0002 and ENV 15-0011

APPLICANT: Touchstone Communities

LOCATION: The 4.9-acre project site generally is located on the southwestern corner of S. Centre City Parkway and Brotherton Road. The project consists of five parcels (APNs 238-130-11, -26, -27, -35 and -36) addressed as 2329 Centre City Parkway. The site fronts onto and takes access from Brotherton Road on the north, and Centre City Parkway frontage road on the east.

TYPE OF PROJECT: Master and Precise Development Plan, Tentative Subdivision Maps, Zone Change, and Amendment to the South Escondido Boulevard Neighborhood Plan

PROJECT DESCRIPTION: The project involves a Master and Precise Development Plan for 113 air-space, three-story condominium/townhome units on approximately 4.9 acres of land divided into a 3.47-acre northern and 1.4-acre southern component. Two Tentative Subdivision Maps (Del Prado North – 81 units and Del Prado South – 32 units) are requested because all of the subject parcels are not contiguous. An Amendment to the South Escondido Boulevard Area Plan is requested to allow an exclusively residential project on the site in conjunction with a Zone Change from General Commercial (CG) zoning to Planned Development-Residential (PD-R 24 du/ac). Project components includes a mix of two- and three-bedroom units ranging from 1,109 SF to 1,584 SF situated in 27 separate buildings (21 buildings Del Prado North and 6 buildings Del Prado South). A dedicated two-car garage would be provided for each unit along with additional on-site open parking spaces. The project includes shared recreational facilities including a pool, deck/trellis features and BBQ areas. The existing single-family home located on the northern site recently was removed. The proposal also includes the adoption of the environmental determination prepared for the project.

GENERAL PLAN DESIGNATION: General Commercial (CG) and Centre City Parkway/Brotherton Road Target Area

ZONING: Existing: General Commercial and South Escondido Boulevard Corridor Area Plan –Area “B”
Proposed: PD-R 24 (Planned Development-Residential, 24 dwelling units per acre)

BACKGROUND/SUMMARY OF ISSUES:

The project site (northern parcel) originally was the location of Woody’s restaurant (formally Cask ‘n Cleaver) that was demolished years ago. The General Plan land-use designation and current zoning is General Commercial. The site is located within the General Plan Centre City Parkway/Brotherton Road Target Area Plan that allows mixed-use projects with a minimum density of 30 dwelling units per acre (du/ac) and also allows for exclusively residential projects. The project site also is located with the South Escondido Boulevard Neighborhood Plan that allows for mixed-use development with a maximum density of up to 24 du/ac, but does not include exclusively residential projects. The Neighborhood Plan has not yet been updated to correspond with the new General Plan vision for the corridor. That update currently is underway, but in the interim, the exclusively residential nature of the proposed development will require approval of an amendment to the South Escondido Boulevard Neighborhood Plan. Density standards for exclusively residential projects ultimately will be specified when the South Escondido Boulevard Neighborhood Plan update is completed.

The project includes two separate Tentative Subdivision Maps that could be recorded and developed separately. However, the applicant intends to record both maps (north and south) concurrently, grade and install any off-site improvements for both sites at the same time. Construction is planned to be done in multiple phases starting with the northern project, and then the southern component following completion of the northern project.

Staff feels the issues are as follows:

1. Whether the design of the proposed project is consistent with the General Plan and South Escondido Boulevard Objectives and Design Guidelines for residential development.
2. Whether a residential use without a commercial component is appropriate on the site.

REASONS FOR STAFF RECOMMENDATION:

1. The proposed planned residential development would be in conformance with the General Plan which allows for exclusively residential development within a target area of the South Escondido Boulevard Area Plan known as the "Centre City Parkway/Brotherton Road Target Area" (page II-70). The project also would be in conformance with the South Escondido Boulevard Neighborhood Plan Objectives and Design Guidelines that strive to provide opportunities for a balanced mix of housing types, revitalize and renew the commercial area, and maximize home-ownership opportunities. Staff believes the development provides an appropriate amount of on-site parking for each project component as well as overflow on-street parking, and that a quality living environment will be ensured by the level of amenities provided in the recreation areas and landscape features distributed throughout the project. Although the buildings would be larger and taller than adjacent one- and two-story residential structures, compatibility with the adjacent neighborhood and overall mass and scale of the project has been addressed through the use of multiple smaller building groups rather than fewer but larger buildings; architectural style and building materials similar to adjacent single- and multi-family development; varied building setbacks around the perimeter of the site and larger setbacks adjacent to residential uses; varied wall planes and roof lines; and perimeter fencing/walls and landscaping to provide the appropriate transition between the adjacent land uses.
2. Staff believes the proposed Amendment to the South Escondido Boulevard Neighborhood Plan to allow an exclusively residential project would be appropriate for this site because this type of development would serve as an appropriate transition between the mix of lower density residential uses to the west and low intensity commercial on the north, south and east across Centre City Parkway. The General Plan vision for the corridor anticipates that commercial and mixed-use type development should be located towards major intersections and within specific commercial nodes. Although the project is located at a significant intersection, staff believes this specific corner is not conducive to a mixed-use or exclusively commercial development with higher traffic generation due to the proximity to single-family residential development and the overall configuration of the intersection and operational characteristics/limitations. Staff also believes a mixed-commercial component consisting of smaller and more restrictive shopkeeper type units is not anticipated to be a successful project within this southern section of South Escondido Boulevard, due to the mix of other commercial opportunities along the corridor and past experience with similar mixed-use projects.

Respectfully Submitted,



Jay Paul
Associate Planner

ANALYSIS

A. LAND USE COMPATIBILITY/SURROUNDING ZONING

NORTH: CG and R-1-10 zoning (General Commercial and Single-Family Residential, 10,000 SF min. lot size). A commercial development (known as Talk of the Town) currently under construction is located north of the site across Brotherton Road. The project consists of a 4,150 SF restaurant and 5,500 SF carwash/oil change facility. Single-family residential homes (one and two-story) also are located north and northwest of the project site across Brotherton Road. The driveway for proposed Del Prado North will align with Charise Street to the north. Parking along both sides of Brotherton Road (unclassified residential street) is allowed.

SOUTH: CG, PD-C and R-3-18 zoning (General Commercial, Planned Development Commercial and Multi-Family Residential 18 du/ac). A SDG&E transmission facility is located south of Del Prado North and west of Del Prado South. Access to the SDG&E facility is provided by a paved access and utility easement between the northern and southern components of the project. A masonry block wall is located around the perimeter of the SDG&E facility. A commercial development is located south of Del Prado South consisting of a Kinder Care facility and various in-line shops. A masonry block wall is located along the southern property boundary. A two-story multi-family residential development is located southwest of the project site. The adjacent multi-family residential development is located at a higher elevation and the rear of the units generally orient towards the site.

EAST: CG zoning (General Commercial). Centre City Parkway and S. Centre City Parkway frontage road is located along the project frontage (classified as a Super Major Road 110' R-O-W, and Local Collector Roadway 66' R-O-W). A variety of commercial development is located along the eastern side of Centre City Parkway. Single- and multi-family residential development is located further to the east and southeast.

WEST: CG and R-1-10 zoning (General Commercial and Single-Family Residential, 10,000 SF min. lot size). Single-family residential homes are located adjacent on the west of Del Prado North. A SDG&E facility is located adjacent on the west of Del Prado South. The adjacent homes would be situated approximately 2 to 10 feet lower than Del Prado North. A new six-foot-high fence would be installed along the western property boundary. The proposed new units (Del Prado North) would be setback approximately 16' to 21' from the western property boundary. A masonry block wall surrounds the SDG&E facility to screen the above-ground equipment. An approximately 15-foot-wide landscape buffer area on the SDG&E property is located between the masonry wall and Del Prado South project. The project is proposing to enhance and maintain this landscape easement and also would enhance and maintain the 25-foot-wide SDG&E panhandle located between Del Prado North and Del Prado South.

B. AVAILABILITY OF PUBLIC SERVICES

1. **Effect on Police Service** – The Police Department expressed no concern regarding the proposed development and their ability to serve the site.
2. **Effect on Fire Service** – The Fire Department indicated that adequate services can be provided to the site and the proposed project would not impact levels of service. Appropriate on-site circulation and turnaround areas are provided. The site is served by Fire Station No. 5, located along Felicita Road and Fire Station No. 1 located at 310 Quince Street.
3. **Traffic** – A Traffic Study Report was prepared for the project which was estimated to generate up to 904 average daily trips (ADT) with 72 AM peak hour trips and 90 PM peak hour trips. Access to the site would be provided by a single driveway from Brotherton Road (non-classified street, 60' R-O-W) on the north and a single driveway from S. Centre City Parkway (Local Collector, 66' R-O-W) frontage road on the east. The study concluded the project would not cause the Level of Service (LOS) of any roadway segments to decrease as a direct impact from the project. The study also concluded the cumulative impacts from other projects throughout the area also would not cause the LOS of any street segments or intersections to decrease to an unacceptable level. The project is required to construct frontage improvements along Brotherton Road and Centre City Parkway to Local Collector standards, but can be modified with the final design where existing power poles are in conflict with improvements. The intersection of Brotherton Road and Centre City Parkway will be modified with new signing, striping and surface improvements at the

southwestern corner to enhance the operation, turn movements, safety and sight distance to accommodate existing traffic and the new project. Peak-hour traffic flow and ramp metering at the entrance to Interstate 15 to the south results in congestion at nearby intersections (primarily CCP and Citracado Parkway). However, the ramp metering is controlled by Caltrans and is beyond the scope of this or other projects to address or modify the existing condition.

4. **Utilities** – Water and sewer is available from existing mains in the adjoining street or easements. Water and sewer service is provided by the City of Escondido. These systems have adequate capacity to accommodate the project's needs. The Engineering Department indicated the project would not result in a significant impact to public services or other utilities. The on-site water and sewer system would be located within public and private utility easements. There are several SDG&E easements that cross the subject site that provide access to the transmission facility, and also contain underground 69kv electric transmission lines. Several of the SDG&E easements are proposed to be quitclaimed prior to final map/development. The existing SDG&E paved access easement located on the Del Prado South site will be retained and incorporated into the driveway access to the southern project. The existing underground transmission lines also would remain. The project's improvements and utility plans will need to be designed to avoid any potential impacts to the SDG&E improvements and the final plans approved by SDG&E.
5. **Solid Waste** – Trash service is provided by Escondido Disposal. Individual trash pickup for each unit would be provided. The garages for each unit contains a dedicated area for the storage of trash bins. Escondido Disposal has reviewed the circulation plans and indicated their trucks would be able to serve each unit.
6. **Drainage** – The project site is not located within a 100-year Flood Zone as indicated on current FEMA maps. There are no significant drainage courses within or adjoining the property. Stormwater runoff generated by the project areas would be directed into various on-site storm water features (bioretention basins) and then conveyed to the existing off-site storm drain system located within Centre City Parkway. The proposed system is designed to convey on-site flow volumes per the City of Escondido drainage design standards. The Engineering Department determined the project would not materially degrade the levels of service of the existing drainage facilities. A Storm Water Quality Management Report (SWQMR) has been prepared to address the design of drainage and water quality features in accordance with SUSMP requirements. Maintenance of the on-site storm drain system would be performed as part of the Homeowners' Association duties and these maintenance requirements are included as conditions of approval of the project and also would be detailed in the project CC&Rs.

C. ENVIRONMENTAL STATUS

A Mitigated Negative Declaration (City File No. ENV15-0011) was issued for the project for 20-day public review in conformance with the California Environmental Quality Act (CEQA) that is attached to this report. The findings of environmental review identified effects related to biological resources, geology/soils, noise, cultural and tribal cultural resources that might be potentially significant. However, design and minimization measures, revisions in the project plans, and/or mitigation measures agreed to by the applicant would provide mitigation to a point where potential impacts are reduced to less than a significant level. The City has concluded necessary consultation with the Native American Tribes in accordance with Assembly Bill 52 with the incorporation of appropriate mitigation measures to address potential impacts to Tribal Cultural Resources, including Native American monitors during initial site grading. The Final Mitigated Negative Declaration may be viewed at the following link: <https://www.escondido.org/Data/Sites/1/media/PDFs/Planning/delprado/FinalMND.pdf>.

Staff received a few phone calls from adjacent residents requesting additional information regarding the project and one call to express general concerns with the overall density and compatibility of the multi-family type project with the adjacent neighborhood. Staff received an email from a nearby resident to the north generally supporting the overall project concept, but wanted to ensure the project did not create any traffic and parking impacts to the adjacent residential neighborhoods. Staff also received an email from an adjacent resident (attached) expressing concern with the project density, traffic and noise impacts from the adjacent roadway and commercial uses. Staff did not receive any correspondence specifically expressing any concerns with the draft environmental document.

D. CONFORMANCE WITH CITY POLICY

General Plan

The General Plan land-use designation for subject site is General Commercial (GC) which allows for a variety of commercial, retail and service type uses along the South Escondido Boulevard and Centre City Parkway Corridor. The site also is located within the General Plan Centre City Parkway/Brotherton Road Target Area (page II-70). Mixed-use residential development with a commercial component is allowed within the Target Area with a minimum density of 30 dwelling units per acre in conformance with Smart Growth Principles. Guiding principles for the target area include updating the existing Neighborhood Plan to include the formulation of new criteria for considering exclusively residential development. That process is now underway as part of the on-going update to the South Escondido Boulevard Neighborhood Plan.

The site also is located within the South Escondido Boulevard Neighborhood Plan Area "B" that was established for the South Escondido Corridor, and the proposed development is subject to the provisions of the overlay zone. The South Escondido Boulevard Neighborhood Plan allows for residential development up to 24 du/ac in conjunction with a commercial component (mixed-use) subject to the approval of a Planned Development. Because the South Escondido Boulevard Neighborhood Plan has not yet been updated to correspond to the new General Plan language for the Target Area, the project includes a proposed amendment to the Neighborhood Plan to allow for an exclusively residential project in conformance with the General Plan. This type of amendment has been approved twice before as noted in Paragraph 6 (c and d) (page 6) of the South Escondido Boulevard Neighborhood Plan, that allowed for exclusively residential developments in the commercial zone. The proposed project includes the following amendment to the neighborhood plan to include paragraph 6(f) for the project site as follows:

Section 6. Uses and Structures. (f)

Residential development without a commercial component may be permitted on the 4.9-acre project site located on the southwestern corner of Brotherton Road and S. Centre City Parkway, (APNs 238-130-11, -26, -27, -35 and -36), and shall be processed in accordance with the planned development process specified in Article 19 of the Escondido Zoning Code. The density of any project shall be a maximum of 24 dwelling units per acre and the maximum height shall be three stories.

The proposed project would be in conformance with General Plan Housing Goals and Policies to expand the stock of all housing; increase homeownership; plan for quality managed and sustainable growth; and encourage a compact, efficient urban form that promotes transit, supports nearby commercial establishments and takes advantage of infrastructure improvements installed to accommodate their intended intensities. Revitalization and redevelopment are overall objectives for the City of Escondido within the South Escondido Boulevard area.

Whether an Exclusively Residential Project Is Appropriate for the Subject Site

The General Plan vision for the corridor anticipates that commercial and mixed-use type development should be located towards major intersections and within specific commercial nodes. Two exclusively residential projects previously have been approved within this Target Area, including 22 affordable units at the former Penny Lodge along Brotherton Road to the east, and the 76-unit, three-story condo project (Haven 76) Lyon Living-Homes currently is constructing adjacent to the Elk's Lodge. Those projects were approved through the Planned Development process that also included an amendment to the South Escondido Boulevard Neighborhood Plan. Although the proposed Del Prado project is located at a significant intersection, staff believes this specific corner is not conducive to a mixed-use or exclusive commercial development with higher traffic generation due to the proximity to single-family residential development and the overall configuration and operational characteristics at the intersection. Staff believes an exclusively residential project with the lower density of 24 du/ac in conformance with the South Escondido Boulevard Neighborhood Plan density provisions provides an appropriate transition between the mix of lower density residential development on the west and commercial to the north, south and east. The lower density also allows for a project design that can incorporate increased setbacks, lower overall building height and greater separation between buildings, additional on-site open space and available parking than a higher density residential or mixed-use development would be able to provide. In addition, based on previous challenges encountered by mixed-use projects along the Corridor in attracting and/or retaining commercial-service-office type uses, staff believes that an exclusively residential development

on this site would provide an additional helpful catalyst for future residential development along the corridor and would continue to strengthen the customer base for more appropriate and viable commercial and mixed-use development at key intersections and node areas.

E. PROJECT ANALYSIS

Conformance with South Escondido Boulevard Design Guidelines and the Requirements for a Proposed PD-R Zone.

The project is subject to the property development standards and design guidelines contained in the South Escondido Boulevard Neighborhood Plan (SEB). The SEB Design Guidelines states that building height, bulk and design should be sensitive to existing residential developments through the use of stepping back of upper stories, enhanced architectural features, and landscaping; and limit structures to three stories in height. Additional landscaping and setbacks adjacent to the residential zones should be utilized to achieve appropriate transition between zones. Although the three-story buildings generally would be larger and taller than adjacent buildings, the overall neighborhood compatibility has been mitigated through the quality of the site plan and architectural design and materials to reflect the surrounding residential character; varied wall planes, roof lines and balconies; accent features and exterior color palate. Mass and scale also has been address by situating the units within 27 smaller buildings with the number of units within each building ranging from three to five. This design provides more building depth and options how the structures orient towards adjacent properties and views. The proposed buildings located along the western boundary would be situated approximately two feet to nine feet lower than the adjacent single-family residential properties, which would further screen the lower portions of the building/units. A six-foot-high perimeter fence would be provided along the western property boundary to further screen and buffer adjacent residential activities.

Setbacks

The site currently is zoned General Commercial which has limited or no minimum setback requirements for new construction. The proposed zone change would change the zoning to Planned Development-Residential which similarly has no minimum standard for setbacks. Planned developments may set their own development standards to encourage creative approaches to the use of land through variation in the siting of buildings and design that enhances the appearance and livability of the community. The proposed development proposes a variety of setbacks on all four sides of the two project components to correspond to the variety of adjacent land uses. The project utilizes the more restrictive R-4 (multi-family residential) standards adjacent to the single-family residential development on the west to provide greater separation and landscaping between residential properties. Proposed setbacks along Centre City Parkway vary from 12 feet to 23 feet based on building placement/orientation, and greater setbacks for various building components are provided based on the wall plane variations in the front and side elevations of buildings. Front setbacks along Brotherton Road vary from 4 feet to 15 feet with a minimum landscape width of 8 feet to the public sidewalk. Both project frontages allow for a suitable amount of landscaping between the buildings and the back of the public sidewalk. The building complex nearest to the adjacent residential development on the west is setback a minimum of 15 feet from Brotherton Road to be consistent with the R-1 zoning code setbacks for the single-family residential homes along Brotherton Road.

Open Space

There are no specific open space requirements for residential developments within the General Commercial zone or the South Escondido Boulevard Area Plan. The R-4 zone typically has been used as a benchmark for similar type projects and requires a minimum of 200 SF per bedroom plus an additional 200 SF for each sleeping unit above one. The open space requirements for mixed-use and exclusively residential projects within the Downtown Revitalization Area Specific Plan is 90 SF per unit. Existing projects along the corridor have provided a ratio between these two standards on a case-by-case basis through the Planned Development process, which allows for such flexibility. The R-4 standard would require a minimum of 58,600 SF for the project and 67,766 SF would be provided, which exceeds the R-4 requirement. Proposed open space consists of a combination of active and passive recreation spaces and landscape planter areas, along with private balconies and recessed building/unit front entry features. Decorative public spaces also are provided along the Centre City Parkway frontage. A pool and pool house would be located on the Del Prado North site. A pedestrian walkway is proposed between the northern and southern components of the project across the SDG&E panhandle easement to allow for a more convenient access and additional visible tie between north and south.

Parking

Parking for the project is based on the amount of units and also the number of bedrooms, which would require a minimum of 242 on-site parking spaces. The project would provide a total of 252 on-site parking spaces (226 resident and 26 guest) that includes an attached two-car private garage for each townhome unit and open parking spaces situated throughout the project. The individual garage areas provide access into the residences and also provide additional storage space for each of the units as required by the City's Condominium requirements. The code requires parking for guests at a ratio of one parking space per four units and 28 guest parking spaces would be required for the 113-unit project. Although the project provides 26 open guest spaces on site, the overall number of parking spaces exceeds the minimum code requirements. In addition, on-street parking along both project frontages would be allowed, which would provide up to 35 additional spaces (13 along Brotherton Rd. and 22 along CCP). The zoning code allows for on-street spaces along a project's frontage on non-circulation element streets to be counted towards providing guest spaces. Therefore, staff believes the project would provide more than adequate parking for the type of residential development proposed in accordance with the City's parking requirements, and would not create any adverse parking impacts throughout the surrounding neighborhood.

SUPPLEMENT TO STAFF REPORT/DETAILS OF REQUEST

A. PHYSICAL CHARACTERISTICS

The project site consists of two rectangular, vacant lots separated by an SDG&E panhandle and paved access easement. Existing vegetation on the highly disturbed site is non-native and includes weedy grasses and forbs, shrubs, and trees such as mature eucalyptus and palms. Existing on-site development includes a single-family home located on the northwest corner of the north lot that was recently removed. A concrete pad and parking lot remains in place on the northern lot from a former restaurant (originally Cask n' and Cleaver and then Woody's). The topography of the site is relatively flat, with the entire site having less than a 10-percent slope. Existing elevations range from approximately 625 feet AMSL near the western site boundary of the site, to approximately 610 feet AMSL along the eastern site boundary where it slopes down towards S. Centre City Parkway. Brotherton Road meets Centre City Parkway at a non-signalized intersection to the northeast of the site. Access to Centre City Parkway from Brotherton Road is restricted to right-turn only and controlled with stop signs. The Centre City Parkway/Citracado Parkway intersection to the south is signalized. Access to the site is provided from Brotherton Road and S. Centre City Parkway. S. Centre City Parkway is a single-loaded two-lane local collector frontage road running parallel to and immediately west of Centre City Parkway. Centre City Parkway is designated as a Major Road and is constructed in the site vicinity as a divided roadway with two travel lanes in each direction. Brotherton Road is an unclassified street that lacks some improvements on the southern side of the street where it fronts the project site.

B. SUPPLEMENTAL DETAILS OF REQUEST

1. **Property Size:** 4.9 acre total site (5 parcels).
Del Prado North – 3.47 acre and Del Prado South – 1.44 acres
2. **Proposed Lots:** 2 Lots (air-space townhome/condominium type units, Del Prado North and South Tentative Subdivision Maps)
3. **Number of Units:** 113 total units
4. **Density:** 23 du/ac overall project density (113 units / 4.9 ac)

North: 23.3 du/ac (81 units / 3.47 ac)
South: 22.2 du/ac (32 units / 1.44 ac)
5. **Building Data:**

No. of Bldgs.: 27 residential bldgs. (6 different building configurations with 3, 4 and 5 unit building types) 1 pool/equipment building with restrooms and outdoor shower

Del Prado North: 21 buildings – 81 units
Del Prado South: 6 buildings – 32 units

Height: 3 stories with pitched roofs up to approx. 36' in height to the ridge line

Unit Mix:	Plan	#Bed/Bath	# Units	Total SF	Condo Ord.
	1	2 BD/2.5BA	20	1,109 SF/38 SF balcony	800 SF min.
	2	2 BD/2.5 BA	26	1,183 SF/52 SF balcony	800 SF min.
	3	3 BD/3.5 BA	38	1,378 SF 64 SF balcony	1,000 SF min.
	4	3 BD/2.5 BA	29	1,584 SF/41 SF balcony	1,000 SF min.
6. **Material/Colors:** Stucco exterior walls (off-white, cream, and light-medium tan)
Wooden fascia and window trim (dark browns)
Various window treatments-shutters and wooden surrounds, window pot shelves, metal awnings over select windows and doors, metal balcony railings, gable accents.
Concrete tile roof (tan-orange blend)

7. Setbacks:

Planned Development zoning establishes its own zoning standards, including setbacks and is not subject to the underlying zoning requirements. Although the parcels are zoned General Commercial, the multi-family residential (R-4) setbacks are listed for reference purposes.

	<u>Proposed</u>	<u>R-4 Requirement for Comparison</u>
Del Prado North		
Front (CCP)	Ranges from 12' to 23'	15' min.
Rear/Western P/L	Ranges from 16' to 21'	15' min. for three story building
Street Side (Brotherton)	Ranges from 4' to 15' (13' from face of curb and 8' from back of sidewalk)	10' min. in R-4 and 5' min. for CG zone (Note: Brotherton Road is wider than standard non-classified street 60' vs. 56' R-O-W)
Side/Southern P/L	Ranges from 17' to 18'	15' min. for three-story building
Del Prado South		
Front (CCP)	21' to building	
Rear/Western P/L	5' to buildings (proposed buildings adjacent to SDG&E) facility separated by an additional 15' landscape off-site landscape area between Del Prado South P/L and SDG&E block wall. Landscape area maintained by SDG&E.	
Side/North & South P/L	Approx. 30' from northern P/L and 42' from southern P/L to buildings	

8. Parking:

	<u>Proposed</u>	<u>Required</u>
	252 on-site	242
Garages:	226 covered provided in 113 two-car garages	
Open:	26 open spaces (15 open north and 11 open south)	
Required:	242 total based on number of bedrooms and guest spaces 2 bed – 1.75 spaces x 46 units = 80 <u>3 bed – 2 spaces x 67 units = 134</u> 214 resident spaces	
	28 guest spaces for 113 units at 1:4 ratio Note: On-street spaces may be counted towards providing guest spaces on non-circulation elements streets. Brotherton road would provide up to 13 on-street spaces along the project frontage.	
Street Parking:	Up to 35 on-street parking spaces would be available along the project frontages (13 along Brotherton Rd. and 22 along Centre City Parkway). The final number for spaces will be contingent on the final improvement and striping design.	

9. Open Space:

<u>Provided</u>	<u>Required</u>
62,024 SF common area	R-4 multi-family req. used for comparison
<u>5,742 SF private area</u>	200 SF per each unit plus 200 SF each bedroom over 1
67,766 SF Total Provided	
	81 units x 200 SF = 22,600 SF
	<u>180 beds over 1 x 200 SF = 36,000 SF</u>
	Total Required 58,600 SF

10. Landscaping:

New ornamental landscaping to be provided around the project perimeter and throughout the project. Enhanced pedestrian concrete paving to be provided within selected areas throughout project. Ground mounted mechanical units visible from the public way would be screened by a low height wood/vinyl fence to match building trim elements.

- 11. Walls/Fencing:** New 6-foot-high vinyl fencing to be installed along western boundary of Del Prado North. Existing masonry wall along eastern boundary to remain adjacent to SDG&E facility. Existing masonry wall along southern boundary of Del Prado South to remain. A decorative open fencing around pool area. Low 30"-foot-high decorative wall with pilasters (stucco finish) around select units fronting Brotherton Rd.
- 12. Signage:** Del Prado North - low height curved wall (42" high seat wall with decorative pilasters, with decorative iron arch/sign feature up to approx. 10.5' overall height on top situated at the intersection). Del Prado South – Low height wall sign (3.5 feet in height at the driveway entrance). A separate sign permit would be required for any project identification in conformance with the City's Sign Ordinance. Any additional wall signage not approved as part of this Planned Development would be subject to the City's Sign Ordinance for multi-family residential projects. The final design, height and placement to ensure sight distance at the intersection and driveway entrance.
- 13. Trash:** Individual trash bins will be provided for each unit and stored within the garages within a nook area.
- 14. Grading:** On-site grading would be relatively minimal to include a combination of cut and fill with a retaining wall up to approximately 3' to 7' in height proposed towards the northwestern area of Del Prado North. Landscaped slopes up to 8 feet in height and retaining walls up to 6 feet in height are proposed along Centre City Parkway frontage. The project anticipated import of approx. 1,988 cubic yards on the southern site and export of approx. 3,964 cubic yards on the northern site. The Del Prado North buildings along the western boundary (adjacent to existing single-family development) will be situated at a lower elevation (ranging from approx. 2' to 9' lower).

EXHIBIT "A"

FINDINGS OF FACT/FACTORS TO BE CONSIDERED SUB15-0022 and -23, PHG15-0031, AZ15-0002, ENV15-0011

Master and Precise Development Plan

1. The General Plan land-use designation for subject site is General Commercial (GC), which allows for a variety of commercial, retail and service uses along the South Escondido Boulevard Corridor Area 'B.' The site also is located within the South Escondido Boulevard Neighborhood Plan, which is an overlay zone established for the South Escondido Corridor and the proposed development is subject to the provisions of the overlay zone. The South Escondido Boulevard Neighborhood Plan allows for residential development in conjunction with a commercial component (mixed-use) subject to the approval of a Planned Development with a maximum density of 24 dwelling units per acre. The proposed overall density of the project would be approximately 23 du/ac (113 residential units/4.9 acres) and would be in conformance with the density requirements of the South Escondido Boulevard Neighborhood Plan of 24 du/ac. The General Plan allows for both mixed-use and exclusively residential development within a target area of the South Escondido Boulevard Neighborhood Plan known as the "Centre City Parkway/Brotherton Road Target Area" (page II-70). Mixed-Use development within the Target Area is required to provide a minimum density of 30 dwelling units per acre. While a density standard has not been adopted in the General Plan for exclusively residential development, it is expected the forthcoming update to the South Escondido Boulevard Neighborhood now underway will establish a lower density for exclusively residential development consistent with the current density provisions of the South Escondido Boulevard Neighborhood Plan.
2. The proposed infill residential project would be in conformance with General Plan Housing Goals and Policies to expand the stock of all housing; increase homeownership; plan for quality managed and sustainable growth; and encourage a compact, efficient urban form that promotes transit, supports nearby commercial establishments and takes advantage of infrastructure improvements installed to accommodate their intended intensities. The proposed project would not diminish the Quality-of-Life Standards of the General Plan as the project would not materially degrade the level of service on adjacent streets or public facilities, create excessive noise, and adequate on-site parking, circulation and public services could be provided to the site.
3. The design and improvement of the proposed planned development and subdivision is consistent with the General Plan and the South Escondido Boulevard Neighborhood Plan as noted above and detailed in the staff report. The proposed multi-family type development is permitted in the Centre City Parkway/Brotherton Road Target Area and the development is consistent with the development standards established for the South Escondido Boulevard Neighborhood Plan, except where noted and analyzed in this staff report.
4. The approval of the proposed Master and Precise Development Plan would be based on sound principles of land use and is well-integrated with the surrounding properties because adequate parking, access, on-site circulation, utilities, as well as appropriate setbacks from adjacent residential and commercial land-uses, and perimeter landscaping would be provided (as detailed in the staff report and Final Mitigated Negative Declaration). The residential project also would not be out of character for the area which contains other multi-story residential developments. The design of the project would be in conformance with the South Escondido Design Guidelines because the project would provide residential units with varying number of rooms and sizes to accommodate a wide range of needs (with ownership opportunities). The project includes a variety of amenities such as individual balconies for selected units, enhanced walkways and paving, and active and passive recreation/landscape features. All vehicular traffic generated by the project will be accommodated safely and without degrading the level of service on the adjoining streets or intersections.
5. The proposed Master and Precise Development Plan would not cause deterioration of bordering land uses and the site is physically suitable for the proposed development because the subject parcels are relatively flat and extensive grading is not proposed. The proposed grading design would not result in any manufactured slopes or pads that would create any significant adverse visual or compatibility impacts with adjacent lots, nor block any significant views. The design of the project would be compatible with the variety of residential and commercial development surrounding the site and located along the commercial corridor. The Engineering Department indicated the project is not anticipated to have any significant individual or

cumulative impacts to the circulation system or degrade the levels of service on any of the adjacent roadways or intersections. The project would not result in the destruction of desirable natural features, nor be visually obstructive or disharmonious with surrounding areas because the site is located along a commercial corridor and not located on a skyline or intermediate ridge, and the site does not contain any significant topographical features.

6. The overall design of the proposed planned development would produce an attractive residential development because the project contains a mix of townhome/condominium type units (with ownership opportunities) and landscape amenities that provide an appropriate transition between the adjacent residential and commercial land uses. The project is located in close proximity to other amenities such as public transit, parks and shopping. Although the buildings would be larger and taller than adjacent one- and two-story residential structures, the overall mass and height of the three-story units and compatibility with the surrounding neighborhood has been addressed through the use of multiple smaller building groups rather than fewer but larger buildings; architectural style and building materials similar to adjacent single- and multi-family development; varied building setbacks around the perimeter of the site and larger setbacks adjacent to residential uses; varied wall planes and roof lines; and perimeter fencing/walls and landscaping to provide the appropriate transition between the adjacent land uses.
7. The uses proposed have a beneficial effect not obtainable under existing zoning regulations because the project proposes an exclusively residential development within the South Escondido Boulevard Neighborhood Plan that would be more compatible with the surrounding neighborhood than a typical commercial project or higher density mixed-use development. The project must be processed through the Planned Development process in accordance with the South Escondido Boulevard Neighborhood Plan (Ord. 92-01 and planned developments may set their own development standards to encourage creative approaches to the use of land through variation in the siting of buildings and design that enhances the appearance and livability of the community. The proposed development proposes a variety of setbacks on all four sides of the two project components to correspond to the variety of adjacent land uses. The project would provide single-family ownership opportunities integrated into a comprehensive and self contained development, which creates an environment of sustained desirability and stability through the controls offered and regulated through the Planned Development process.
8. All of the requirements of the California Environmental Quality Act (CEQA) have been met because the findings of the environmental analysis (as demonstrated in ENV15-0011) are that the Initial Study identified effects related to biological resources, geology/soils, noise, cultural and tribal cultural resources that might be potentially significant. However, design and minimization measures, revisions in the project plans and/or mitigation measures provide mitigation to a point where potential impacts are reduced to less than a significant level. The City also has complied with the provisions of Assembly Bill 52 regarding consultation with the Native American Tribes and appropriate mitigation measures have been included to address potential impacts to tribal cultural resources.

Tentative Subdivision Maps (North and South)

1. The General Plan land-use designation for subject site is General Commercial (GC), which allows for a variety of commercial, retail and service uses along the South Escondido Boulevard Corridor Area 'B.' The site also is located within the South Escondido Boulevard Neighborhood Plan which is an overlay zone established for the South Escondido Corridor, and the proposed development is subject to the provisions of the overlay zone. The South Escondido Boulevard Neighborhood Plan allows for residential development in conjunction with a commercial component (mixed-use) subject to the approval of a Planned Development with a maximum density of 24 dwelling units per acre. The proposed overall density of the project would be approximately 23 du/ac (113 residential units/4.9 acres) and would be in conformance with the density requirements of the General Plan and South Escondido Boulevard Neighborhood Plan of 24 du/ac. The City General Plan allows for both mixed-use and exclusively residential development within a target area of the South Escondido Boulevard Neighborhood Plan known as the "Centre City Parkway/Brotherton Road Target Area" (page II-70). Mixed-Use development within the Target Area is required to provide a minimum density of 30 dwelling units per acre. While a density standard has not been adopted in the General Plan for exclusively residential development, it is expected the forthcoming update to the South Escondido Boulevard Neighborhood now underway will establish a lower density for exclusively residential development consistent with the current density provisions of the South Escondido Boulevard Neighborhood Plan.

2. The project would not result in the destruction of desirable natural features, nor be visually obstructive or disharmonious with surrounding areas because the site is not located on a skyline or intermediate ridge, and the site does not contain any significant topographical features. The proposed grading design would not result in any manufactured slopes or pad that would create any significant adverse visual or compatibility impacts with adjacent lots, nor block any significant views, as discussed in the staff report and environmental document (ENV15-0011 2005-02). Perimeter landscaping, and fencing/walls would provide a buffer between the project site and adjacent uses.
3. The site is suitable for this residential type of development and density because the General Plan and South Escondido Boulevard Neighborhood Plan already allows for multi-story high density residential development. The site is relatively flat and extensive grading is not proposed. The design of the project would be compatible with the variety of residential and commercial zoning and development surrounding the site. The proposed project also would not result in a significant impact to biological or cultural resources because appropriate mitigation measures have been applied to reduce potential impacts to less than a significant level. Adequate access and public utilities can be provided to the site. All vehicular traffic generated by the project will be accommodated safely and without degrading the level of service on the adjoining streets or intersections. Appropriate noise attenuation would be provided to the new units and open space areas.
4. The project would be compatible with the surrounding uses because the subject site is adjacent to a variety of commercial and residential developments of varying density and design. Adequate access and public utilities can be provided to the site. All vehicular traffic generated by the project will be accommodated safely and without degrading the level of service on the adjoining streets or intersections. Appropriate noise attenuation would be provided for the new units.
5. The design of the residential map and the type of improvements are not likely to cause serious public health problems because the project would not degrade the levels of service on the adjoining streets or drainage systems. Adequate water and sewer could be provided to the site. The project would not cause substantial environmental damage and avoidably injure fish or wildlife or their habitat since appropriate mitigation measures have been applied to reduce potential impacts to less than a significant level.
6. The design of the map and the type of improvements will not conflict with easements of record, or easements established through court judgments, or acquired by the population at large, for access through, or use of property within the proposed map because any existing easements and improvements will either be accommodated within the project design; be quitclaimed prior to recordation of the map; or alternate provisions provided.
7. All of the requirements of the California Environmental Quality Act (CEQA) have been met because the findings of the environmental analysis (as demonstrated in ENV15-0011) are that the Initial Study identified effects related to biological resources, geology/soils, noise, cultural and tribal cultural resources that might be potentially significant. However, design and minimization measures, revisions in the project plans and/or mitigation measures provide mitigation to a point where potential impacts are reduced to less than a significant level. The City also has complied with the provisions of Assembly Bill 52 regarding consultation with the Native American Tribes and appropriate mitigation measures have been included to address potential impacts to tribal cultural resources.
8. The design of the map has provided, to the extent feasible, for future passive or natural heating or cooling opportunities in the subdivision. Lot sizes and subdivision configuration provides opportunities for passive/solar heating. Landscaping would provide passive cooling opportunities via shading of each unit.
9. All permits and approvals applicable to the proposed map pursuant to the Escondido Zoning Code will have been obtained prior to the recordation of the map.
10. The proposed map will not conflict with regional or local housing needs since all lots maintain all development standards of the applicable zone and observe the density of the General Plan and area plans.
11. The proposed map meets all of the requirements or conditions imposed by the Map Act and the Escondido Zoning Code, as detailed in the staff reports, the Escondido General Plan and above findings.

Neighborhood Plan Code Amendment and Zone Change

1. The public health, safety and welfare will not be adversely affected by the proposed Zone Change from CG (General Commercial) to PD-R (Planned Development-Residential) because the General Plan allows for mixed-use and exclusively residential development within a target area of the South Escondido Boulevard Neighborhood Plan known as the "Centre City Parkway/Brotherton Road Target Area" (page II-70). While mixed-use residential development within the Target Area is required to provide a minimum density of 30 dwelling units per acre, the project provides an overall density of 23 dwelling units per acre and there is no minimum density requirement for exclusively residential development. The proposed project would provide an appropriate transition from the lower density single-family residential development on the west, multi-family development on the southwest and adjacent commercial development to the north, south and east across Centre City Parkway. Adequate public services and access can be provided to the site. The project would not result in any significant impacts to the environment, as demonstrated in Final Mitigated Negative Declaration (MND).
2. The property involved is suitable for the uses permitted by the proposed PD-R zone because the General Plan and Neighborhood Plan for the parcels currently allow for multi-story residential development. The General Plan allows for exclusively residential development within the South Escondido Boulevard corridor subject to the Planned Development Zone. The project has been designed to be compatible with the mix of surrounding commercial and residential development through the use of appropriate grading, building design and orientation, setbacks, walls/fencing and perimeter landscaping.
3. The uses permitted by the proposed PD-R-zone would not be detrimental to surrounding properties because a mix of commercial and residential uses surround the project site and the proposed the PD-R 24 zone and amendment to the South Escondido Boulevard Neighborhood Plan to allow for an exclusively residential project would be in conformance with the Escondido General Plan. The scale of the project would be in substantial conformance with the general pattern of commercial and residential development within the area. The proposed change of zone would not result in a significant impact to the environment, nor impact existing services or degrade levels of-service to adjacent streets, as detailed in the staff report and environmental analysis.
4. The proposed zone change would not conflict with any specific plans for the area because the project would be in conformance with and Escondido General Plan which allows for exclusively residential development. The proposed amendment to the South Escondido Boulevard Neighborhood Plan is necessary to implement to provisions of the Escondido General Plan, as indicated in the staff report and above. The Planned Residential Development zoning designation is necessary to implement the project in conformance with the General Plan and South Escondido Boulevard requirements.

EXHIBIT "B"

CONDITIONS OF APPROVAL

Del Prado North and South
SUB15-0022 and SUB15-0023, PHG15-0031

General

1. All construction shall comply with all applicable requirements of the Escondido Zoning Code and requirements of the Planning Department, Director of Building, and the Fire Chief.
2. If blasting occurs, verification of a San Diego County Explosive Permit and a policy or certificate of public liability insurance shall be filed with the Fire Chief and City Engineer prior to any blasting within the City of Escondido.
3. Access for use of heavy fire fighting equipment as required by the Fire Chief shall be provided to the job site at the start of any construction and maintained until all construction is complete. Also, there shall be no stockpiling of combustible materials, and there shall be no foundation inspections given until on-site fire hydrants with adequate fire flow are in service to the satisfaction of the Fire Marshal.
4. The legal description attached to the application has been provided by the applicant and neither the City of Escondido nor any of its employees assume responsibility for the accuracy of said legal description.
5. All requirements of the Public Partnership Program, Ordinance No. 86-70 shall be satisfied prior to building permit issuance. The ordinance requires that a public art fee be added at the time of the building permit issuance for the purpose of participating in the City Public Art Program
6. Prior to or concurrent with the issuance of building permits, the appropriate development fees and Citywide Facility fees shall be paid in accordance with the prevailing fee schedule in effect at the time of building permit issuance, to the satisfaction of the Director of Community Development.
7. All habitable buildings shall be noise-insulated to maintain interior noise levels not to exceed 45 dBA or less. An Acoustical Analysis (Interior Noise Assessment) shall be submitted with the building plans for the project. Any measures recommended in the study shall be incorporated into the building plans with appropriate notes/specifications.
8. All exterior lighting shall conform to the requirements of Article 1072, Outdoor Lighting (Ordinance No. 86-75) and be consistent with the lighting design for the shopping center. A copy of the lighting plan shall be included as part of the building plans, to the satisfaction of the Planning Division.
9. Three (3) copies of the tentative map, reflecting any modifications and any required changes shall be submitted to the Planning Division for certification prior to submittal of grading and landscape plans and the final map.
10. Any parcels not associated with this Tentative Map shall be labeled "Not a Part."
11. Copies of the CC&Rs shall be submitted to the Engineering Division and Planning Division for review and approval prior to Final Map and grading plans for the project. The CC&Rs shall detail the responsibility for the maintenance of any parkway landscaping, landscape easements, exterior walls/fencing, slopes/landscaping, utility easements, driveways, roads, parking areas, structures, and any common drainage facilities. The CC&Rs also shall contain a provision indicating the

garages shall be maintained to accommodate up to two vehicle. Any storage shall not restrict the parking of vehicles within the garage. A homeowners' association shall be established in accordance with Department of Real Estate requirements.

12. Prior to the Final Map approval and issuance of grading permits, a parking management plan shall be included with the CC&Rs which details any assigned spaces, on-site vehicular maintenance and guest parking.
13. As proposed, the buildings, architecture, color and materials, and the conceptual landscaping of the proposed development shall be in accordance with the staff report, exhibits and the project's Details of Request, to the satisfaction of the Planning Division. Any major modifications to the exterior architectural building elements or lessening of the quality of the exterior design shall require approval by the Director of Community Development, and or the Planning Commission as may be recommended by the Director.
14. A separate sign permit would be required for any project identification in conformance with the City's Sign Ordinance. Any additional signage not included as part of this Planned Development would be subject to the City's Sign Ordinance for multi-family residential projects. The final location and design/height of the monument signs shall ensure appropriate sight distance is maintained at intersections and driveways, and signs are placed outside of the right-of-way, to the satisfaction of the Engineering Division.
15. Any rooftop equipment must be fully screened from all public view utilizing materials and colors which match the building, to the satisfaction of the Director of Planning and Building. The final building plans shall clearly indicate that any proposed rooftop equipment is properly screened. A cross section and roof plan shall be included (which details the location and height of all rooftop equipment) to demonstrate that the height of the parapet is sufficient to screen the mechanical equipment. Ground mounted equipment should be located to avoid conflict with pedestrian circulation and access, as well as to screen the equipment from view as much as possible. Appropriate decorative screening shall be placed around the ground-mounted units where visible from the exterior of the project.
16. A minimum of 252 on-site spaces shall be provided and maintained in conjunction with this development, as indicated in the Details of Request and site plan. The spaces shall be striped in accordance with the Zoning Code. Driveways and fire lanes do not allow for parking, and curb markings and fire lane signs are required, to the satisfaction of the Fire Marshall. Parking for disabled persons shall be provided (including "Van Accessible" spaces) in full compliance with Chapter 2-71, Part 2 of Title 24 of the State Building Code, including signage. On-street parking spaces along Brotherton Road may be counted towards meeting the guest spaces for the project, to the satisfaction of the Director of Community Development.
17. All project generated noise shall conform with the City's Noise Ordinance (Ordinance 90-08).
18. Any decorative pavement, driveways and sidewalks shall be indicated on the grading, building and landscape plans, including appropriate notes regarding type and color of materials.
19. Balconies, patios and courtyards shall be kept in a neat and orderly manner. Items stored on balconies should be kept out of view or properly screened. Items shall not be hung over, across or on balconies or patios (such a towels, clothing, etc.). This condition shall be included in the CC&Rs.
20. All new utilities shall be underground.

21. Appropriate backup/kicker areas shall be provided at the terminus of drive isles. These area shall be identified on the grading and site plans.
22. The City of Escondido hereby notifies the applicant that State Law (AB 3158) effective January 1, 1991, requires certain projects to pay fees for purposes of funding the California Department of Fish and Game. If the project is found to have a significant impact to wildlife resources and/or sensitive habitat, in accordance with State law, the applicant should remit to the City of Escondido Planning Division, within two (2) working days of the effective date of this approval ("the effective date" being the end of the appeal period, if applicable) a certified check payable to the "County Clerk," in the amount of \$2,260.25 for a project with a Negative Declaration. In addition, these fees include an additional authorized County administrative handling fee of \$50.00. Failure to remit the required fees in full within the specified time noted above will result in County notification to the State that a fee was required but not paid, and could result in State imposed penalties and recovery under the provisions of the Revenue and Taxation code. In addition, Section 21089(b) of the Public Resources Code, and Section 711.4(c) of the Fish and Game Code provide that no project shall be operative, vested, or final until all the required filing fees are paid.
23. The project shall be in compliance with all of the following mitigation measures, as well as the Air Quality, Geology/Soils, Greenhouse Gas, and Hazards and Hazardous Materials Design Measures identified in the Final MND:

BIO-1 Avoidance of Nesting Raptors.

To prevent impacts to nesting raptors protected under the federal MBTA and CFG Code, the City shall enforce the following: 1. If construction occurs during the raptor nesting season (January 15 through July 31), and where any mature tree or structure capable of supporting a raptor nest occurs within 500 feet of proposed project construction activities, the project applicant shall retain a qualified biologist to conduct a pre-construction survey for nesting raptors prior to clearing, grading and/or construction activities. The survey shall be conducted within 72 hours prior to the start of construction. The project applicant shall not be responsible for physically surveying off-site habitat where access is not permitted; the qualified biologist shall visually inspect these off-site areas with the aid of binoculars or a spotting scope.

BIO 2.

If any nesting raptors are present on or within 500 feet of the proposed project construction area, the project applicant shall retain a qualified biologist to flag and demarcate the location of all nesting raptors and monitor construction activities. Active nests within off-site areas where access is not permitted shall not be flagged or demarcated. Temporary avoidance of active raptor nests, including the enforcement of an avoidance buffer of 500 feet, shall be required until the qualified biologist has verified that the young have fledged or the nest has otherwise become inactive. The avoidance buffer may be reduced at the discretion of the qualified biologist and with written consent from the USFWS and CDFW. If the qualified biologist determines that a narrower buffer is warranted, the qualified biologist shall provide USFWS and CDFW with a written explanation as to why. Based on the submitted explanation, USFWS and CDFW would determine whether to allow the narrower buffer. Avoidance buffers for active nests within off-site areas where existing developments already occur shall not be required.

CUL-1

The City of Escondido Planning Division ("City") recommends the applicant enter into a Tribal Cultural Resource Treatment and Monitoring Agreement (also known as a pre-excavation agreement) with a tribe that is traditionally and culturally affiliated with the Project Location ("TCA Tribe") prior to issuance of a grading permit. The purposes of the agreement are (1) to provide the applicant with clear expectations regarding tribal cultural resources, and (2) to formalize protocols and procedures between the Applicant/Owner and the TCA Tribe for the protection and treatment of, including but not limited to, Native American human remains, funerary objects, cultural and

religious landscapes, ceremonial items, traditional gathering areas and cultural items, located and/or discovered through a monitoring program in conjunction with the construction of the proposed project, including additional archaeological surveys and/or studies, excavations, geotechnical investigations, grading, and all other ground disturbing activities.

CUL-2

Prior to issuance of a grading permit, the applicant shall provide written verification to the City that a qualified archaeologist and a Native American monitor associated with a TCA Tribe have been retained to implement the monitoring program. The archaeologist shall be responsible for coordinating with the Native American monitor. This verification shall be presented to the City in a letter from the project archaeologist that confirms the selected Native American monitor is associated with a TCA Tribe. The City, prior to any pre-construction meeting, shall approve all persons involved in the monitoring program.

CUL-3

The qualified archaeologist and a Native American monitor shall attend the pre-grading meeting with the grading contractors to explain and coordinate the requirements of the monitoring program.

CUL-4

During the initial grubbing, site grading, excavation or disturbance of the ground surface, the qualified archaeologist and the Native American monitor shall be on site full-time. The frequency of inspections shall depend on the rate of excavation, the materials excavated, and any discoveries of Tribal Cultural Resources as defined in California Public Resources Code Section 21074. Archaeological and Native American monitoring will be discontinued when the depth of grading and soil conditions no longer retain the potential to contain cultural deposits. The qualified archaeologist, in consultation with the Native American monitor, shall be responsible for determining the duration and frequency of monitoring.

CUL-5

In the event that previously unidentified Tribal Cultural Resources are discovered, the qualified archaeologist and the Native American monitor shall have the authority to temporarily divert or temporarily halt ground disturbance operation in the area of discovery to allow for the evaluation of potentially significant cultural resources. Isolates and clearly non-significant deposits shall be minimally documented in the field and collected so the monitored grading can proceed.

CUL-6

If a potentially significant tribal cultural resource is discovered, the archaeologist shall notify the City of said discovery. The qualified archaeologist, in consultation with the City, the TCA Tribe and the Native American monitor, shall determine the significance of the discovered resource. A recommendation for the tribal cultural resource's treatment and disposition shall be made by the qualified archaeologist in consultation with the TCA Tribe and the Native American monitor and be submitted to the City for review and approval.

CUL-7

The avoidance and/or preservation of the significant tribal cultural resource and/or unique archaeological resource must first be considered and evaluated as required by CEQA. Where any significant Tribal Cultural Resources and/or unique archaeological resources have been discovered and avoidance and/or preservation measures are deemed to be infeasible by the City, then a research design and data recovery program to mitigate impacts shall be prepared by the qualified archaeologist (using professional archaeological methods), in consultation with the TCA Tribe and the Native American monitor, and shall be subject to approval by the City. The archaeological monitor, in consultation with the Native American monitor, shall determine the amount of material to be recovered for an adequate artifact sample for analysis. Before

construction activities are allowed to resume in the affected area, the research design and data recovery program activities must be concluded to the satisfaction of the City.

CUL-8

As specified by California Health and Safety Code Section 7050.5, if human remains are found on the project site during construction or during archaeological work, the person responsible for the excavation, or his or her authorized representative, shall immediately notify the San Diego County Coroner's office. Determination of whether the remains are human shall be conducted on-site and in situ where they were discovered by a forensic anthropologist, unless the forensic anthropologist and the Native American monitor agree to remove the remains to an off-site location for examination. No further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains shall occur until the Coroner has made the necessary findings as to origin and disposition. A temporary construction exclusion zone shall be established surrounding the area of the discovery so that the area would be protected, and consultation and treatment could occur as prescribed by law. In the event that the remains are determined to be of Native American origin, the Most Likely Descendant, as identified by the Native American Heritage Commission, shall be contacted in order to determine proper treatment and disposition of the remains in accordance with California Public Resources Code section 5097.98. The Native American remains shall be kept in-situ, or in a secure location in close proximity to where they were found, and the analysis of the remains shall only occur on-site in the presence of a Native American monitor.

CUL-9

If the qualified archaeologist elects to collect any tribal cultural resources, the Native American monitor must be present during any testing or cataloging of those resources. Moreover, if the qualified Archaeologist does not collect the cultural resources that are unearthed during the ground disturbing activities, the Native American monitor, may at their discretion, collect said resources and provide them to the TCA Tribe for respectful and dignified treatment in accordance with the Tribe's cultural and spiritual traditions. Any Tribal Cultural Resources collected by the qualified archaeologist shall be repatriated to the TCA Tribe. Should the TCA Tribe or other traditionally and culturally affiliated tribe decline the collection, the collection shall be curated at the San Diego Archaeological Center. All other resources determined by the qualified archaeologist, in consultation with the Native American monitor, to not be tribal cultural resources, shall be curated at the San Diego Archaeological Center.

CUL-10

Prior to the release of the grading bond, a monitoring report and/or evaluation report, if appropriate, which describes the results, analysis and conclusion of the archaeological monitoring program and any data recovery program on the project site shall be submitted by the qualified archaeologist to the City. The Native American monitor shall be responsible for providing any notes or comments to the qualified archaeologist in a timely manner to be submitted with the report. The report will include California Department of Parks and Recreation Primary and Archaeological Site Forms for any newly discovered resources.

GEO-1

Implementation of Geotechnical Recommendations. The site-specific Geotechnical Investigation includes a number of general and specific recommendations that shall be implemented in the design and construction of the proposed project to minimize (a) the potential for exposure to soils with corrosive properties and associated potential for deterioration and eventual failure of underground concrete and metal structures, and (b) the potential concern associated with expansive soils on site, as summarized herein. Corrosion recommendations that shall be implemented include, but are not limited to: (1) further testing by a firm that specializes in corrosion engineering to determine next steps associated with corrosive soils, if any. Expansive soils recommendations that shall be implemented include, but are not limited to: (1) removal of

unsuitable materials during site preparation and grading; (2) confirmation that fill material exhibits "very low" or "low" expansion potential (per CBC standards); and (3) testing of proposed fill materials for suitability (including expansion potential). Finally, site grading plans shall be reviewed by a qualified geotechnical consultant prior to final design submittal to determine if additional analysis and recommendations beyond those summarized above (and listed in full in the Geotechnical Investigation) are required. Any and all geotechnical recommendations shall be fully implemented in accordance with applicable industry/regulatory standards (e.g., the CBC requirements).

NOI-1

Interior Noise Attenuation. Interior noise levels for the proposed residences shall not exceed 45 CNEL. Once specific building plan information is available, additional exterior-to-interior noise analysis shall be conducted for the proposed residences that face Brotherton Road or S. Centre City Parkway where exterior noise levels are expected to exceed 60 CNEL to demonstrate that interior levels do not exceed 45 CNEL. The information in the analysis shall include wall heights and lengths, room volumes, window and door tables typical for a building plan, as well as information on any other openings in the building shell. The analysis shall also assume a "windows-closed" condition and that vehicles on Centre City Parkway are traveling at 50 mph. With this specific building plan information, the analysis shall determine the predicted interior noise levels at the planned on-site buildings. If predicted noise levels are found to be in excess of 45 CNEL, the report shall identify architectural materials or techniques that could be included to reduce noise levels to 45 CNEL in habitable rooms. Standard measures such as glazing with Sound Transmission Control (STC) ratings from a STC 22 to STC 60, as well as walls with appropriate STC ratings (34 to 60), should be considered. Appropriate means of air circulation and provision of fresh air would be provided to allow windows to remain closed for extended intervals of time so that acceptable interior noise levels can be maintained. The mechanical ventilation system would meet the criteria of the International Building Code (Chapter 12, Section 1203.3 of the 2001 California Building Code).

NOI-2

Vibration Attenuation. The construction contractor shall not operate a vibratory roller, or equipment with the potential to result in an equivalent level of vibration, that results in a level that exceeds 80 VdB at off-site residences or 83 VdB at the off-site KinderCare childcare center. Operation of a vibratory roller or equivalent shall be avoided within 75 feet of any off-site residence or 60 feet of the off-site childcare center.

Landscaping

1. Five copies of a detailed landscape and irrigation plan(s) shall be submitted to the Engineering Division in conjunction with the submittal of the Final Map and Grading Plans, and shall be equivalent or superior to the concept plan attached as exhibit(s) in the staff report(s). A plan check fee of will be collected at the time of submittal. The required landscape and irrigation plan(s) shall comply with the provisions, requirements and standards in the City's Landscape Standards as well as the State Model Water Efficient Landscape Ordinance. The plans shall be prepared by, or under the supervision of a licensed landscape architect.
2. The landscaping plan shall include specimen sized evergreen trees, to the satisfaction of the Planning Division. Root barriers shall be provided in accordance with the Landscape Ordinance.
3. The landscape design for the storm water basins shall be a visual amenity for the project to include an appropriate variety of plants and features. The larger storm water feature located on Del Prado North shall include accent trees along the slope areas if the placement would not conflict with the storm water design/function. The two larger storm water features on Del Prado

South shall incorporate trees into the design where the placement does not conflict with any public utility easements/improvements.

4. All landscaping shall be permanently maintained in a flourishing manner. All irrigation shall be maintained in fully operational condition.
5. All manufactured slopes, or slopes cleared of vegetation shall be landscaped within thirty (30) days of completion of rough grading. If, for whatever reason, it is not practical to install the permanent landscaping, then an interim landscaping solution may be acceptable. The type of plant material, irrigation and the method of application shall be to the satisfaction of the Planning Division and City Engineer.
6. Prior to occupancy of future units, all required landscape improvements shall be installed and all vegetation growing in an established, flourishing manner. The required landscaped areas shall be free of all foreign matter, weeds and plant material not approved as part of the landscape plan.
7. The installation of the landscaping and irrigation shall be inspected by the project landscape architect upon completion. He/she shall complete a Certificate of Landscape Compliance certifying that the installation is in substantial compliance with the approved landscape and irrigation plans and City standards. The applicant shall submit the Certificate of Compliance to the Planning Division and request a final inspection.

ENGINEERING CONDITIONS OF APPROVAL SUB 15-0022, Del Prado North

GENERAL

1. Improvement plans prepared by a Civil Engineer are required for all public street and utility improvements and a Grading/Private Improvement Plan prepared by Civil Engineer is required for all grading, drainage and private onsite improvement design. Landscaping Plans shall be prepared by a landscape Architect. The developer shall post securities in accordance with the City prepared bond and fee letter based on a final estimate of grading and improvements cost prepared by the project engineer. The project owner is required to provide performance, labor and material and guarantee and warrantee bonds for all public improvements and a grading bond for all grading, landscaping and private improvements (not including the buildings) prior to approval of the Grading/Private Improvement Plan, Final Map, and Improvement Plans. All improvements shall be completed prior to issuance of Occupancy Permit.
2. As surety for the construction of required off-site and on-site improvements, bonds and agreements in a form acceptable to the City Attorney shall be posted by the developer with the City of Escondido prior to the approval of Grading Permit and/or Final Subdivision Map.
3. No construction permits will be issued prior to recordation of Final Map, unless Final Map review has been completed, Final Plans and Storm Water Quality Management Plan (SWQMP) have been approved and appropriate securities are deposited and agreements executed to the requirements of the City Engineer and City Attorney.
4. If site conditions change adjacent to the proposed development prior to completion of the project, the developer will be responsible to modify his/her improvements to accommodate these changes. The determination and extent of the modification shall be to the satisfaction of the City Engineer.
5. All public improvements shall be constructed in a manner that does not damage existing public improvements. Any damage shall be determined by and corrected to the satisfaction of the City Engineer.
6. The project owner shall submit to the Planning Department 3 copies of the Tentative Map as presented to the Planning Commission and the City Council. The Tentative Map will be certified by the Planning Department verifying that it is an accurate reproduction of the approved Tentative Map and must be included in the first submittal for plan check, together with a final Storm Water Quality Management Plan (SWQMP) to the Engineering Department.

STREET IMPROVEMENTS AND TRAFFIC

1. Public streets improvements shall be designed in compliance with City of Escondido Design Standards and requirements of the City Engineer. Private Street improvements shall be designed in accordance with the requirements of the City Engineer, Fire Marshal and Director of Community Development, and shall be shown on the Grading/Private Improvement Plans.

2. The project owner shall construct public and private street improvements for the following streets:

<u>STREET</u>	<u>CLASSIFICATION</u>
S. Centre City Parkway	Local Collector
Brotherton Road	Unclassified Local Collector

3. The project owner shall be responsible for construction of frontage improvements along Brotherton Road to Local Collector Street standards with modified curb returns and signing and striping as indicated on the project Tentative Map and to the satisfaction of the City Engineer. Required improvements shall include upgrading or remove and reconstruction of existing roadway section to Local Collector standards.
4. The project owner shall be responsible for construction of frontage improvements along S. Centre City Parkway to Local Collector Street standards to provide for minimum 36 feet of roadway width (width could be reduced to 32 feet where existing power poles are in conflict with improvements). A curb shall be installed along the easterly edge of the roadway. Required improvements shall include upgrading or remove and reconstruction of existing roadway section to Local Collector standards. The project owner is required to stabilize all disturbed areas along the easterly side of S. Centre City Parkway to the requirements of the City Engineer.
5. The project owner shall be required to modify the existing intersections of Brotherton Road with Centre City Parkway and S. Center City Parkway with signing, striping and southwest corner surface improvements in accordance with the project Tentative Map and to the requirements of the City Engineer.
6. City standard Street Lights shall be installed at project entrance, intersection of Brotherton Road with S. Centre City Parkway and along project frontages in accordance with the City Design Standards.
7. The project owner's engineer shall prepare and submit for approval by the City Engineer a complete final signing and striping plan for intersections of Brotherton Road with Centre City Parkway and S. Centre City Parkway and along project's frontages on Brotherton Road and S. Centre City Parkway. Signing and striping design shall include a stop control for the east bound traffic on Brotherton Road at S. Centre City Parkway. The developer will be responsible for removal of all existing signing and striping, pavement rehabilitation to allow for new signing and striping and construction of all new signing and striping to the satisfaction of the City Engineer.
8. All onsite streets are private and shall be designed and constructed to the requirements of Fire Marshal, Planning Director and City Engineer. A Homeowners Association will be responsible for the maintenance of all onsite streets.
9. The project owner shall be required to design an onsite signing and striping plan that includes signage and striping at the project access on Brotherton Road.
10. The project owner will be required to provide a detailed detour and traffic control plan, for all construction within existing rights-of-way, to the satisfaction of the Traffic Engineer and

the Field Engineer. This plan shall be approved prior the issuance of an Encroachment Permit for construction within the public right-of-way.

GRADING

1. A site grading and erosion control plan shall be approved by the Engineering Division. The first submittal of the grading plan shall be accompanied by 3 copies of the preliminary soils and geotechnical report. The soils engineer will be required to indicate in the soils report and on the grading plan, that he/she has reviewed the grading and retaining wall design and found it to be in conformance with his or her recommendations.
2. All proposed retaining walls shall be shown on and permitted as part of the site grading plan. Profiles and structural details shall be shown on the site grading plan and the Soils Engineer shall state on the plans that the proposed retaining wall design is in conformance with the recommendations and specifications as outlined in the Geotechnical Report. Structural calculations shall be submitted for review by a Consulting Engineer for all walls not covered by Regional or City Standard Drawings.
3. Cut slope setbacks must be of sufficient width to allow for construction of all necessary screen walls and/or brow ditches.
4. The project owner shall be responsible for the recycling of all excavated materials designated as Industrial Recyclables (soil, asphalt, sand, concrete, land clearing brush and rock) at a recycling center or other location(s) approved by the City Engineer.
5. A General Construction Activity Permit is required from the State Water Resources Board for all storm water discharges associated with a construction activity where clearing, grading and excavation results in a land disturbance of one (1) or more acres.
6. All blasting operations performed in connection with the improvement of the project shall conform to the City of Escondido Blasting Operations Ordinance.
7. Prior to approval of final plans, the project owner will be required to obtain permission from adjoining property owners for any off-site improvements, grading and slopes necessary to construct the project and/or the required improvements.

DRAINAGE

1. A Final Storm Water Quality Management Plan(SWQMP) in compliance with City's latest adopted Storm Water Standards (2015 BMP Manual) shall be prepared for all onsite and newly created impervious frontage improvements and submitted for approval together with the final improvement and grading plans. The Storm Water Quality Management Plan shall include hydro-modification calculations, treatment calculations, post construction storm water treatment measures and maintenance requirements. All onsite cistern or other hydro-modification facilities for treatment facilities shall be located outside public easements.

2. All proposed onsite drainage system, storm water treatment and hydro-modification facilities and their drains shall be maintained by Home Owners' Association. Provisions stating this shall be included in the CC&Rs.
3. All frontages landscaping along Brotherton Road and S. Centre City Parkway shall be maintained by Home Owners Association. Provisions stating this shall be included in the CC&Rs.
4. The developer will be required to submit a signed, notarized and recorded copy of Storm Water Control Facility Maintenance Agreement to the City Engineer. This Agreement shall be referenced and included in the CC&Rs.

WATER SUPPLY

1. The project owner is required to design and construct water improvements for the project in accordance with City Design Standards and Standard Drawings and to the requirements of the Utilities Engineer.
2. All onsite public and private water facilities such as valves, meters, detector checks and fire hydrants shall be designed to be located as determined by the Fire Marshal and Utilities Engineer.

SEWER

1. The project owner is required to design and construct an onsite/offsite public sewer system to serve the project in accordance with the City of Escondido Design Standards and to the requirements of the Utilities Engineer.
2. All sewer laterals within the project are private and shall be maintained by the home owners association.

CC&Rs

1. Copies of the CC&R's (along with the appropriate review fee) shall be submitted to the Engineering Division and Planning Department for approval prior to approval of the Final Map.
2. The project owner shall make provisions in the CC&Rs for maintenance by the homeowners' association of all, lightings, signing and striping, parkway landscaping and irrigation, walls, storm water treatment basins and facilities, sewer laterals, common open spaces, public utilities easement area and internal streets. These provisions must be approved by the Engineering Department prior to approval of the Final Map.
3. CC&Rs shall make provisions for maintenance of frontage landscaping, irrigation, fencing, and retaining walls along project frontages on Brotherton Road and S. Centre City Parkway by the Homeowners' Association.
4. The CC&Rs shall reference the recorded Storm Water Control Facility Maintenance Agreement and the approved Storm Water Quality Management Plan for the project.

5. The CC&Rs must state that the homeowners association assumes liability for damage and repair to City utilities in the event that damage is caused by the Home Owners' Association when repair or replacement of private utilities is done.
6. The CC&Rs must state that (if stamped concrete or pavers are used in the private street) the Homeowners' Association is responsible for replacing the pavers and/or stamped concrete in kind if the City has to trench the street or within public utilities easements for repair or replacement of an existing utilities.

FINAL MAP - EASEMENTS AND DEDICATIONS

1. The project owner shall make all necessary dedications for public rights-of-way for public streets or public utilities and emergency access easements for the private streets according to the following street classifications.

<u>STREET</u>	<u>CLASSIFICATION</u>
S. Centre City Parkway	Local Collector
Brotherton Road	Unclassified Local Collector

All necessary right-of-ways, public utilities and emergency access easements shall be granted on the Final Map.

2. Necessary public utilities easements (for sewer, water and storm drain) shall be granted to the City. The minimum easement width is 20 feet. Easements with additional utilities shall be increased accordingly to the requirements of the Utilities Engineer.
3. All easements, both private and public, affecting subject property shall be shown and delineated on the Final Map. Necessary right-of-ways, public utilities and emergency access easements shall be granted on the Final Map.
4. The project owner is responsible for making the arrangements to quitclaim all easements of record which conflict with the proposed development prior to approval of the final map. If an easement of record contains an existing utility that must remain in service, proof of arrangements to quitclaim the easement once new utilities are constructed must be submitted to the City Engineer prior to approval of the Final Map.
5. The project owner shall provide the City Engineer with a Subdivision Guarantee and Title Report covering subject property.

REPAYMENTS, FEES AND CASH SECURITIES

1. The project owner shall be required to pay all development fees, including any repayments in effect prior to approval of the Final Subdivision Map. All development impact fees are paid at the time of Building Permit.

2. A cash security shall be posted to pay any costs incurred by the City to clean-up eroded soils and debris, repair damage to public or private property and improvements, install new BMPs, and stabilize and/or close-up a non-responsive or abandoned project. Any moneys used by the City for cleanup or damage will be drawn from this security and the grading permit will be revoked by written notice to the developer until the required cash security is replaced. The cleanup cash security shall be released upon final acceptance of the grading and improvements for this project. The amount of the cash security shall be \$50,000.

UTILITY UNDERGROUNDING AND RELOCATION

1. All existing overhead utilities within the subdivision boundary or along frontage of the fronting streets shall be relocated underground as required by the Subdivision Ordinance. 69 KV lines are exempt from undergrounding, however, all other SDG&E lines and other utility companies lines occupying the same poles will be subject to undergrounding.
2. All new dry utilities to serve the project shall be constructed underground. The project owner shall sign a written agreement stating that he has made all such arrangements as may be necessary to coordinate and provide utility construction, relocation and undergrounding. All new utilities shall be constructed underground.

ENGINEERING CONDITIONS OF APPROVAL SUB 15-0023, Del Prado South

GENERAL

- 1 Improvement plans prepared by a Civil Engineer are required for all public street and utility improvements and a Grading/Private Improvement Plan prepared by Civil Engineer is required for all grading, drainage and private onsite improvement design. Landscaping Plans shall be prepared by a landscape Architect. The developer shall post securities in accordance with the City prepared bond and fee letter based on a final estimate of grading and improvements cost prepared by the project engineer. The project owner is required to provide performance, labor and material and guarantee and warrantee bonds for all public improvements and a grading bond for all grading, landscaping and private improvements (not including the buildings) prior to approval of the Grading/Private Improvement Plan, Final Map, and Improvement Plans. All improvements shall be completed prior to issuance of Occupancy Permit.
- 2 As surety for the construction of required off-site and on-site improvements, bonds and agreements in a form acceptable to the City Attorney shall be posted by the developer with the City of Escondido prior to the approval of Grading Permit and/or Final Subdivision Map.
- 3 No construction permits will be issued prior to recordation of Final Map, unless Final Map review has been completed, Final Plans and Storm Water Quality Management Plan (SWQMP) have been approved and appropriate securities are deposited and agreements executed to the requirements of the City Engineer and City Attorney.
- 4 If site conditions change adjacent to the proposed development prior to completion of the project, the developer will be responsible to modify his/her improvements to accommodate these changes. The determination and extent of the modification shall be to the satisfaction of the City Engineer.
- 5 All public improvements shall be constructed in a manner that does not damage existing public improvements. Any damage shall be determined by and corrected to the satisfaction of the City Engineer.
- 6 The project owner shall submit to the Planning Division 3 copies of the Tentative Map as presented to the Planning Commission and the City Council. The Tentative Map will be certified by the Planning Division verifying that it is an accurate reproduction of the approved Tentative Map and must be included in the first submittal for plan check, together with a final Storm Water Quality Management Plan (SWQMP) to the Engineering Department.

STREET IMPROVEMENTS AND TRAFFIC

- 1 Public streets improvements shall be designed in compliance with City of Escondido Design Standards and requirements of the City Engineer. Private Street improvements shall be designed in accordance with the requirements of the City Engineer, Fire Marshal and Director of Community Development, and shall be shown on the Grading/Private Improvement Plans.

- 2 The project owner shall construct public and private street improvements for the following streets:

<u>STREET</u>	<u>CLASSIFICATION</u>
S. Centre City Parkway	Local Collector

The project owner shall be responsible for construction of frontage improvements along S. Centre City Parkway to Local Collector Street standards to provide for minimum 36 feet of roadway width (Width could be reduced to 32 where existing power poles are in conflict with improvements). A curb shall be installed along the easterly edge of the roadway. Required improvements shall include upgrading or remove and reconstruction of existing roadway section to Local Collector standards. The project owner is required to stabilize all disturbed areas along easterly side of S. Centre City Parkway to the requirements of City Engineer.

- 3 City standard Street Lights shall be installed at project entrance on S. Centre City Parkway and along the roadways in accordance with the City Design Standards.
- 4 The project owner's engineer shall prepare and submit for approval by the City Engineer a complete final signing and striping plan for Brotherton Road. The project owner will be responsible for refreshing the existing intersection striping at Citracado Parkway and S. Centre City Parkway, if required by the City Engineer based on intersection striping condition prior to project completion. The project owner will be responsible for removal of all existing signing and striping, pavement rehabilitation to allow for new signing and striping and construction of all new signing and striping to the satisfaction of the City Engineer.
- 5 All onsite streets are private and shall be designed and constructed to the requirements of Fire Marshal, Planning Director and City Engineer. A Homeowners Association will be responsible for the maintenance of all onsite streets.
- 6 The project owner shall be required to design an onsite signing and striping plan that includes signage and striping at the project access on S. Centre City Parkway.
- 7 The project owner will be required to provide a detailed detour and traffic control plan, for all construction within existing rights-of-way, to the satisfaction of the City Engineer. This plan shall be approved prior the issuance of an Encroachment Permit for construction within the public right-of-way.

GRADING

- 1 A site grading and erosion control plan shall be approved by the Engineering Division. The first submittal of the grading plan shall be accompanied by 3 copies of the preliminary soils and geotechnical report. The soils engineer will be required to indicate in the soils report and on the grading plan, that he/she has reviewed the grading and retaining wall design and found it to be in conformance with his or her recommendations.
- 2 All proposed retaining walls shall be shown on and permitted as part of the site grading plan. Profiles and structural details shall be shown on the site grading plan and the Soils

Engineer shall state on the plans that the proposed retaining wall design is in conformance with the recommendations and specifications as outlined in the Geotechnical Report. Structural calculations shall be submitted for review by a Consulting Engineer for all walls not covered by Regional or City Standard Drawings.

- 3 Cut slope setbacks must be of sufficient width to allow for construction of all necessary screen walls and/or brow ditches.
- 4 The project owner shall be responsible for the recycling of all excavated materials designated as Industrial Recyclables (soil, asphalt, sand, concrete, land clearing brush and rock) at a recycling center or other location(s) approved by the City Engineer.
- 5 A General Construction Activity Permit is required from the State Water Resources Board for all storm water discharges associated with a construction activity where clearing, grading and excavation results in a land disturbance of one (1) or more acres.
- 6 All blasting operations performed in connection with the improvement of the project shall conform to the City of Escondido Blasting Operations Ordinance.
- 7 Prior to approval of final plans, the project owner will be required to obtain permission from adjoining property owners for any off-site improvements, grading and slopes necessary to construct the project and/or the required improvements.

DRAINAGE

- 1 A Final Storm Water Quality Management Plan(SWQMP) in compliance with City's latest adopted Storm Water Standards (2015 BMP Manual) shall be prepared for all onsite and newly created impervious frontage improvements and submitted for approval together with the final improvement and grading plans. The Storm Water Quality Management Plan shall include hydro-modification calculations, treatment calculations, post construction storm water treatment measures and maintenance requirements. All onsite cistern or other hydro-modification facilities for treatment facilities shall be located outside public easements.
- 2 All proposed onsite drainage system, storm water treatment and hydro-modification facilities and their drains shall be maintained by homeowners' association. Provisions stating this shall be included in the CC&Rs.
- 3 All frontages landscaping along S. Centre City Parkway and Brotherton Road shall be maintained by homeowners association. Provisions stating this shall be included in the CC&Rs.
- 4 The developer will be required to submit a signed, notarized and recorded copy of Storm Water Control Facility Maintenance Agreement to the City Engineer. This Agreement shall be referenced and included in the CC&Rs.

WATER SUPPLY

- 1 The project owner is required to design and construct water improvements for the project in accordance with City Design Standards and Standard Drawings and to the requirements of the Utilities Engineer.
- 2 All onsite public and private water facilities such as valves, meters, detector checks and fire hydrants shall be designed to be located as determined by the Fire Marshal and Utilities Engineer.

SEWER

- 1 The project owner is required to design and construct an onsite public sewer system in accordance with the City of Escondido Design Standards and to the requirements of Utilities Engineer. Any changes to the proposed sewer system design due to conflict with other utilities shall, be approved by the Utilities Engineer prior to submittal of final plans for review and approval.
- 2 All sewer laterals within the project are private and shall be maintained by the homeowners association.

CC&Rs

- 1 Copies of the CC&Rs shall be submitted to the Engineering Department and Planning Department for approval prior to approval of the Final Map.
- 2 The project owner shall make provisions in the CC&Rs for maintenance by the homeowners' association of all, lightings, signing and striping, parkway landscaping and irrigation, storm water treatment basins and facilities, sewer laterals, common open spaces, public utilities easement area and emergency access road and internal streets. These provisions must be approved by the Engineering Department prior to approval of the Final Map.
- 3 CC&Rs shall make provisions for maintenance of frontage landscaping, irrigation, fencing, and retaining walls along project frontage on S. Centre City Parkway by the Homeowners' Association.
- 4 The CC&Rs shall reference the recorded Storm Water Control Facility Maintenance Agreement and the approved Storm Water Quality Management Plan for the project.
- 5 The CC&Rs must state that the homeowners association assumes liability for damage and repair to City utilities in the event that damage is caused by the Home Owners' Association when repair or replacement of private utilities is done.
- 6 The CC&Rs must state that (if stamped concrete or pavers are used in the private street) the Home Owners' Association is responsible for replacing the pavers and/or stamped concrete in kind if the City has to trench the street or within public utilities easements for repair or replacement of an existing utilities.

FINAL MAP - EASEMENTS AND DEDICATIONS

- 1 The project owner shall make all necessary dedications for public rights-of-way for public streets or public utilities and emergency access easements for the private streets according to the following street classifications.

<u>STREET</u>	<u>CLASSIFICATION</u>
S. Centre City Parkway	Local Collector

- 2 All necessary right-of-ways, public utilities and emergency access easements shall be granted on the Final Map.
- 3 Necessary public utilities easements (for sewer, water and storm drain) shall be granted to the City. The minimum easement width is 20 feet. Easements with additional utilities shall be increased accordingly to the requirements of Utilities Engineer.
- 4 All easements, both private and public, affecting subject property shall be shown and delineated on the Final Map. Necessary right-of-ways, public utilities and emergency access easements shall be granted on the Final Map.
- 5 The project owner is responsible for making the arrangements to quitclaim all easements of record which conflict with the proposed development prior to approval of the final map. If an easement of record contains an existing utility that must remain in service, proof of arrangements to quitclaim the easement once new utilities are constructed must be submitted to the City Engineer prior to approval of the Final Map.
- 6 The project owner shall provide the City Engineer with a Subdivision Guarantee and Title Report covering subject property.

REPAYMENTS, FEES AND CASH SECURITIES

1. The project owner shall be required to pay all development fees, including any repayments in effect prior to approval of the Final Subdivision Map. All development impact fees are paid at the time of Building Permit.
2. A cash security shall be posted to pay any costs incurred by the City to clean-up eroded soils and debris, repair damage to public or private property and improvements, install new BMPs, and stabilize and/or close-up a non-responsive or abandoned project. Any moneys used by the City for cleanup or damage will be drawn from this security and the grading permit will be revoked by written notice to the developer until the required cash security is replaced. The cleanup cash security shall be released upon final acceptance of the grading and improvements for this project. The amount of the cash security shall be \$50,000.

UTILITY UNDERGROUNDING AND RELOCATION

1. All existing overhead utilities within the subdivision boundary or along frontage of the fronting streets shall be relocated underground as required by the Subdivision Ordinance. 69 KV lines are exempt from undergrounding, however, all other SDG&E lines and other utility companies lines occupying the same poles will be subject to undergrounding.
2. All new dry utilities to serve the project shall be constructed underground.
3. The project owner shall sign a written agreement stating that he has made all such arrangements as may be necessary to coordinate and provide utility construction, relocation and undergrounding. All new utilities shall be constructed underground.

Jay Paul

From: John Schuler <jgschuler@gmail.com>
Sent: Saturday, March 05, 2016 4:07 PM
To: Jay Paul
Subject: Del Prado Planned Residential Development, ENV 15-0011

Hi Jay,

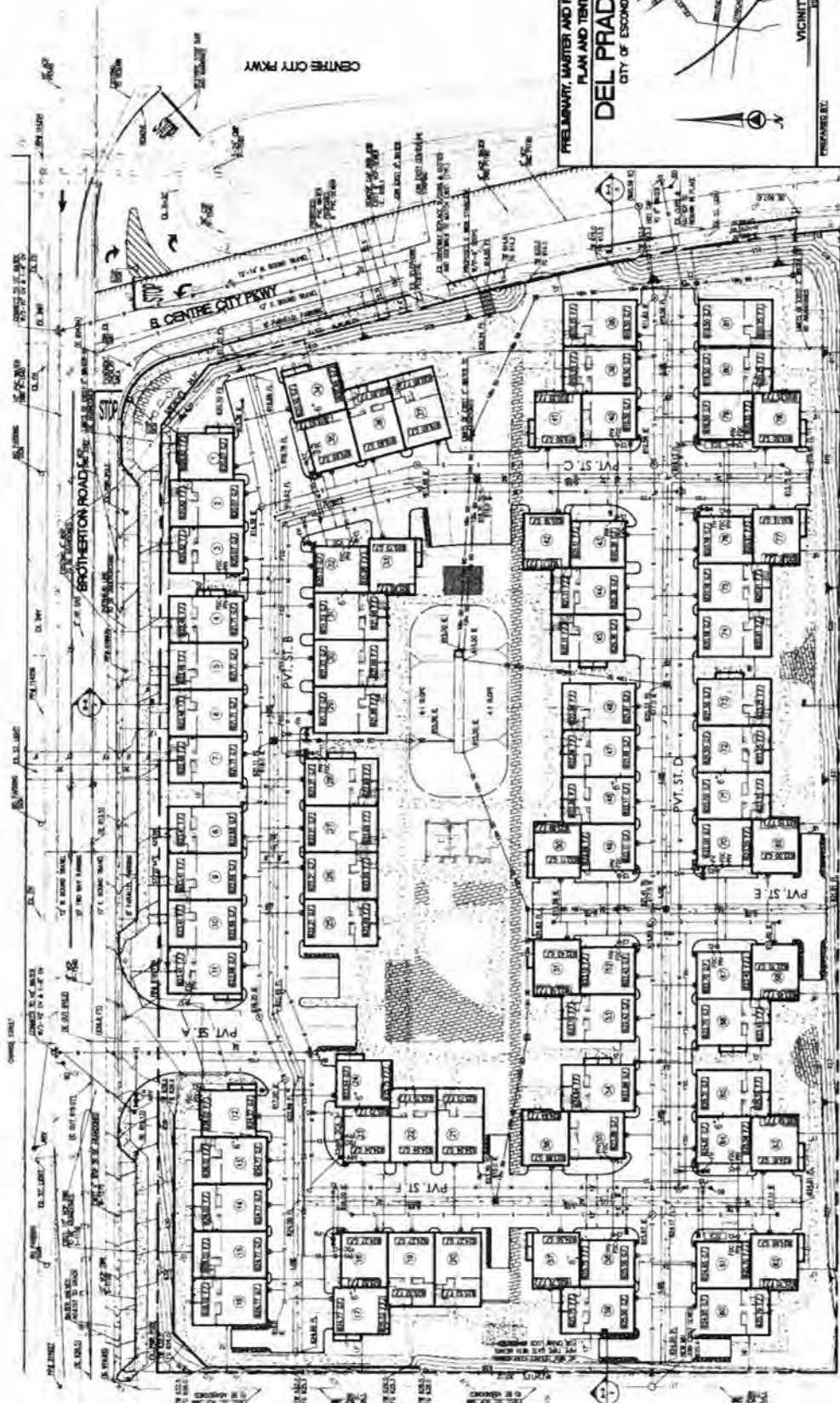
I reside at 440 W Citracado Parkway unit 41. My unit is located in the NE corner of the parcel. I am against the Del Prado development for the following reasons.

1. The density is too high. I live in Bernardo Hills condominiums. We have 56 units on approximately 6.5 acres of land. The proposed project has 113 units on just 4.89 acres. In other words, Bernardo Hills density is 8.6 units per acre and this proposed plan is for 23 units per acre. This is way too high. Is this allowed in the planning ordinances or is this Touchstone Communities outfit asking for a waiver?
2. I demand that you redraw the map included in the flyer properly. What is not shown is the access road that runs parallel to the west side of Centre City Parkway. From Brotherton, Del Prado is only accessible by those going southbound on Centre City Parkway. This is no access for those going northbound on Centre City parkway unless they turn in on the access road at West Citracado Parkway. This is going to jam up the traffic in a intersection that wasn't designed to handle this additional traffic flow.
3. People that buy the units are idiots. Most of the units will face either a noisy road or a car wash. Those with a west facing view get to look at a power distribution grid. It sounds like a real nice place to live.

I suggest that reject this plan and ask Touchstone Communities to design a lower profile, less dense development that includes the costs of adding a new set of traffic lights at the Brotherton and Centre City parkway.

Regards,

John Schuler
jgschuler@gmail.com
760 715 7186



PRELIMINARY, MATTER AND PRELIMINARY DEVELOPMENT
PLAN AND TENTATIVE MAP
DEL PRADO NORTH
CITY OF ESCOBEDO, CALIFORNIA



COMPANIES BY:

PROJECT DESCRIPTION:
REDEVELOPMENT OF EXISTING LOT

MASSON & ASSOCIATES, INC.
10000 N. CENTRAL AVENUE, SUITE 100
DALLAS, TEXAS 75243
TEL: (214) 343-1100
FAX: (214) 343-1101

PREPARED BY:
MASSON & ASSOCIATES, INC.
10000 N. CENTRAL AVENUE, SUITE 100
DALLAS, TEXAS 75243
TEL: (214) 343-1100
FAX: (214) 343-1101

PROJECT ADDRESS:
2201 CENTRE CITY PARKWAY, ESCOBEDO, CA

CONTRACT NO.:
10000 N. CENTRAL AVENUE, SUITE 100
DALLAS, TEXAS 75243
TEL: (214) 343-1100
FAX: (214) 343-1101

DATE:
C-9, 5

- NOTES:**
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LEGEND:

PROPOSED LOT AREA
PROPOSED LOT AREA

PROPOSED PROJECT
SUB 15-0022/SUB 15-0023

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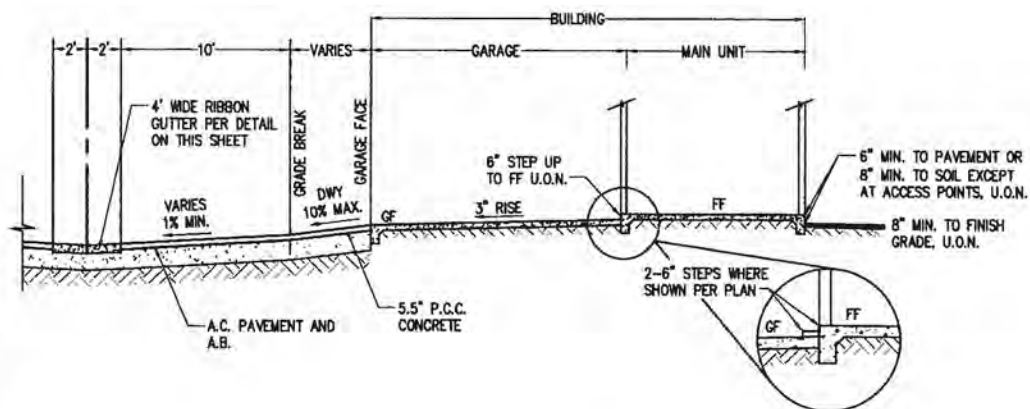
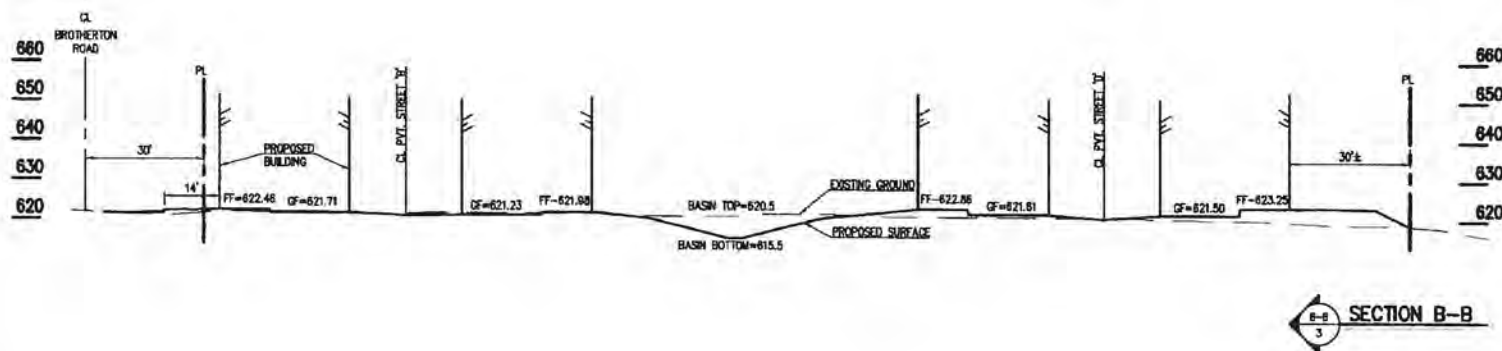
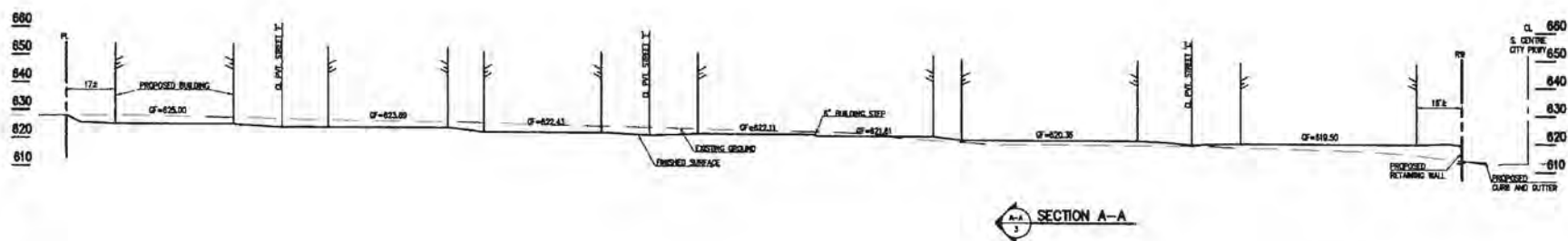
TENTATIVE MAP

PROPOSED PROJECT
SUB 15-0022/SUB 15-0023

NORTH

TS

TENTATIVE SECTIONS



TYPICAL GRADING SECTION

N.T.S.

**SECTIONS AND DETAILS
DEL PRADO NORTH**
CITY OF ESCONIDO, CALIFORNIA

PREPARED BY:
MASSON & ASSOCIATES, INC.
Planning • Engineering • Surveying • Information
300 East Washington Avenue, Suite 300
Escondido, CA 92025
P: (760) 411-5400
F: (760) 411-1784

PROJECT DESCRIPTION:
61 CONDOMINIUM UNITS

Foundation 6	
Foundation 5	
Foundation 7	
Foundation 6	
Foundation 5	
Foundation 6	
Foundation 5	
Foundation 6	
Foundation 5	

ADJACENT PARCEL NO.:
238-130-11, 28, 27

PROJECT ADDRESS:
2301 CENTRE CITY PARKWAY, ESCONIDO CA

OWNER/APPLICANT:
TELESTONE COMMUNITIES, INC.
KERRY GANZA
9909 MIRIA WEAVER BLVD., SUITE 150
SAN DIEGO, CA 92131
619-595-0414

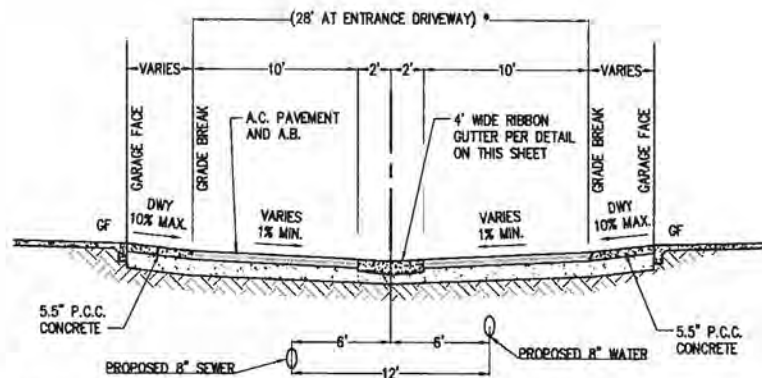
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NORTH

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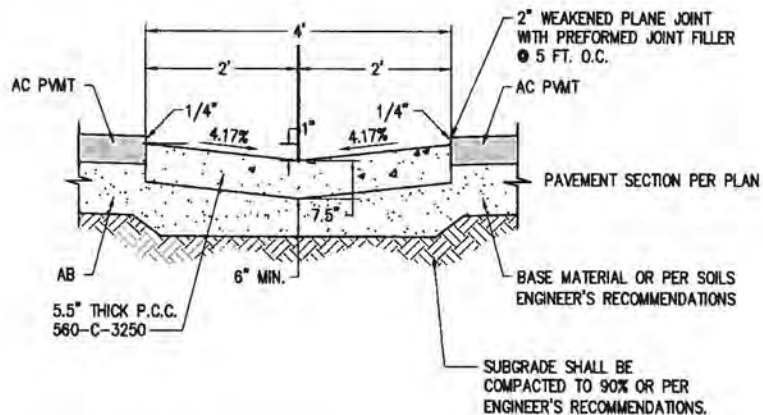
TENTATIVE DETAILS

PROPOSED PROJECT

TYPICAL STREET AND DRIVEWAY

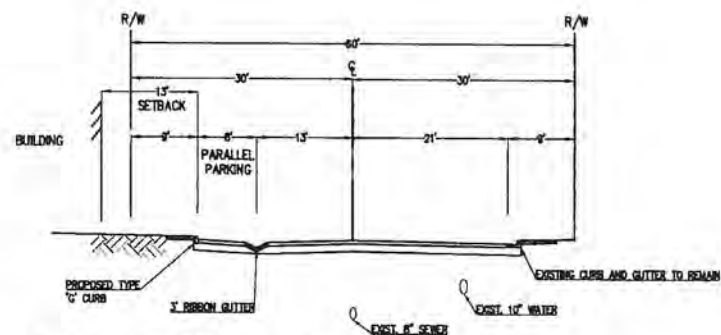
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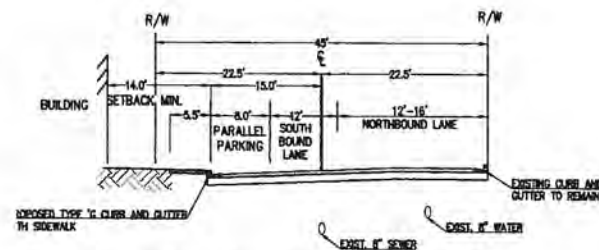
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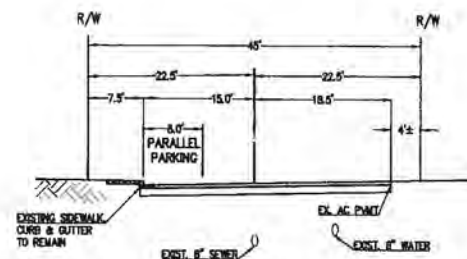
BROTHERTON ROAD SECTION

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S. CENTRE CITY PARKWAY (FRONTAGE ROAD)

NTS



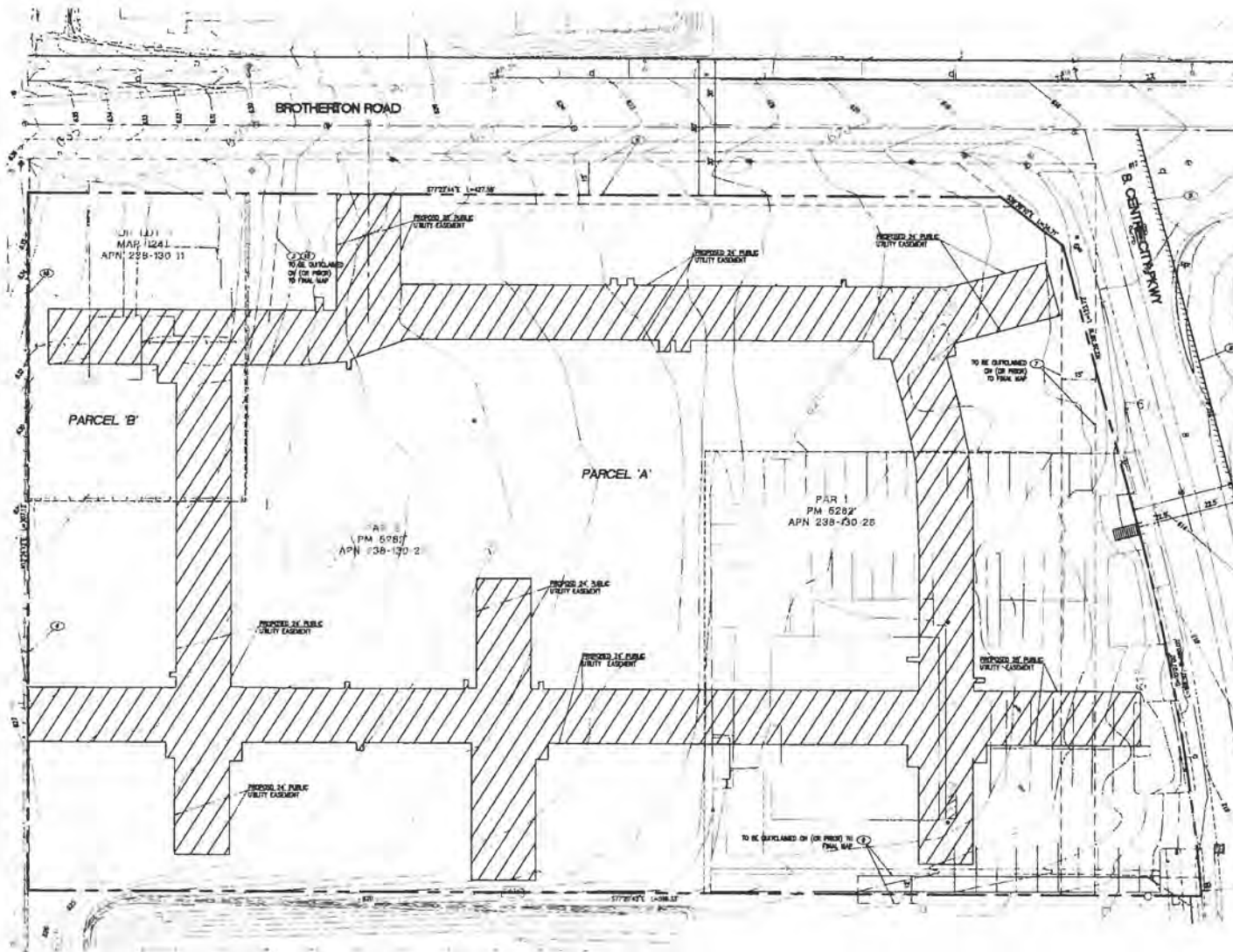
S. CENTRE CITY PARKWAY (FRONTAGE ROAD) SECTION

NTS

PROPOSED PROJECT SUB 15-0022/SUB 15-0023

NORTH

EM



EASEMENTS AND NOTES:

SCHEDULE "B" EXCEPTS PER CHICAGO TITLE COMPANY TWO ANCHORED PRELIMINARY REPORT ORDER NUMBER 1205033-PM-450 DATED: JULY 14, 2014.
ITEM NUMBER SHOWN HEREIN CORRESPONDS TO REPORT NUMBER

THE FOLLOWING MATTERS AFFECT PARCEL A:

- 1 EASEMENT TO SAN DIEGO GAS AND ELECTRIC COMPANY FOR POLES, WIRES AND INCIDENTAL PURPOSES, RECORDED JANUARY 17, 1945 IN BOOK 1808, PAGE 207, OF OFFICIAL RECORDS.
 - 2 EASEMENT TO SAN DIEGO GAS AND ELECTRIC COMPANY FOR POLES, WIRES AND INCIDENTAL PURPOSES, RECORDED JULY 29, 1946 IN BOOK 2168, PAGE 427, OF OFFICIAL RECORDS.
 - 3 THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM THE STREET, HIGHWAY, OR FREIGHTWAY ABUTTING SAID LAND, SUCH RIGHTS HAVING BEEN REQUIRED BY THE DOCUMENT RECORDED DECEMBER 1, 1954 IN BOOK 3442, PAGE 325, OF OFFICIAL RECORDS.
 - 4 EASEMENT TO COUNTY OF SAN DIEGO FOR ROAD PURPOSES, RECORDED NOVEMBER 14, 1959 IN BOOK 1751, PAGE 189, OF OFFICIAL RECORDS.
 - 5 SAID INSTRUMENT ADDITIONALLY CONTAINS THE PRIVILEGE AND RIGHT TO EXTEND STRUCTURES AND LOCATIONS AND EMBANKMENT SLIPES BEYOND THE LIMITS WHERE REQUIRED FOR THE CONSTRUCTION AND MAINTENANCE THEREOF.
 - 6 EASEMENT TO THE CITY OF ESCONDIDO FOR ROWS AND APPURTENANCES RECORDED NOVEMBER 14, 1961 AS INSTRUMENT NO. 196202, OF OFFICIAL RECORDS.
 - 7 THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM THE STREET, HIGHWAY, OR FREIGHTWAY ABUTTING SAID LAND, SUCH RIGHTS HAVING BEEN REQUIRED BY THE DOCUMENT, RECORDED JANUARY 3, 1964 AS INSTRUMENT NO. 1005, OF OFFICIAL RECORDS.
 - 8 EASEMENT TO SAN DIEGO GAS AND ELECTRIC COMPANY FOR PUBLIC UTILITIES, ROWS AND EGRESS PURPOSES, RECORDED APRIL 29, 1969 AS INSTRUMENT NO. 73107, OF OFFICIAL RECORDS.
- THE FOLLOWING MATTERS AFFECT PARCEL B:
- 9 EASEMENT TO SAN DIEGO GAS AND ELECTRIC COMPANY FOR PUBLIC UTILITIES, ROWS AND EGRESS PURPOSES, RECORDED JANUARY 17, 1945 IN BOOK 1808, PAGE 207, OF OFFICIAL RECORDS. "DOES NOT AFFECT PARCEL B"
 - 10 EASEMENT TO SAN DIEGO GAS AND ELECTRIC COMPANY PUBLIC UTILITIES, ROWS AND EGRESS PURPOSES, RECORDED JULY 29, 1946 IN BOOK 2168, PAGE 427, OF OFFICIAL RECORDS.

ENCUMBRANCE MAP

DEL PRADO NORTH
CITY OF ESCONDIDO, CALIFORNIA



VICINITY MAP

PREPARED BY:

Planning, Engineering & Surveying - Solutions

333 East Washington Ave., Suite 300

Escondido, CA 92025

T 761.941.5240

F 761.941.1090

www.massonandassociates.com

MASSON & ASSOCIATES, INC.

ABSENCE OF PARCEL NO.

238-130-11, 28, 27

PROJECT ADDRESS:

2329 DOWNEY CITY PARKWAY, ESCONDIDO, CA

OWNER/APPPLICANT:

TECHNITONE COMPANIES, INC.

KERRY GALLA

9509 MIJA MESA BLVD., SUITE 150

SAN DIEGO, CA 92131

618-586-0414

PROJECT DESCRIPTION

BY CONDOMINIUM UNITS

Revision 6: _____

Revision 7: _____

Revision 8: _____

Revision 9: _____

Revision 10: _____

Revision 11: _____

Revision 12: _____

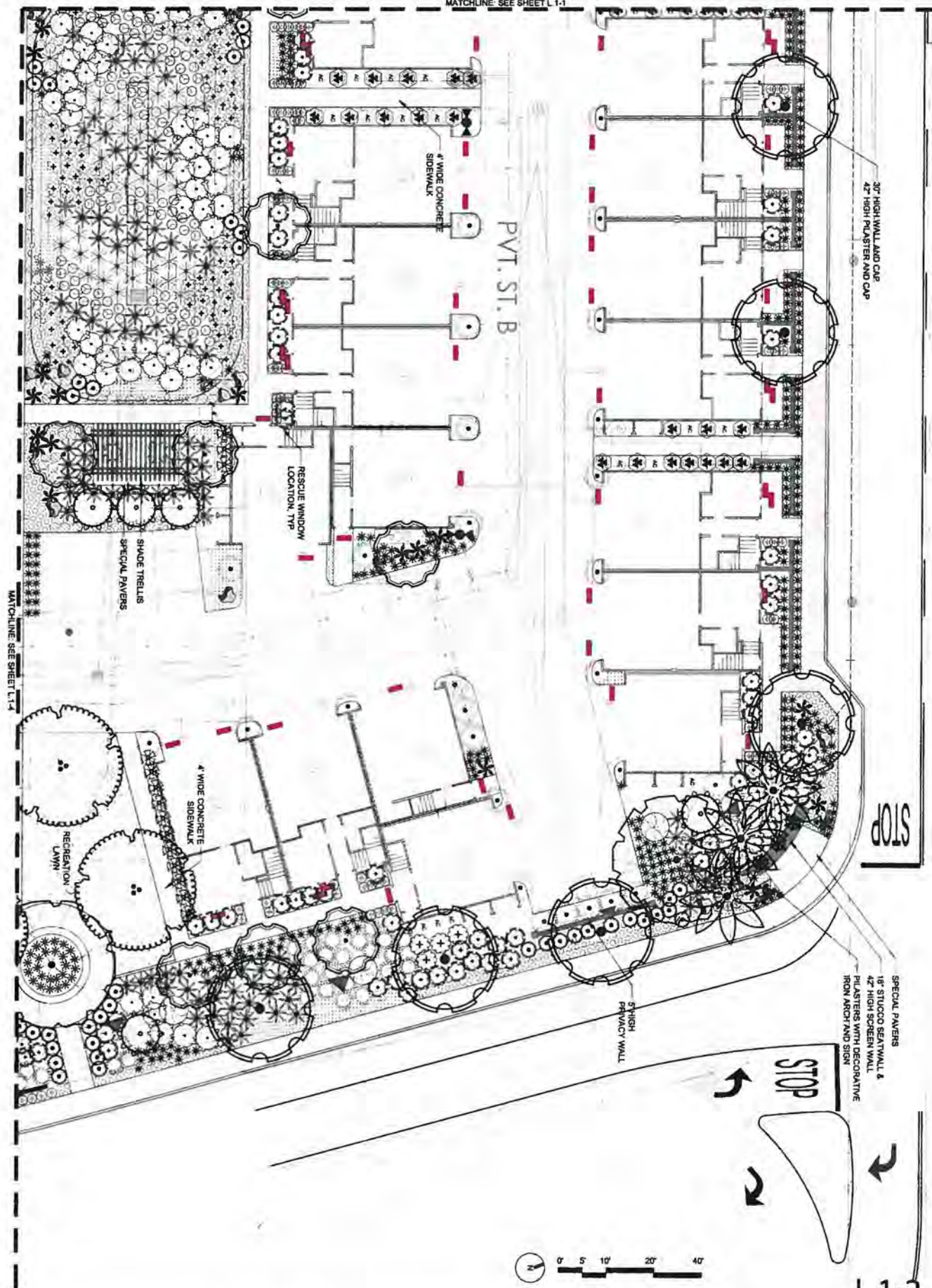
Revision 13: _____

Revision 14: _____

Revision 15: _____

Original Date: _____

Sheet C-4 of 5



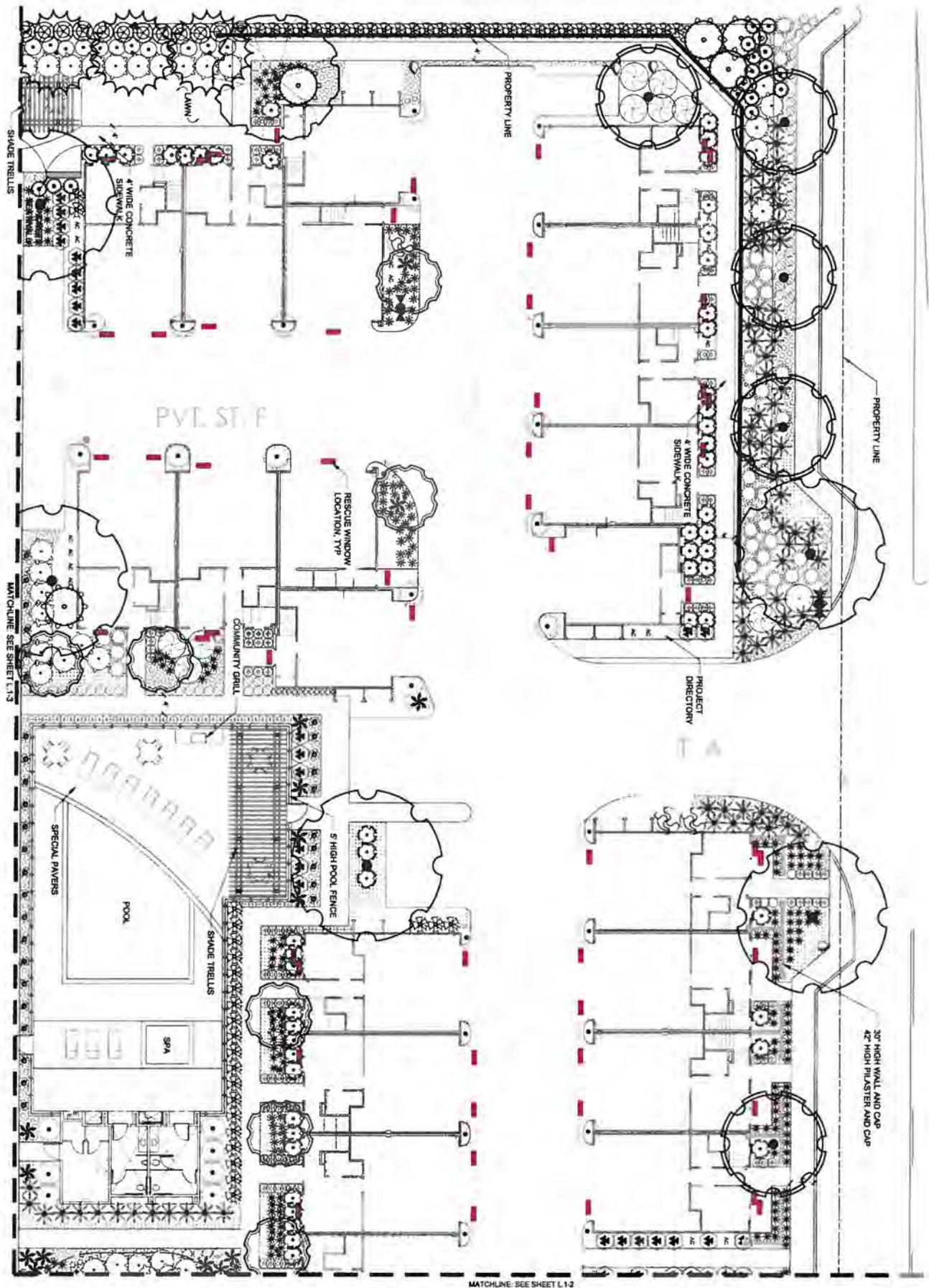
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PROPOSED PROJECT
SUB 15-0022/SUB 15-0023

NORTH

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PRELIMINARY LANDSCAPE
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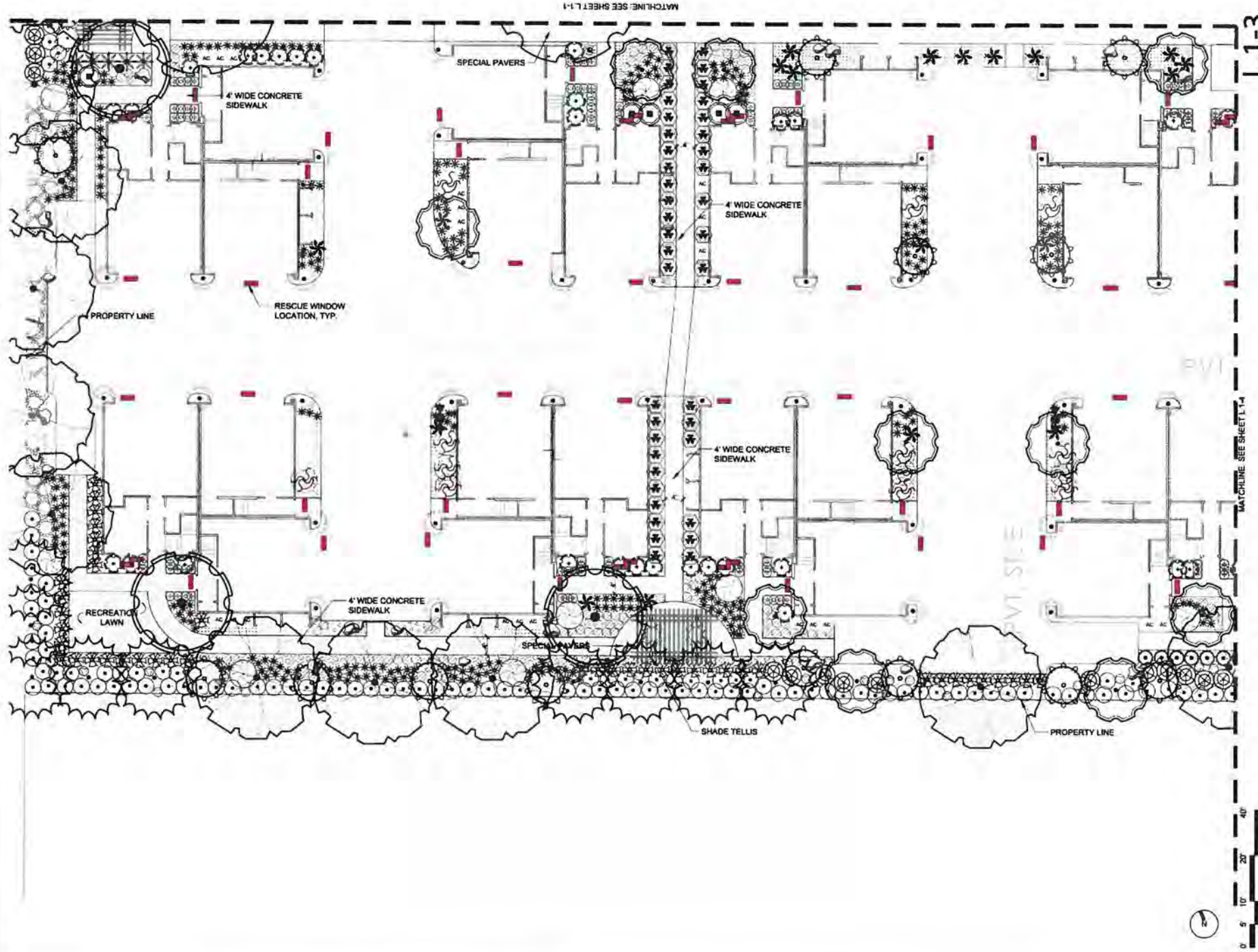
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PLP

**PROPOSED PROJECT
SUB 15-0022/SUB 15-0023**

NORTH

PRELIMINARY LANDSCAPE
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PROPOSED PROJECT
SUB 15-0022/SUB 15-0023

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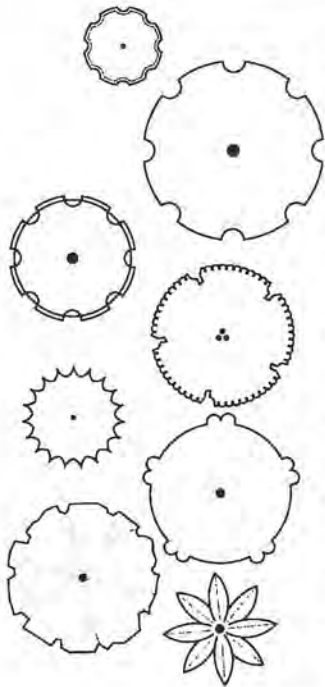
PRELIMINARY LANDSCAPE
 PLAN

L1-3

MATCHLINE SEE SHEET L1-4

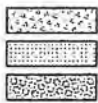
MATCHLINE: SEE SHEET L1-1

PLANT LEGEND



ABBREVIATION	SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE	SPACING	REMARKS	WATER USE GAL	MATURE HEIGHT	MATURE WIDTH
TREES									
STR-BR	AMELUS LINDO	STRAWBERRY TREE	38	24" BOX	PER PLAN	SINGLE TRUNK TREE FORM	LOW	8-12'	8-12'
CE-RO	CERCOCARPUS DESERT MUSEUM	DESERT LAUREL PALM HYBRID	4	24" BOX	PER PLAN		LOW	20'	20'
FR-LA	FRAX LANCEA	AFRICAN BANYAN	18	24" BOX	PER PLAN		LOW	20-30'	20-30'
PL-AN	PLATANUS RACEMOSA	CALIFORNIA STAGHOLE	1	24" BOX	PER PLAN	MULTI-TRUNK	MED	30-40'	25-30'
PR-ED	PRUNUS ELONICA	AFRICAN PINE	21	24" BOX	PER PLAN		LOW	30-40'	15-20'
PE-CH	PETALOTIS CHINENSIS	CHINESE PISTACHE	4	24" BOX	PER PLAN		MED	20-30'	20-30'
QU-AG	QUERCUS AGROPHILA	COAST LIVE OAK	17	24" BOX	PER PLAN	MULTI-TRUNK SPECIMEN	LOW	20-30'	20-30'
WA-FE	WASHINGTONIA FLORIDA	CALIFORNIA FAN PALM	3	12" BTH	PER PLAN	SCALED	LOW	30'	30'

VINES	BOUGH	BOUGHVILLE SAN DIEGO REEF	2	5 GAL	PER PLAN	REMOVE FROM STAKE AND ATTACH TO WALL	LOW	LOW	
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GROUNDCOVERS	BOUGH	BOUGHVILLE ELONGATE	312	1" POT	17" G.C.		LOW	8'	12'
ROSEMARY	ROSEMARY	ROSEMARY OFF. MOUNTAIN CANYON	300	1 GAL	3" G.C.		LOW	18"	3-8"
SEMI-AR	SEMI-AR	SEMI-AR MANDALORNA	300	1 GAL	17" G.C.		LOW	1'	2'

BOULDER	34" 30" LANDSCAPE BOULDER	PARTIALLY BURY PER DETAIL P-10	25						
	34" 40" LANDSCAPE BOULDER	PARTIALLY BURY PER DETAIL P-10	31						
	NOTE: FURNISH AND INSTALL DESERT SELECT BOULDERS FROM SOUTHWEST BOULDER								
	1/4" CORNELL FROM SOUTHWEST BOULDER AND STONE, COLOR: IRONWOOD								

SHRUBS	AGAVE	AGAVE ATTENUATA 'SOUTH BLUE'	SOUTH BLUE AGAVE	65	15 GAL	PER PLAN	LOW	5'	5'
	AGAVE	AGAVE VILLOSA 'TENTACLE'	OCTOPUS AGAVE	2	15 GAL	PER PLAN	LOW	3-4'	7-8'
	ALOE	ALOE 'BLUE ELF'	BLUE ELF ALOE	428	1 GAL	PER PLAN	LOW	18"	2'
	ARCTOSTAPHYLOS	ARCTOSTAPHYLOS 'SUNSET'	SUNSET MANZANITA	5	5 GAL	PER PLAN	LOW	4-6'	4-6'
	ASCLEPIAS	ASCLEPIAS FASCICULARIS	NARROW LEAF MILKWEED	28	1 GAL	PER PLAN	LOW	1.5-2'	1-2'
	ARISTIDA	ARISTIDA PURPUREA	PURPLE THREE ARN	1246	1 GAL	PER PLAN	LOW	2'	2'
	BACCHARIS	BACCHARIS PULILLAS 'PREDON POINT'	DWARF COYOTE BRUSH	102	1 GAL	PER PLAN	LOW	8-24"	6"
	BULBINE	BULBINE FRUTESCENS 'TINY TANGERS'	TINY TANGERS BULBINE	65	1 GAL	PER PLAN	LOW	1'	1.5'
	CALLUNA	CALLUNA CALIFORNICA	BALEAFY CUSTARD	130	1 GAL	PER PLAN	LOW	5'	5-8'
	CALLUNA	CALLUNA LUTEA 'LITTLE LION'	SLICKERS	401	1 GAL	PER PLAN	LOW	1'	2'
	CELANDE	CELANDE 'MOUNTAIN LILY'	LITTLE LION BUSH	108	5 GAL	PER PLAN	LOW	2'	2'
	CELANDE	CELANDE 'SANDWICH'	WILD LILAC	36	5 GAL	PER PLAN	LOW	6-7'	6-8'
	CELANDE	CELANDE 'PURPUREUS'	ORCHID ROSEWOOD	12	5 GAL	PER PLAN	LOW	4'	4'
	EREMOPHILA	EREMOPHILA HYPOPHRYANA 'BLUE BELLS'	BLUE BELLS EMB. BUSH	84	5 GAL	PER PLAN	LOW	2-3'	3'
	EREMOPHILA	EREMOPHILA FASCICULATA	CALIFORNIA BUCKWHEAT	242	1 GAL	PER PLAN	LOW	1-3'	4'
	EUPHORBIA	EUPHORBIA MIL. RED-RED HYBRID	RED EUPHORBIA	34	5 GAL	PER PLAN	LOW	2'	2'
	GALVEA	GALVEA SPECIOSA 'YREKAWACKER'	ISLAND BUSH SNIPEDRAGON	81	1 GAL	PER PLAN	LOW	2-3'	3'
	HETEROMERIS	HETEROMERIS ARBUTIFOLIA	TOYON, CHRISTMAS BERRY	35	5 GAL	PER PLAN	LOW	6-10'	6-10'
	LEUCOMERIS	LEUCOMERIS NANA	NANA TALPON	340	5 GAL	PER PLAN	LOW	3-6'	3-9'
	LEUCOMERIS	LEUCOMERIS PATERA	CALIFORNIA GRAY FUSH	65	1 GAL	PER PLAN	LOW	2'	2'
	LEUCOMERIS	LEUCOMERIS 'NEW GOLD'	NEW GOLD LANTANA	114	1 GAL	PER PLAN	LOW	2-3'	3-4'
	LEUCOMERIS	LEUCOMERIS CONDENSATUS 'CANYON PRINCE'	BLUE LYNE GRASS	225	1 GAL	PER PLAN	LOW	2-3'	2-3'
	LEUCOMERIS	LEUCOMERIS PATERA	DEER GRASS	41	1 GAL	PER PLAN	MED	4'	4'
	PODOCARPUS	PODOCARPUS MACROPHYLLUS 'MAV'	SHIRLEY YEW PINE	130	5 GAL	PER PLAN	MED	15-20'	8'
	SALVIA	SALVIA CLEVELANDI 'YARD BLUE'	CLEVELAND SAGE	154	5 GAL	PER PLAN	LOW	3-8'	5-8'
	SANTALUM	SANTALUM TRIFOLIATA	MOTHER-IN-LAWS TONGUE	12	1 GAL	PER PLAN	LOW	2-3'	1'
	WESTERHOLMIA	WESTERHOLMIA FRUTICOSA 'WHYASSIE GEM'	COAST ROSEMARY	36	15 GAL	PER PLAN	LOW	3-6'	5-10'

DEL PRADO SITE CITY OF ESCONDO, CA 92025



VICINITY MAP

PREPARED BY:



DESIGNED BY:

DATE: 10/1/2014

PROJECT DESCRIPTION:

1000-101 LAMAR BLVD. N.

ESCONDIDO, CA 92025

1000-101 LAMAR BLVD. N.

ESCONDIDO, CA 92025

1000-101 LAMAR BLVD. N.

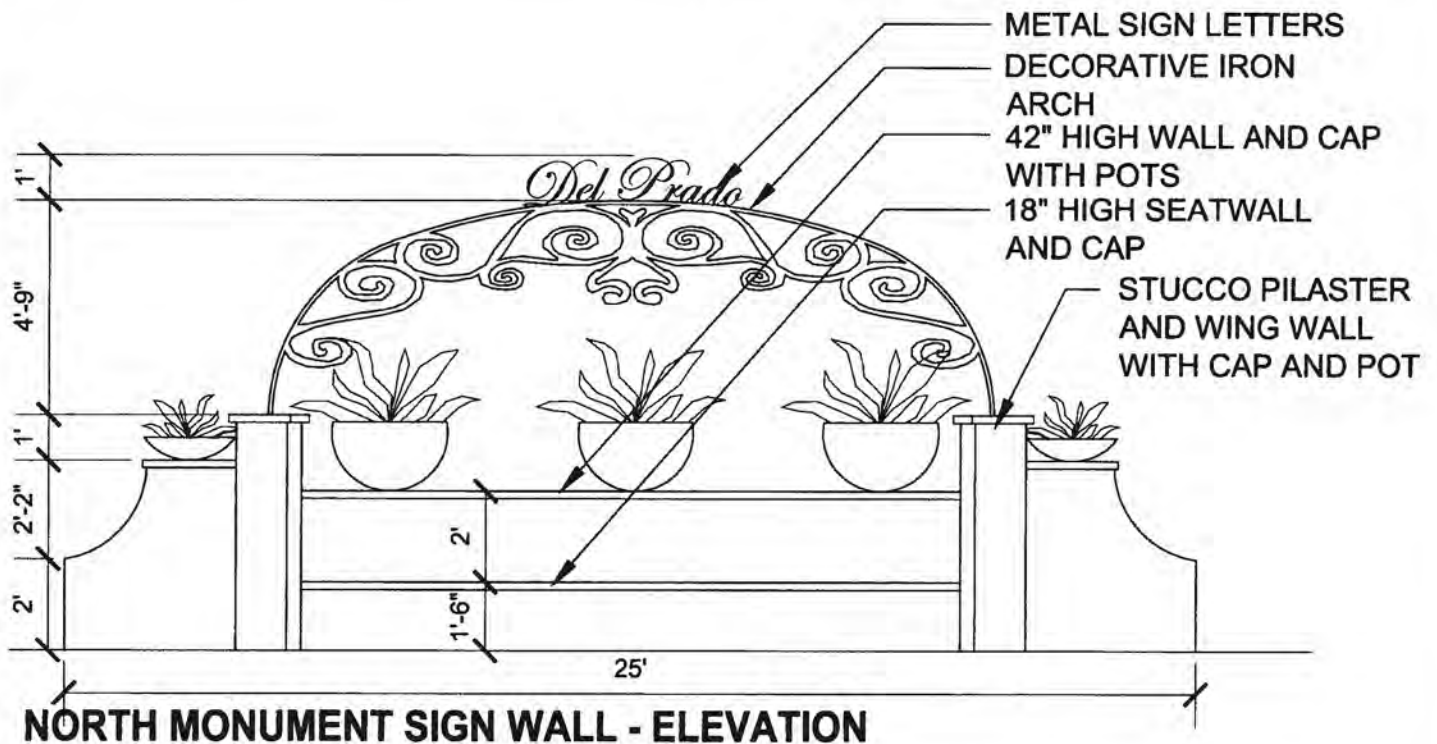
ESCONDIDO, CA 92025

PROPOSED PROJECT SUB 15-0022/SUB 15-0023



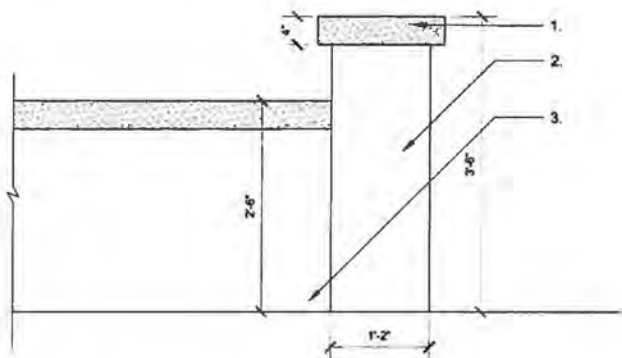


NORTH MONUMENT SIGN WALL WITH DECORATIVE IRON ARCH ILLUSTRATION



PROPOSED PROJECT
 SUB 15-0022/SUB 15-0023

R

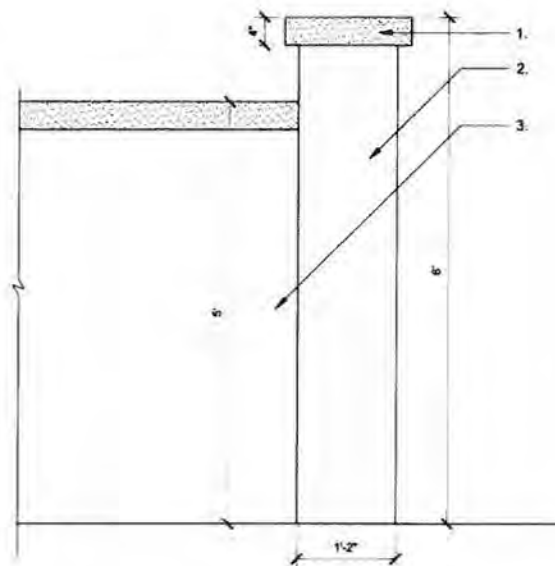


1. 4" THICK PRECAST CONCRETE CAP
 2. CMU PILASTER AT END OF WALL WITH STUCCO FINISH
 3. CMU WALL WITH STUCCO FINISH
- NOTE: WALLS AND PILASTERS TO BE "EARTH TONE" COLORS TO MATCH THE RESIDENCES

30" HIGH WALL

DETAIL

C-01

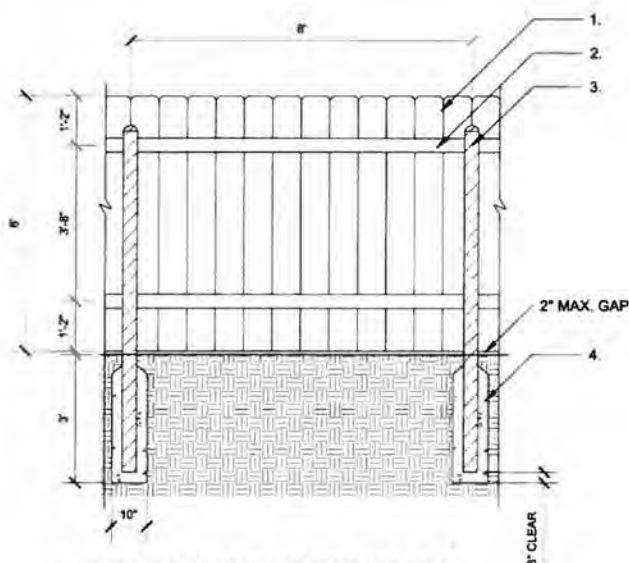


1. 4" THICK PRECAST CONCRETE CAP
 2. CMU PILASTER AT END OF WALL WITH STUCCO FINISH
 3. CMU WALL WITH STUCCO FINISH
- NOTE: WALLS AND PILASTERS TO BE "EARTH TONE" COLORS TO MATCH THE RESIDENCES

5' HIGH PRIVACY WALL

DETAIL

C-02



1. 1"x8" WOOD/VINYL FENCE PICKET SPACED 8" O.C.
2. 2"x4" WOOD/VINYL STRINGER
3. 4" DIA. GALVANIZED STEEL FENCE POST SET IN CONC. FOOTING
4. CONCRETE FOOTING

NOTE: WOOD / VINYL FENCES TO BE "EARTH TONE" COLORS TO MATCH THE RESIDENCES

WOOD/VINYL FENCE

DETAIL

C-03

SCALE: 1/2" = 1'-0"



1. WOOD A/C SCREEN

NOTE: WOOD A/C SCREENS TO BE "EARTH TONE" COLORS TO MATCH THE RESIDENCES

WOOD A/C SCREEN

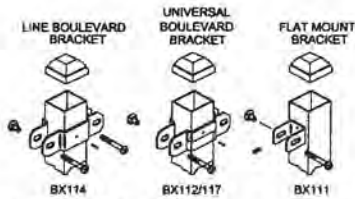
DETAIL

C-04

PROPOSED PROJECT
SUB 15-0022/SUB 15-0023

NOTES:

- ALL STEEL COMPONENTS SHALL BE COATED WITH PERMACOAT® THERMAL STRATIFICATION COATING PROCESS, COLOR: BLACK
- PROVIDE SHOP DRAWINGS FOR APPROVAL
- VALUE'S SHOWN ARE NOMINAL, INSTALL PER MANUFACTURER'S INSTRUCTIONS



BRACKET OPTIONS

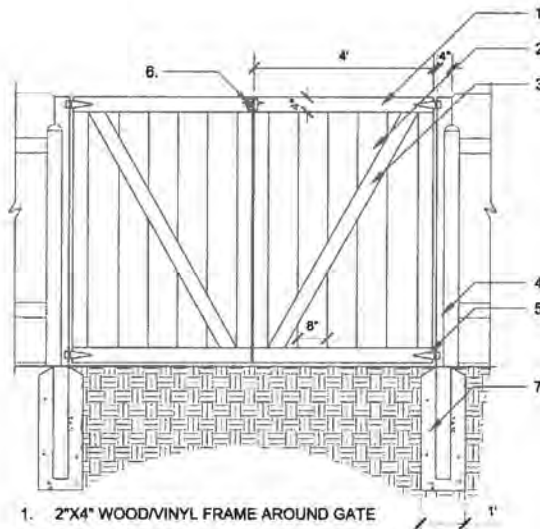
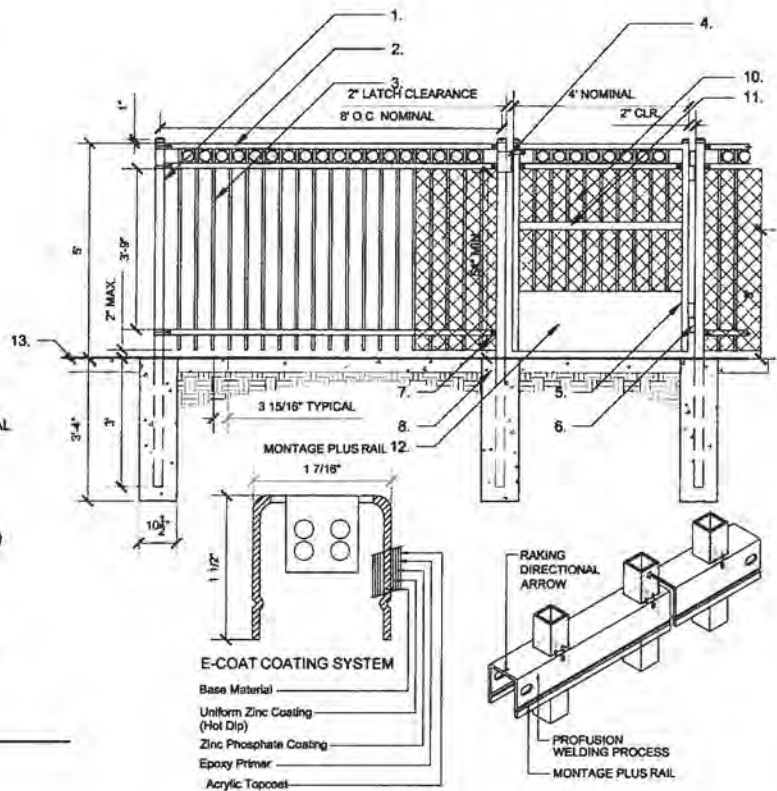
- 2-1/2" SQUARE X 14 GAUGE POST (3" SQUARE X 12 GA. FOR GATES)
- 1-1/2" MONTAGE PLUS RAIL - SEE CROSS SECTION THIS SHEET
- 3/4" SQUARE X 18 GAUGE PICKET
- SELF LATCHING GATE LATCH WITH KEY CARD READER PER ELECTRICAL
- GATE UPRIGHT - 1-3/4" X 14 GAUGE
- SELF-CLOSING HEAVY DUTY HINGES (2)
- BRACKET OPTIONS PER DETAIL THIS SHEET
- CONCRETE FOOTING
- ATTACH TO BUILDING OR WALLS WITH FLAT MOUNT BRACKETS (BX111)
- STEEL MESH
- GATE LATCH PANIC BAR
- KICK PLATE
- CONC. MOW CURB, SEE DETAIL 4 THIS SHEET

NOTE: STEEL VIEW FENCE AND GATES SHALL BE DARK BROWN OR BLACK

STEEL VIEW FENCE AND GATE

AMERISTAR - MONTAGE PLUS - MAJESTIC

C-05



- 2"X4" WOOD/VINYL FRAME AROUND GATE
- 1"X8" WOOD/VINYL FENCE BOARD
- 2"X4" WOOD/VINYL DIAGONAL CROSS BEAM
- 4"X4" WOOD/VINYL POST (SET HINGE SIDE WHEN STEEL VENCE POST IS SET, ATTACH HOUSE SIDE TO HOUSE)
- GALVANIZED STEEL HINGE
- GALVANIZED STEEL BOLT LATCH
- CONCRETE FOOTING

NOTE: WOOD / VINYL GATE TO BE "EARTH TONE" COLORS TO MATCH THE RESIDENCES

WOOD/VINYL GATE

DETAIL

C-06

PROPOSED PROJECT
SUB 15-0022/SUB 15-0023

LD

PROPOSED UNITS
81 UNITS

SITE AREA
3.44 AC

DENSITY
24 UNITS/ACRE

BUILDING HEIGHT
3 STORIES (35' - 9" OVERALL)

RESIDENTIAL PARKING SUMMARY

PROVIDED = 177 STALLS
GUEST STALLS = 16 STALLS
2-CAR GARAGES = 162 STALLS
PARKING RATIO = 2.20 STALLS/UNIT
ON-SITE PARKING = 13 STALLS

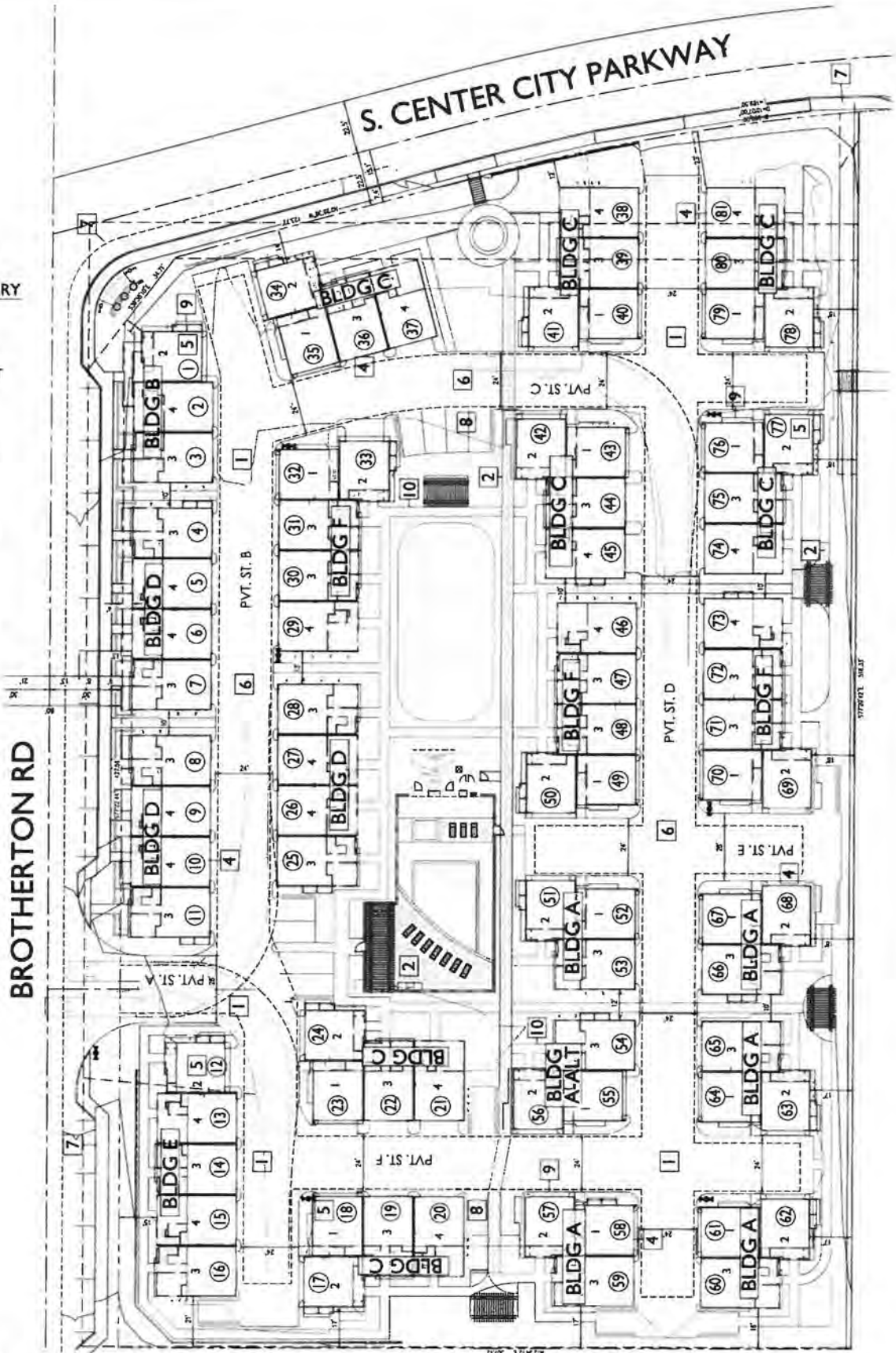
UNIT SUMMARY

PLAN 1 (2BD/2.5BA) 16 UNITS TOTAL
TOTAL 1,109 S.F.
GARAGE 440 S.F.
BALCONY 38 S.F.

PLAN 2 (2BD/2.5BA) 18 UNITS TOTAL
TOTAL 1,183 S.F.
GARAGE 425 S.F.
BALCONY 52 S.F.

PLAN 3 (3BD/3.5BA) 28 UNITS TOTAL
TOTAL 1,378 S.F.
GARAGE 422 S.F.
BALCONY 64 S.F.

PLAN 4 (3BD/2.5BA) 19 UNITS TOTAL
TOTAL 1,584 S.F.
GARAGE 422 S.F.
BALCONY 41 S.F.



CONCEPTUAL SITE PLAN

DEL PRADO NORTH - 81 3-STORY ROW TOWN HOMES

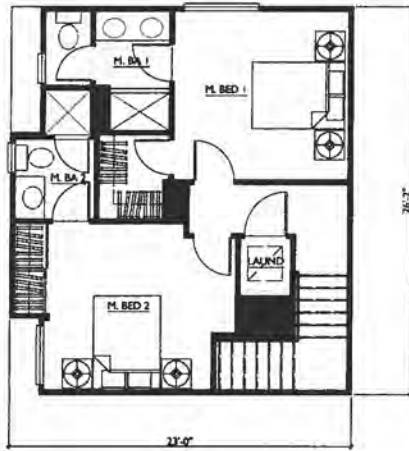
PROPOSED PROJECT
SUB 15-0022/SUB 15-0023

NORTH

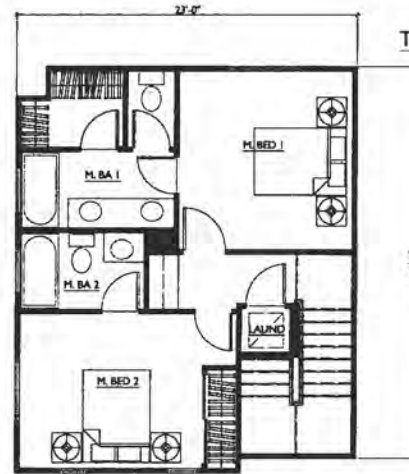
SP

SITE PLAN

THIRD FLOOR



THIRD FLOOR



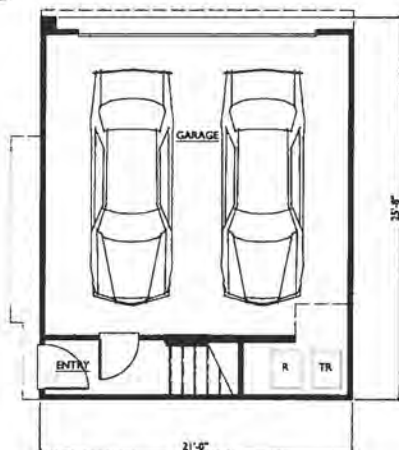
SECOND FLOOR



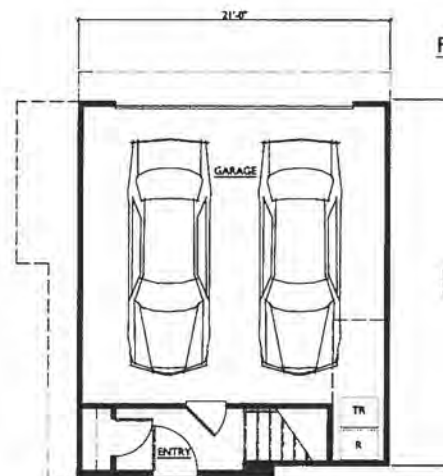
SECOND FLOOR



FIRST FLOOR



FIRST FLOOR



PLAN 1: 2BD/2.5BA
1ST FLR - 48 S.F.
2ND FLR - 523 S.F.
3RD FLR - 538 S.F.
TOTAL NET 1,109 S.F.

BALCONY- 38 S.F.
GARAGE- 440 S.F.

PLAN 2: 2BD/2.5BA
1ST FLR - 66 S.F.
2ND FLR - 554 S.F.
3RD FLR - 563 S.F.
TOTAL NET 1,183 S.F.

BALCONY- 52 S.F.
GARAGE- 425 S.F.

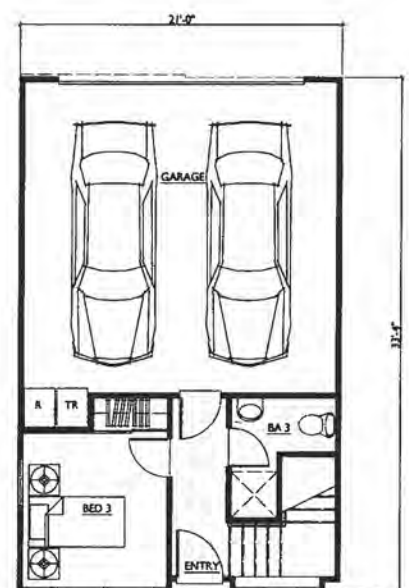
PROPOSED PROJECT
SUB 15-0022/SUB 15-0023



THIRD FLOOR



SECOND FLOOR

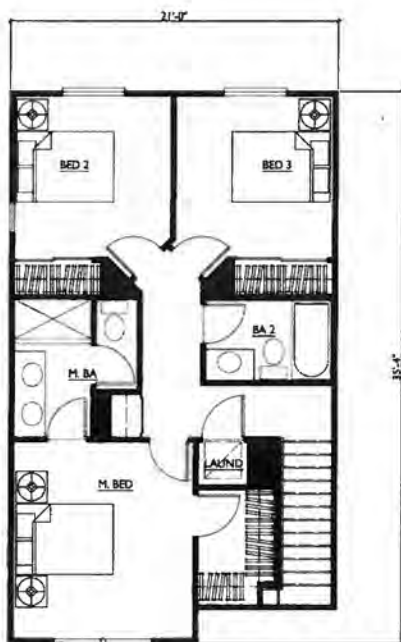


FIRST FLOOR

PLAN 3:	3BD/3.5BA
1ST FLR -	236 S.F.
2ND FLR-	593 S.F.
3RD FLR-	549 S.F.
TOTAL NET	1,378 S.F.

BALCONY-
GARAGE-

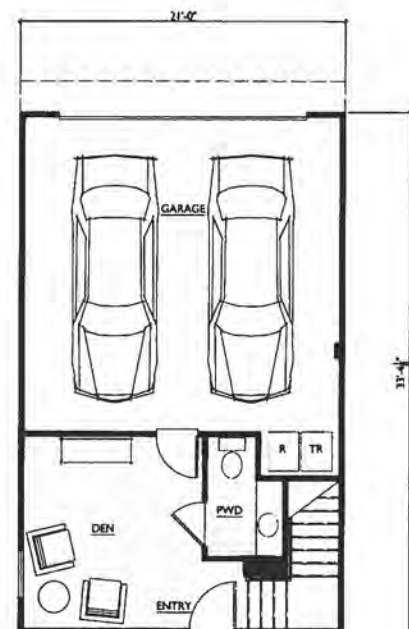
64 S.F.
422 S.F.



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

PLAN 4:	3BD/2.5BA
1ST FLR -	242 S.F.
2ND FLR-	675 S.F.
3RD FLR-	667 S.F.
TOTAL NET	1,584 S.F.

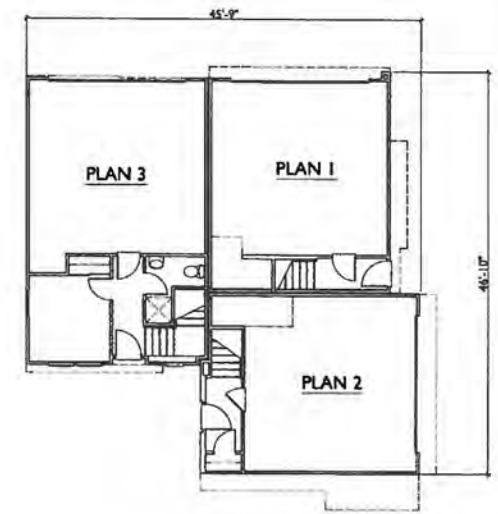
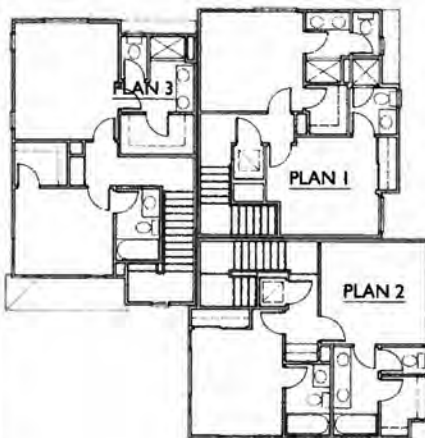
BALCONY-
GARAGE-

41 S.F.
422 S.F.

PROPOSED PROJECT
SUB 15-0022/SUB 15-0023

MATERIAL SCHEDULE

- 1 ROOF - CONCRETE CLASS 'S' TILE ROOFING
- 2 FASCIA - STUCCO OVER SHAPED FOAM
- 3 WALL - EXTERIOR STUCCO - SAND FINISH
- 4 TRIM - 2X @ DOORS AND WINDOWS
- 5 METAL RAILING
- 6 DECORATIVE METAL GRILLE
- 7 DECORATIVE GABLE ACCENT
- 8 DECORATIVE METAL POTSHelf
- 9 DECORATIVE SHUTTER
- 10 DECORATIVE METAL AWNING





RIGHT ELEVATION

MATERIAL SCHEDULE

- 1 ROOF - CONCRETE CLASS 'S' TILE ROOFING
- 2 FASCIA - STUCCO OVER SHAPED FOAM
- 3 WALL - EXTERIOR STUCCO - SAND FINISH
- 4 TRIM - 2X @ DOORS AND WINDOWS
- 5 METAL RAILING
- 6 DECORATIVE METAL GRILLE
- 7 DECORATIVE GABLE ACCENT
- 8 DECORATIVE METAL POTSHelf
- 9 DECORATIVE SHUTTER
- 10 DECORATIVE METAL AWNIING



REAR ELEVATION



LEFT ELEVATION



FRONT ELEVATION



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



FRONT ELEVATION

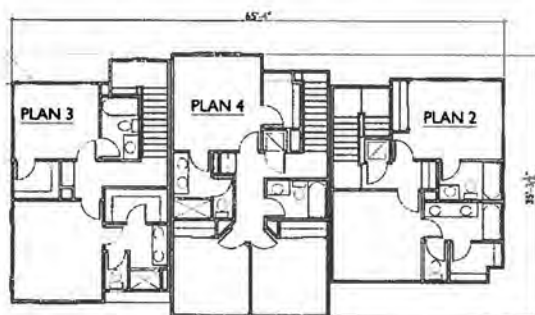
MATERIAL SCHEDULE

- 1 ROOF - CONCRETE CLASS 'S' TILE ROOFING
- 2 FASCIA - STUCCO OVER SHAPED FOAM
- 3 WALL - EXTERIOR STUCCO - SAND FINISH

- 4 TRIM - 2X @ DOORS AND WINDOWS
- 5 METAL RAILING
- 6 DECORATIVE METAL GRILLE

- 7 DECORATIVE GABLE ACCENT
- 8 DECORATIVE METAL POTSHelf
- 9 DECORATIVE SHUTTER

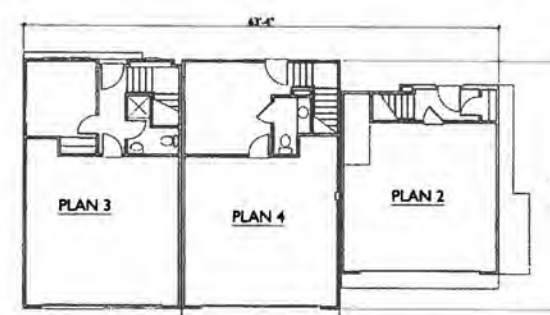
- 10 DECORATIVE METAL AWNIING



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR



MATERIAL SCHEDULE

- | | | | | | | | |
|---|--|---|-------------------------------|---|---------------------------|----|-------------------------|
| 1 | ROOF - CONCRETE CLASS 'S' TILE ROOFING | 4 | TRIM - 2X @ DOORS AND WINDOWS | 7 | DECORATIVE GABLE ACCENT | 10 | DECORATIVE METAL AWNING |
| 2 | FASCIA - STUCCO OVER SHAPED FOAM | 5 | METAL RAILING | 8 | DECORATIVE METAL POTSHelf | | |
| 3 | WALL - EXTERIOR STUCCO - SAND FINISH | 6 | DECORATIVE METAL GRILLE | 9 | DECORATIVE SHUTTER | | |





REAR ELEVATION



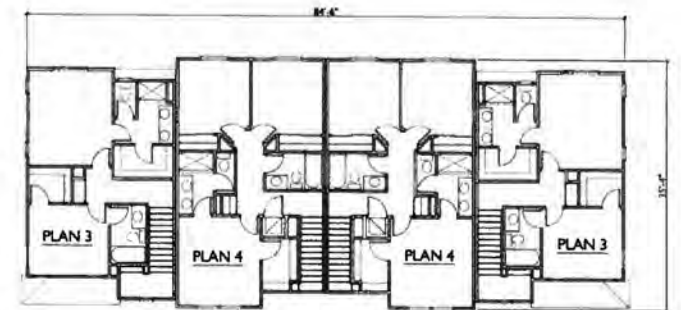
FRONT ELEVATION



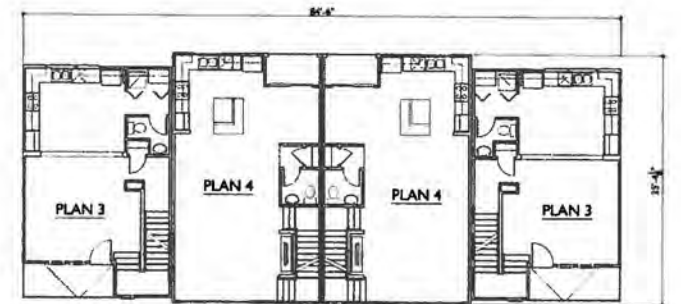
RIGHT ELEVATION



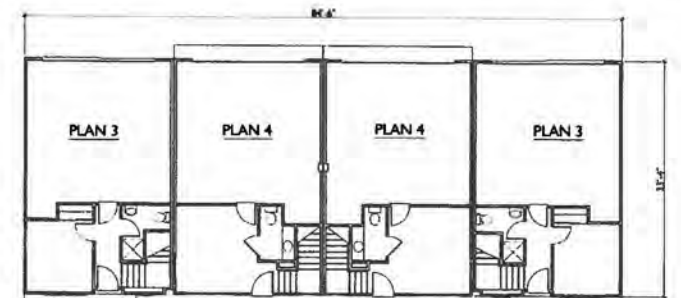
LEFT ELEVATION



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

MATERIAL SCHEDULE

- 1 ROOF - CONCRETE CLASS 'S' TILE ROOFING
- 2 FASCIA - STUCCO OVER SHAPED FOAM
- 3 WALL - EXTERIOR STUCCO - SAND FINISH
- 4 TRIM - 2X @ DOORS AND WINDOWS
- 5 METAL RAILING
- 6 DECORATIVE METAL GRILLE
- 7 DECORATIVE GABLE ACCENT
- 8 DECORATIVE METAL POTSHelf
- 9 DECORATIVE SHUTTER
- 10 DECORATIVE METAL AWNIING

PROPOSED PROJECT
SUB 15-0022/SUB 15-0023

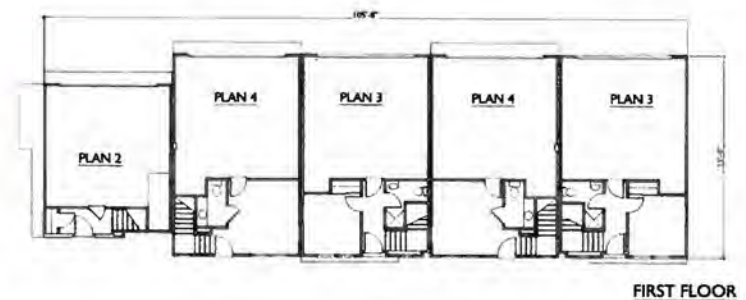
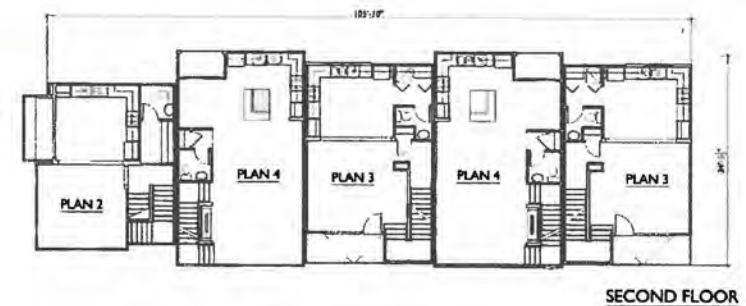
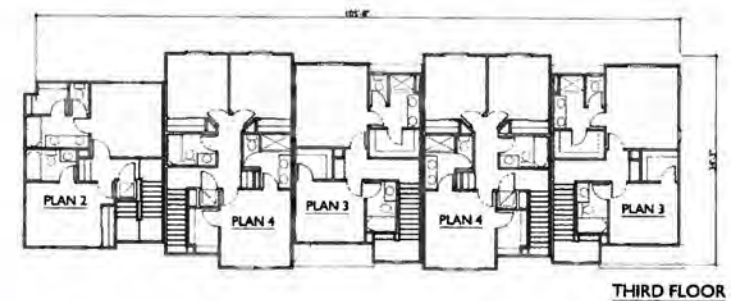
PLANS & ELEVATIONS BLDG E

P&E



MATERIAL SCHEDULE

- 1 ROOF - CONCRETE CLASS 'S' TILE ROOFING
- 2 FASCIA - STUCCO OVER SHAPED FOAM
- 3 WALL - EXTERIOR STUCCO - SAND FINISH
- 4 TRIM - 2X @ DOORS AND WINDOWS
- 5 METAL RAILING
- 6 DECORATIVE METAL GRILLE
- 7 DECORATIVE GABLE ACCENT
- 8 DECORATIVE METAL POTSHelf
- 9 DECORATIVE SHUTTER
- 10 DECORATIVE METAL AWNIING





RIGHT ELEVATION



REAR ELEVATION



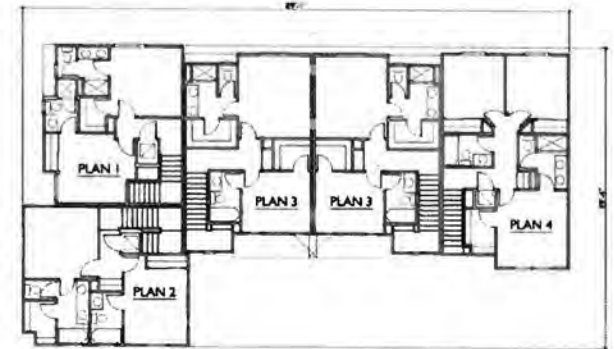
LEFT ELEVATION



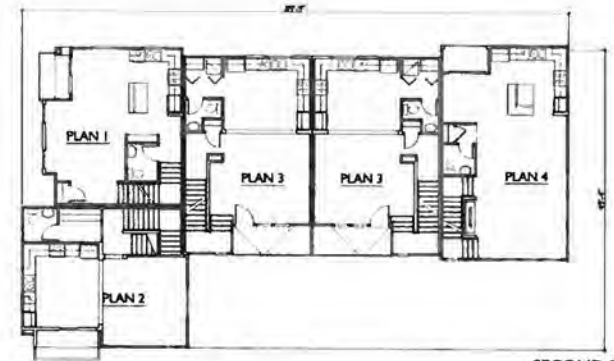
FRONT ELEVATION

MATERIAL SCHEDULE

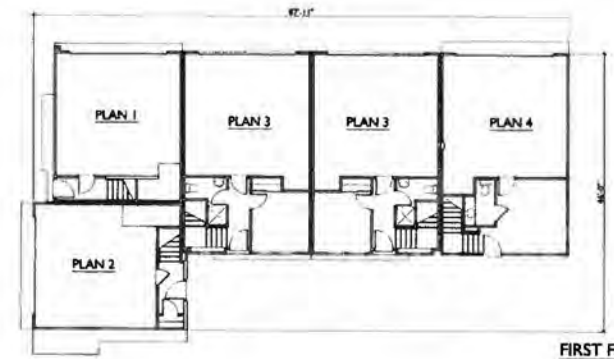
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2	FASCIA - STUCCO OVER SHAPED FOAM	8	DECORATIVE METAL POTSHIELD
3	WALL - EXTERIOR STUCCO - SAND FINISH	9	DECORATIVE SHUTTER
4	TRIM - 2X @ DOORS AND WINDOWS	10	DECORATIVE METAL AWNING
5	METAL RAILING		
6	DECORATIVE METAL GRILLE		



THIRD FLOOR



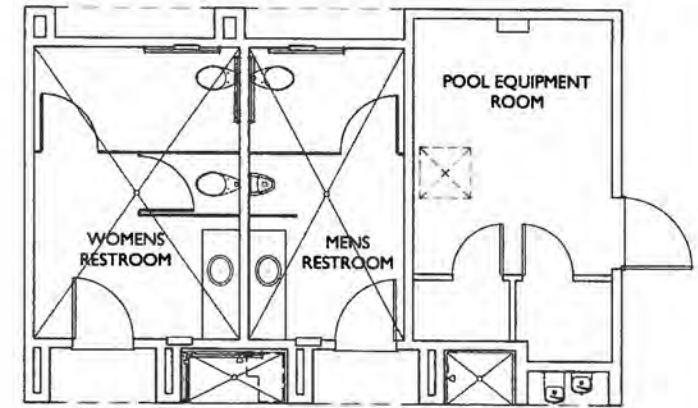
SECOND FLOOR



FIRST FLOOR

MATERIAL SCHEDULE

- 1 ROOF - CONCRETE CLASS 'S' TILE ROOFING
- 2 FASCIA - STUCCO OVER SHAPED FOAM
- 3 WALL - EXTERIOR STUCCO - SAND FINISH
- 4 TRIM - 2X @ DOORS AND WINDOWS
- 5 TILE VENEER
- 6 ADA COMPLIANT SHOWER
- 7 STANDARD SHOWER
- 8 ADA COMPLIANT DRINKING FOUNTAIN
- 9 SHAPED FOAM CORNICE



FLOOR PLAN



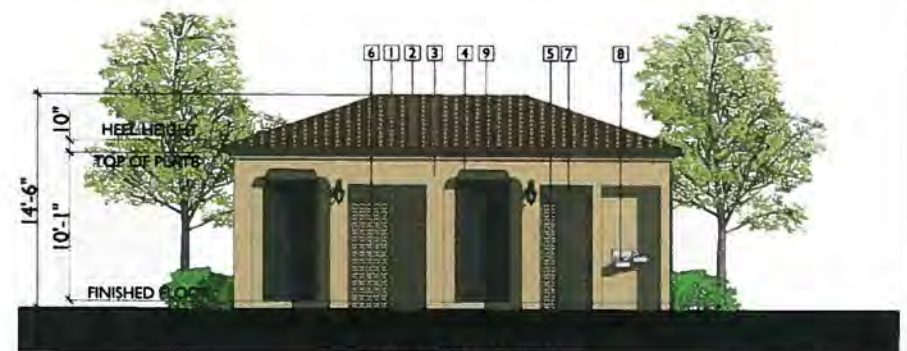
RIGHT ELEVATION



REAR ELEVATION



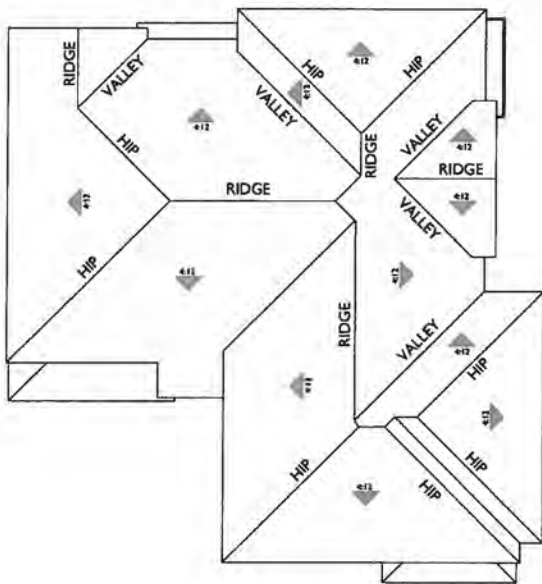
LEFT ELEVATION



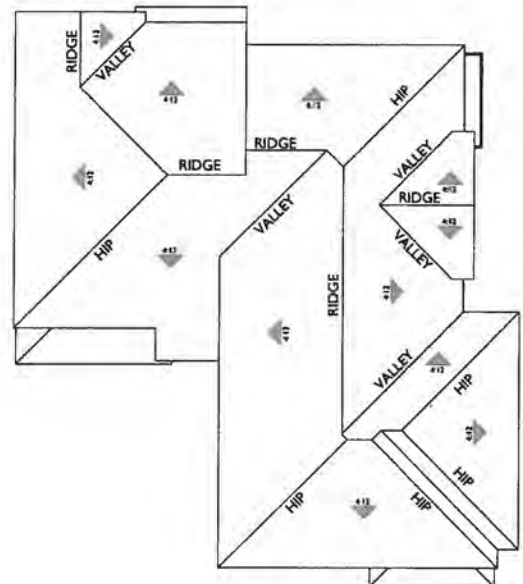
FRONT ELEVATION

PROPOSED PROJECT
SUB 15-0022/SUB 15-0023

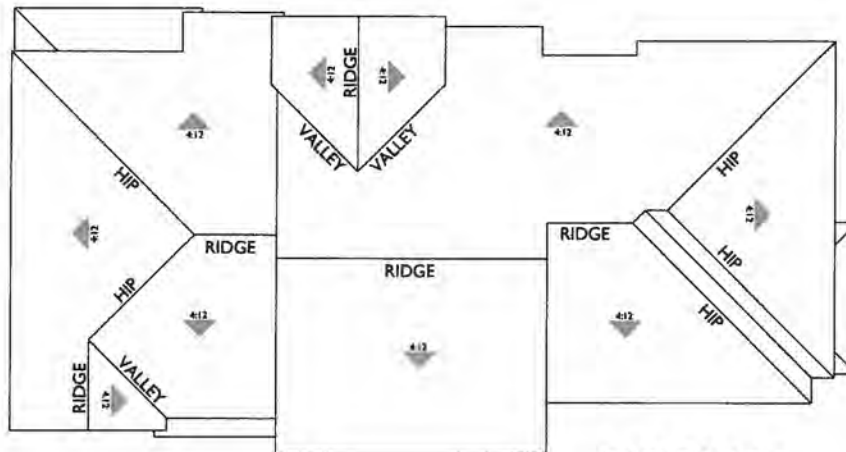
P&E



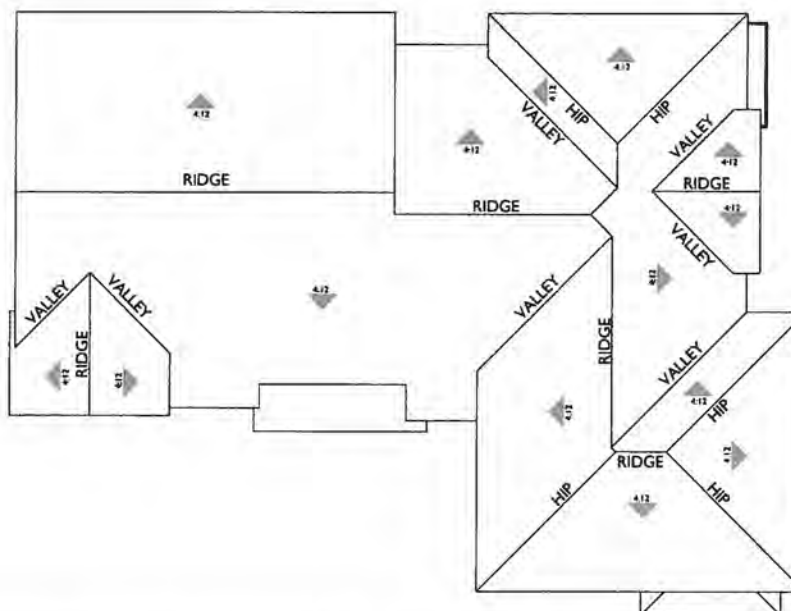
BUILDING A



BUILDING A-ALT

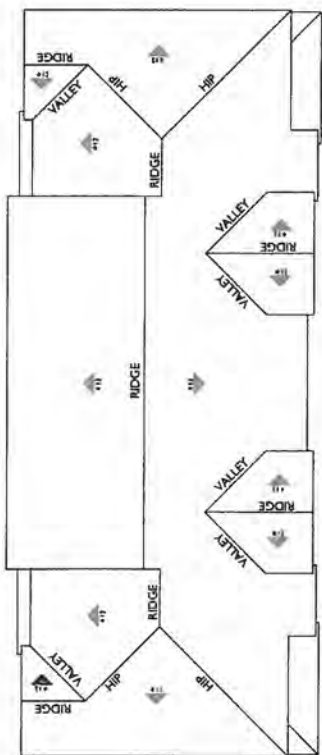


BUILDING B

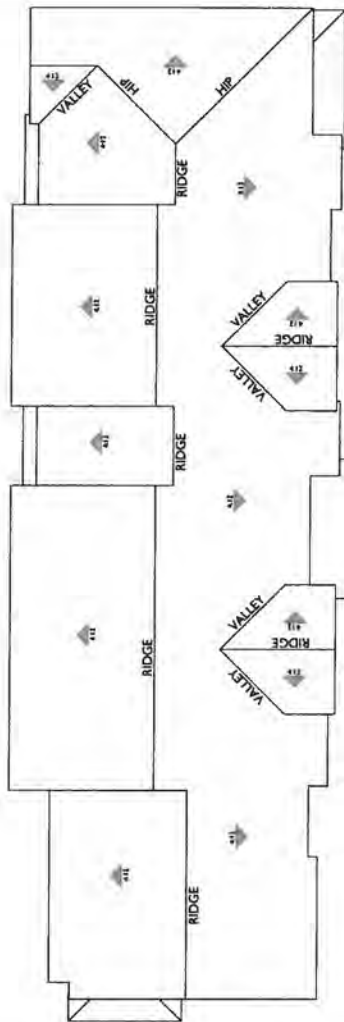


BUILDING C

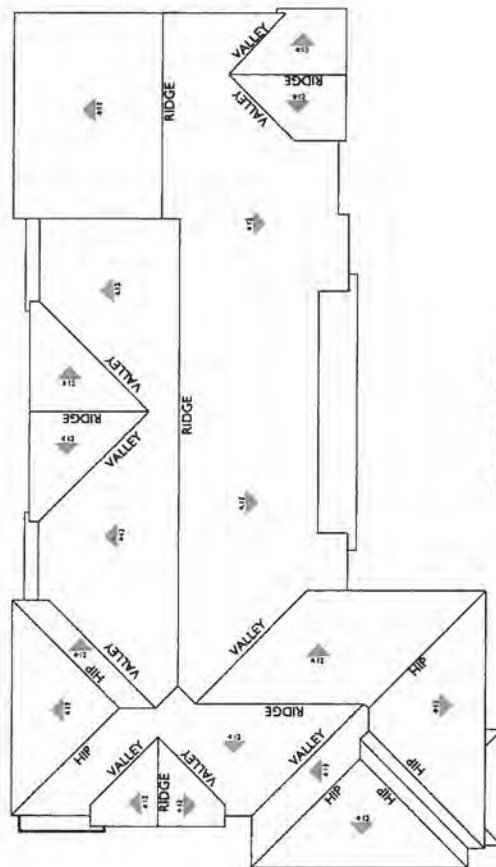
PROPOSED PROJECT
SUB 15-0022/SUB 15-0023



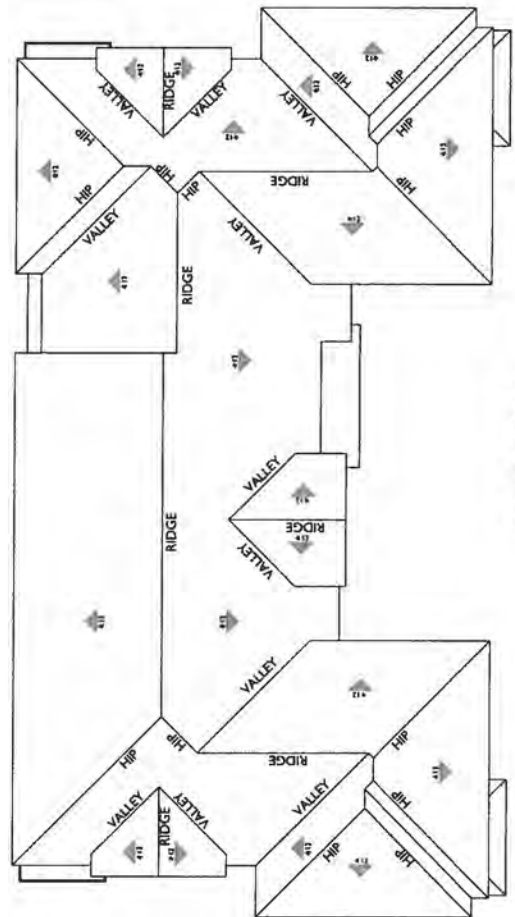
BUILDING D



BUILDING E



BUILDING F



BUILDING G

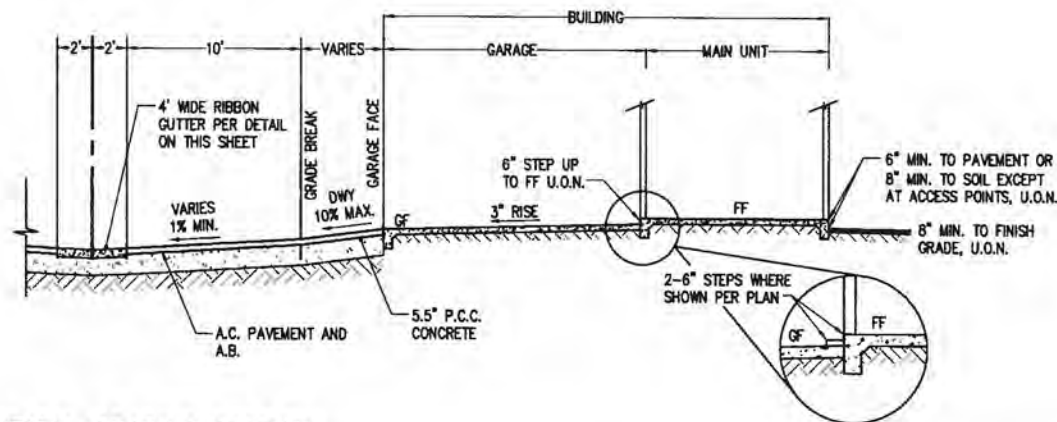
PROPOSED PROJECT
SUB 15-0022/SUB 15-0023

PROPOSED PROJECT
SUB 15-0022/SUB 15-0023

SOUTH

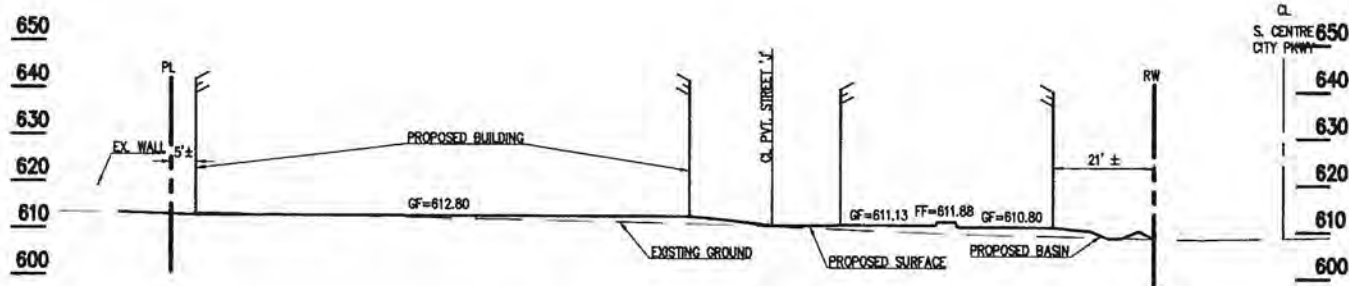
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TENTATIVE SECTIONS

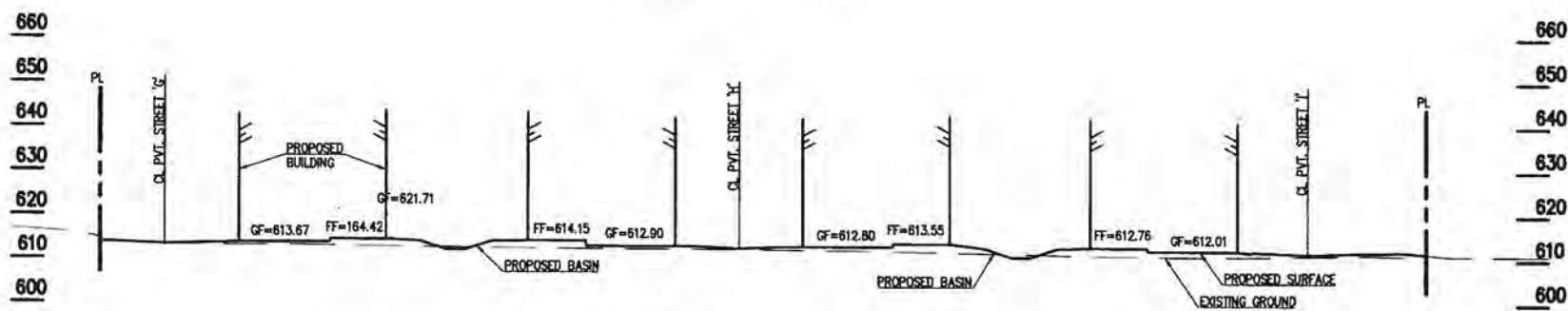


TYPICAL GRADING SECTION

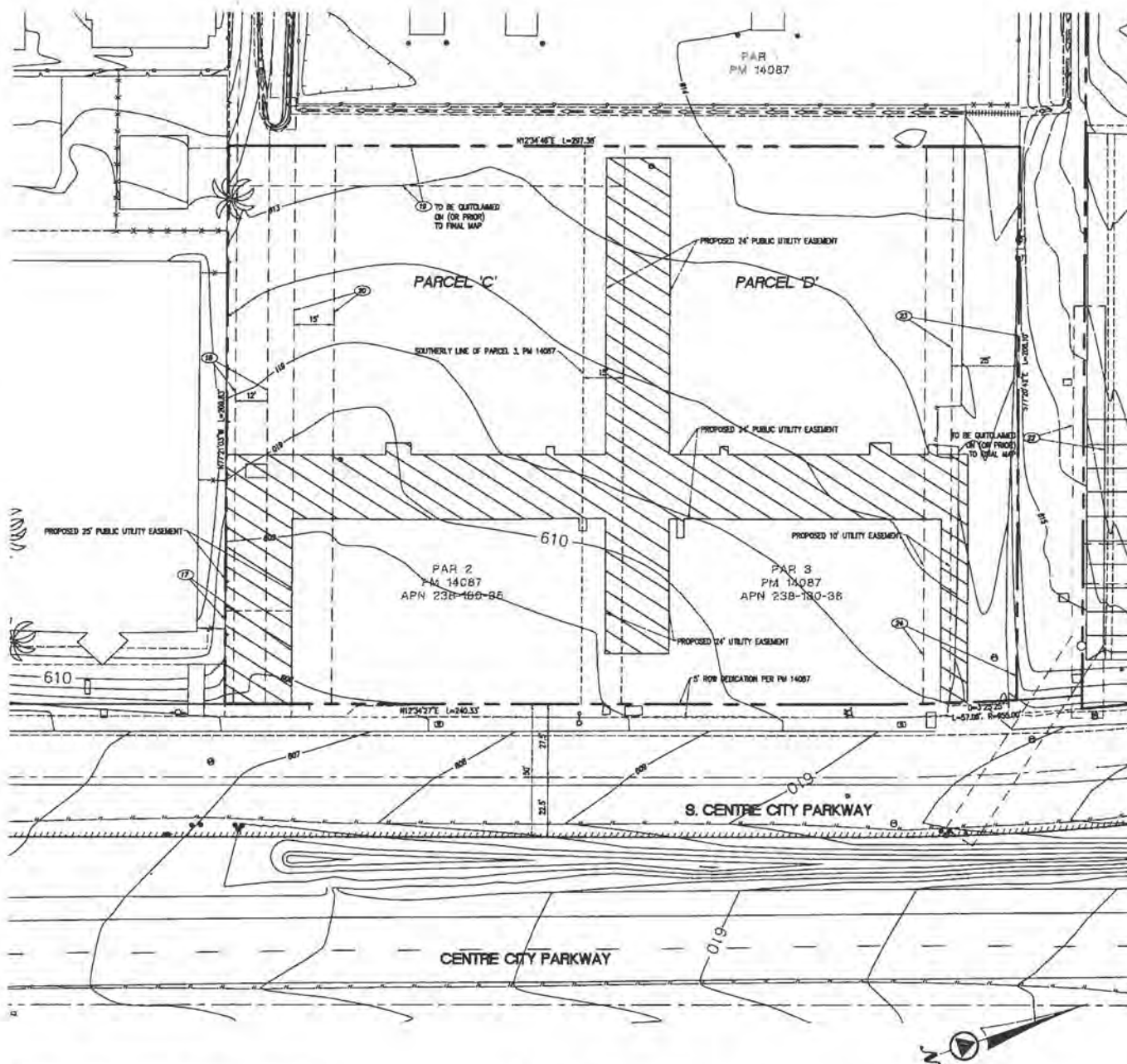
N.T.S.



SECTION C-C



SECTION D-D



EASEMENT INFORMATION:

SCHEDULE "B" EXCEPTIONS PER CHICAGO TITLE COMPANY 2ND AMENDED PRELIMINARY REPORT ORDER NUMBER 12203833-996-U50 DATED: JULY 24, 2014.

ITEM NUMBER SHOWN HEREON CORRESPONDS TO REPORT NUMBER

THE FOLLOWING MATTERS AFFECT PARCEL C:

- 17 EASEMENT TO THE STATE OF CALIFORNIA FOR DRAINAGE DITCH PURPOSES, RECORDED JANUARY 8, 1965 AS INSTRUMENT NO. 3488, OF OFFICIAL RECORDS.
- 18 EASEMENT TO THE CITY OF ESCONDIDO FOR DRAINAGE PIPELINE, RECORDED JANUARY 3, 1973 AS INSTRUMENT NO. 73-002316, OF OFFICIAL RECORDS.
- 19 15' EASEMENT TO THE CITY OF ESCONDIDO FOR PUBLIC SEWER & PRIVATE UTILITY & MAINTENANCE PER MAP 14087.
- 20 EASEMENT TO SAN DIEGO GAS AND ELECTRIC COMPANY PUBLIC UTILITIES, INGRESS AND EGRESS PURPOSES, RECORDED FEBRUARY 3, 1992 AS INSTRUMENT NO. 1992-0056972, OF OFFICIAL RECORDS.

THE FOLLOWING MATTERS AFFECT PARCEL D:

- 22 EASEMENT TO SAN DIEGO GAS AND ELECTRIC COMPANY PUBLIC UTILITIES, INGRESS AND EGRESS PURPOSES, RECORDED APRIL 29, 1986 AS INSTRUMENT NO. 72414, OF OFFICIAL RECORDS. *** DOES NOT AFFECT PARCEL "D" - AFFECTS PARCEL "A" ***
- 23 EASEMENT TO SAN DIEGO GAS AND ELECTRIC COMPANY PUBLIC UTILITIES, INGRESS AND EGRESS PURPOSES, RECORDED FEBRUARY 3, 1992 AS INSTRUMENT NO. 1992-0056968, OF OFFICIAL RECORDS.
- 24 EASEMENT FOR ROAD AND PUBLIC UTILITY RESERVED BY DEED RECORDED DECEMBER 26, 2002 AS INSTRUMENT NO. 2002-1184788, OF OFFICIAL RECORDS.

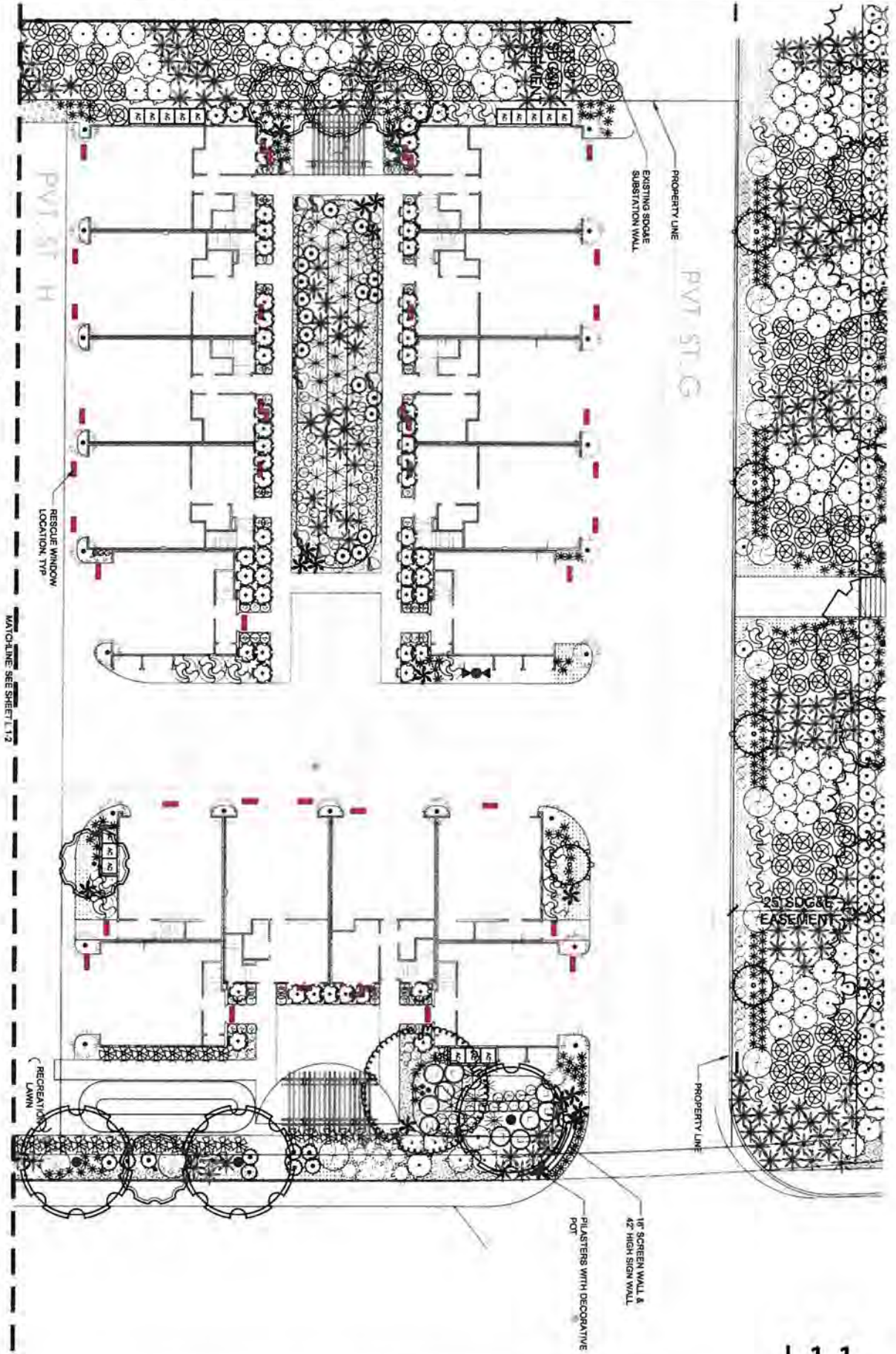
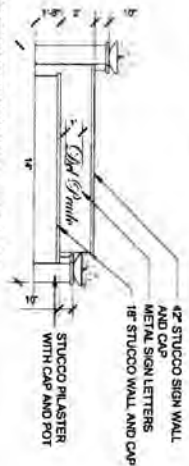
PROPOSED PROJECT
SUB 15-0022/SUB 15-0023

SOUTH

EM

ENCUMBRANCE MAP

SOUTH MONUMENT SIGN WALL - ELEVATION



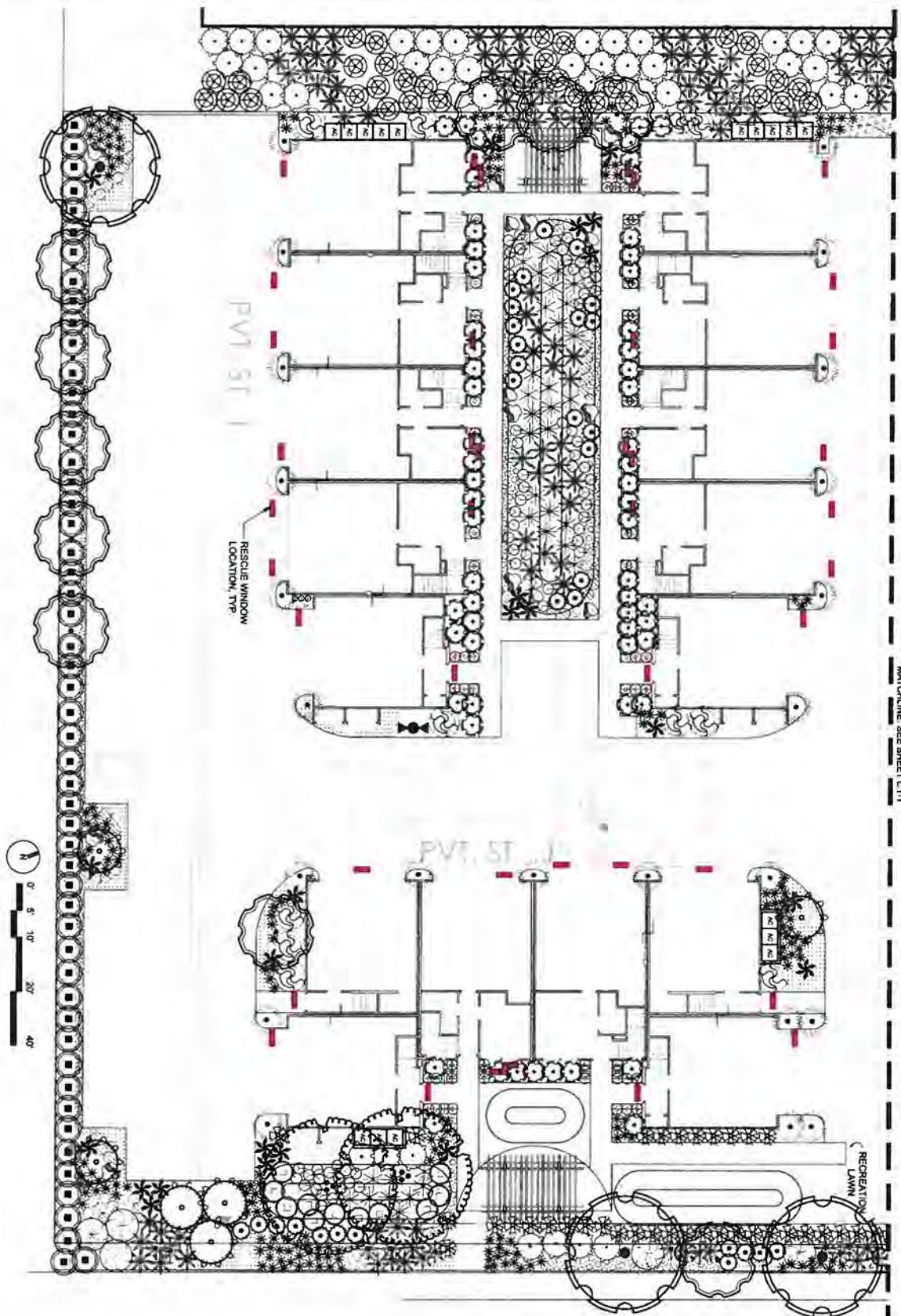
PROPOSED PROJECT
SUB 15-0022/SUB 15-0023

SOUTH

L.1-1

PLP

PRELIMINARY LANDSCAPE
PLAN



MATCHLINE: SEE SHEET L.1-1

L.1-2

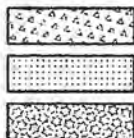
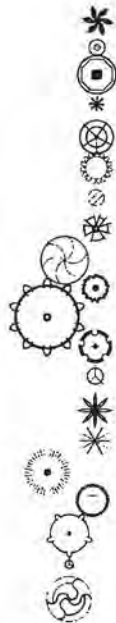
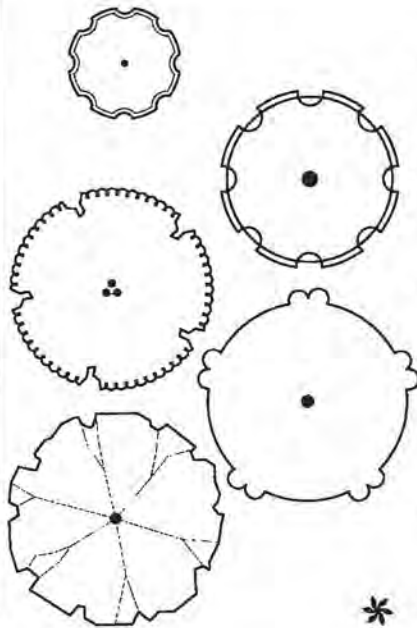
**PROPOSED PROJECT
SUB 15-0022/SUB 15-0023**

SOUTH

PLP

PRELIMINARY LANDSCAPE
DIAM

PLANT LEGEND



ABBREVIATION	SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE	SPACING	REMARKS	WATER USE (24)	MATURE HEIGHT	MATURE WIDTH
TREES									
ARS-UNE	ARGUTUS UNEDO	STRAWBERRY TREE	15	24" BOX	PER PLAN	SINGLE TRUNK TREE FORM	LOW	8'-35'	8'-35'
RHU-LAN	RHUS LANCEA	AFRICAN SUMAC	6	24" BOX	PER PLAN		LOW	20'-30'	20'-35'
PLA-RAC	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	3	24" BOX	PER PLAN	MULTI-TRUNK	MED	30'-60'	20'-50'
PIS-CHI	PSTACHA CHINENSIS	CHINESE PISTACHE	4	24" BOX	PER PLAN		MED	30'-60'	30'-80'
QUE-AGR	QUERCUS AGRIFOLIA	COAST LIVE OAK	X	24" BOX	PER PLAN	MULTI-TRUNK SPECIMEN	LOW	20'-70'	20'-70'
SHRUBS									
AGA-ATT	AGAVE ATTENUATA 'BOUTIN BLUE'	BOUTIN BLUE AGAVE	40	15 GAL	PER PLAN		LOW	5'	5'
ALO-BLU	ALOE 'BLUE ELF'	BLUE ELF ALOE	127	1 GAL	PER PLAN		LOW	18"	2'
ARC-SUN	ARCTOSTAPHYLOS 'SUNSET'	SUNSET MANZANITA	53	5 GAL	PER PLAN		LOW	4'-5'	4'-6'
ARS-PUR	ARISTIDA PURPUREA	PURPLE THREE AYN	292	1 GAL	PER PLAN		LOW	2'	2'
BAC-PIL	BACCHARIS PILULARIS 'PIGEON POINT'	DWARF COYOTE BRUSH	76	1 GAL	PER PLAN		LOW	6'-24"	6'
CAL-CAL	CALANDRINA CALIFORNICA	BAKFAHY CUSTER	6	1 GAL	PER PLAN		LOW	9'	3-8'
CAL-HR	CALYPTROPUS HARTWEGII	SUNDRIPS	79	1 GAL	PER PLAN		LOW	1'	2'
CAL-UT	CALLISTEMON VIMINUS 'LITTLE JOHN'	LITTLE JOHN BOTTLEBRUSH	68	5 GAL	PER PLAN		LOW	3'	3'
CEA-CON	CEANOTHUS 'CONCHIA'	WILD LILAC	9	5 GAL	PER PLAN		LOW	6'-7'	6'-8'
ERE-BLU	EREMOPHILA HYGROPHANA 'BLUE BELLS'	BLUE BELLS EMU BUSH	57	5 GAL	PER PLAN		LOW	2'-3'	3'
HET-ARB	HETEROMELES ARBUTIFOLIA	TOYON, CHRISTMAS BERRY	7	5 GAL	PER PLAN		LOW	6'-10'	6'-10'
ILE-YOM	ILEX VOMITORIA 'NANA'	NANA YALPON	126	5 GAL	PER PLAN		LOW	3'-5'	3'-5'
JUN-PAT	JUNCUS PATENS	CALIFORNIA GRAY RUSH	132	1 GAL	PER PLAN		LOW	2'	2'
LEY-COM	LEYMUS CONDENSATUS 'CANYON PRINCE'	BLUE LYME GRASS	204	1 GAL	PER PLAN		LOW	2'-3'	2'-3'
MUN-RIG	MUMLEMBERGIA RIGENS	DEER GRASS	68	1 GAL	PER PLAN		MED	4'	4'
POD-MAC	PODOCARPUS MACROPHYLLUS 'MAK'	SHRUB YEW PINE	44	5 GAL	PER PLAN		MED	15'-25'	8'
RIB-VIB	RIBES VIBURNIFOLIUM	EVERGREEN CURRENT	21	1 GAL	PER PLAN		MED	3'-6'	12'
SAL-POZ	SALVIA CLEVELANDII 'POZO BLUE'	CLEVELAND SAGE	68	5 GAL	PER PLAN		LOW	3'-5'	5'-6'
SAN-TRI	SANSEVIERIA TRIFASCIATA	MOTHER-IN-LAWS TONGUE	8	1 GAL	PER PLAN		LOW	2'-3'	1'
WES-WYN	WESTRINGIA FRUTICOSA 'WYNABIE GEM'	COAST ROSEMARY	22	15 GAL	PER PLAN		LOW	3'-6'	8'-10'
GROUNDCOVERS									
ECH-ELE	ECHVEVERIA ELEGANS	HEN AND CHICKS	195	4" POTS	12" O.C.		LOW	8"	12"
ROS-HUN	ROSMARINUS OFF. 'HUNTINGTON CARPET'	HUNTINGTON CARPET ROSEMARY	53	1 GAL	7" O.C.		LOW	1.5'	3'-6'
SEN-MAN	SENECIO MANDRALISCAE	BLUE PICKLE	838	1 GAL	12" O.C.		LOW	1'	2'
BOULDERS:									
30"-36"	LANDSCAPE BOULDER	PATIALLY BURY PER DETAIL P-03	11						
36"-48"	LANDSCAPE BOULDER	PATIALLY BURY PER DETAIL P-03	14						
NOTE: FURNISH AND INSTALL "DESERT SELECT" BOULDERS FROM SOUTHWEST BOULDER									

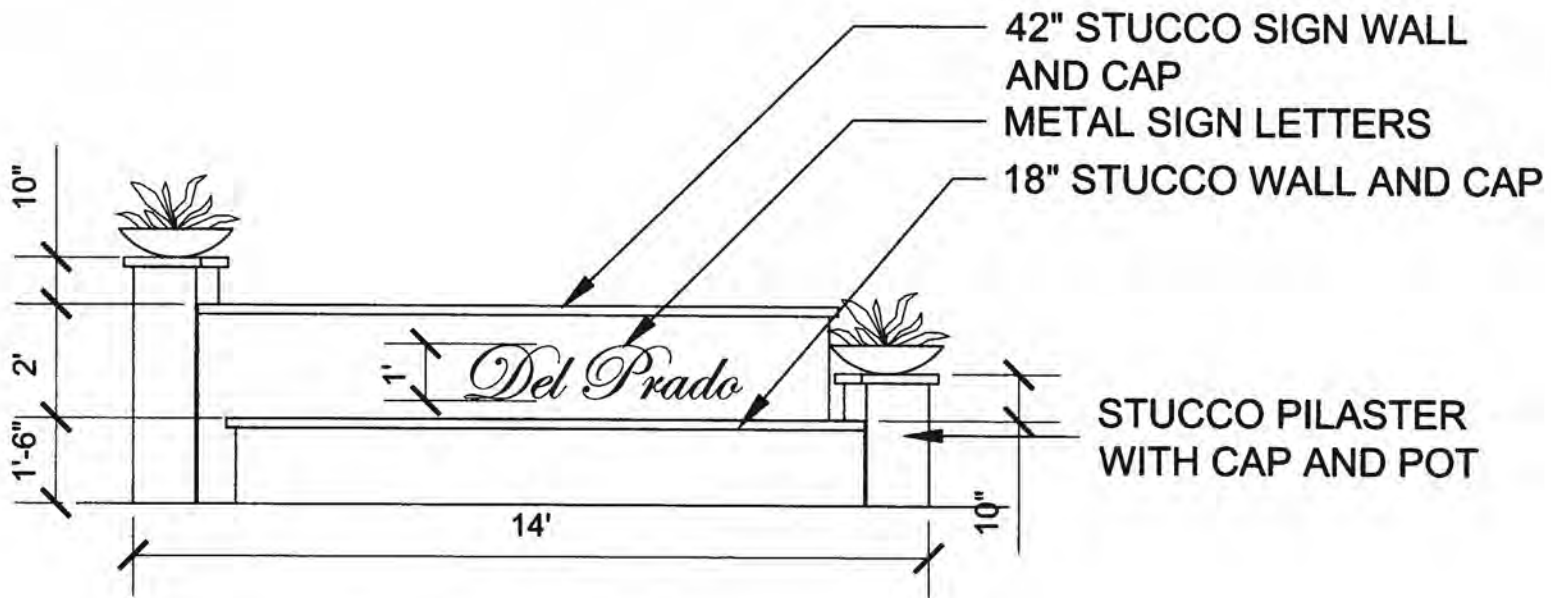
PROPOSED PROJECT
SUB 15-0022/SUB 15-0023

PROPOSED PROJECT
SUB 15-0022/SUB 15-0023

SOUTH

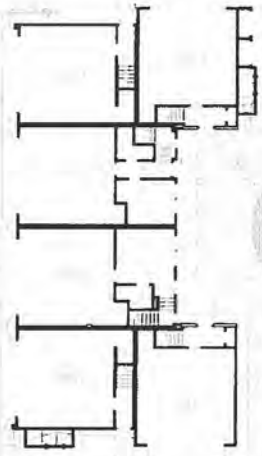
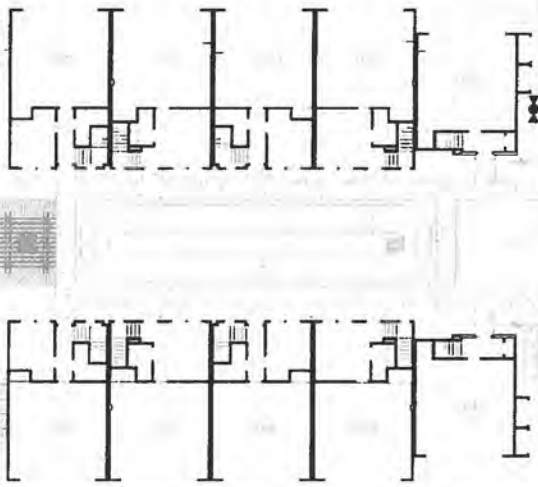
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ELEVATION - SOUTH
MARCH 11, 2023

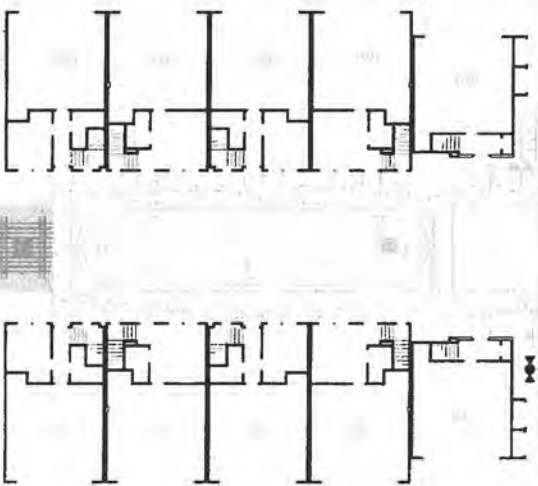


SOUTH MONUMENT SIGN WALL - ELEVATION

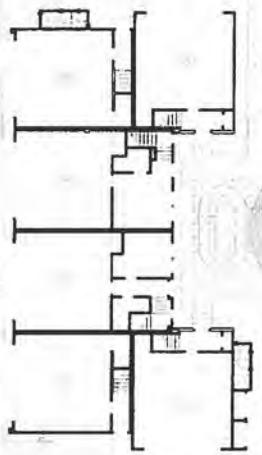
15'-8"
SDG&E
EASEMENT



PVT. ST. H



PVT. ST. J



PVT. ST. I



1. WOOD OR VINYL FENCE TO SCREEN MECHANICAL UNITS
NOTE: WOOD A/C SCREENS TO BE "EARTH TONE" COLORS TO MATCH THE RESIDENCES

WOOD/VINYL SCREEN FENCE
DETAIL

FENCE PLAN LEGEND

WOOD A/C SCREEN



PROPOSED PROJECT
SUB 15-0022/SUB 15-0023

SOUTH

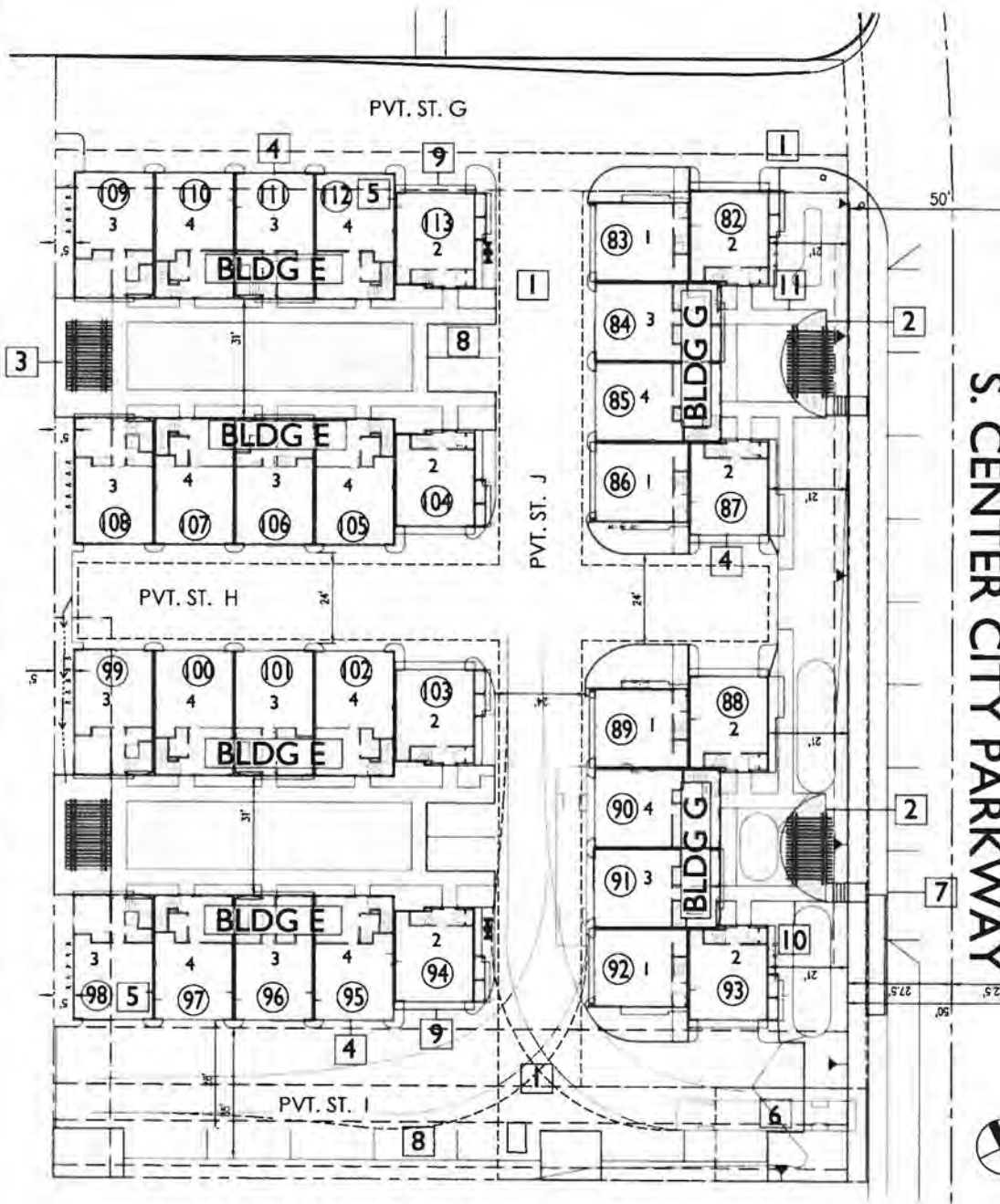
LD

LANDSCAPE DETAILS

PROPOSED PROJECT
SUB 15-0022/SUB 15-0023

SOUTH

SP



PROPOSED UNITS	32 UNITS
SITE AREA	1.43 AC
DENSITY	23 UNITS/ACRE
BUILDING HEIGHT	3 STORIES (35' - 9" OVERALL)

RESIDENTIAL PARKING SUMMARY

PROVIDED	= 75 STALLS
GUEST STALLS	= 11 STALLS
2-CAR GARAGES	= 64 STALLS
PARKING RATIO	= 2.34 STALLS/UNIT

UNIT SUMMARY

PLAN 1 (2BD/2.5BA)	4 UNITS TOTAL
TOTAL	1,109 S.F.
GARAGE	440 S.F.
BALCONY	38 S.F.

PLAN 2 (2BD/2.5BA)	8 UNITS TOTAL
TOTAL	1,183 S.F.
GARAGE	425 S.F.
BALCONY	52 S.F.

PLAN 3 (3BD/3.5BA)	10 UNITS TOTAL
TOTAL	1,378 S.F.
GARAGE	422 S.F.
BALCONY	64 S.F.

PLAN 4 (3BD/2.5BA)	10 UNITS TOTAL
TOTAL	1,584 S.F.
GARAGE	422 S.F.
BALCONY	41 S.F.

DEL PRADO SOUTH 32 3-STORY ROW TOWN HOMES

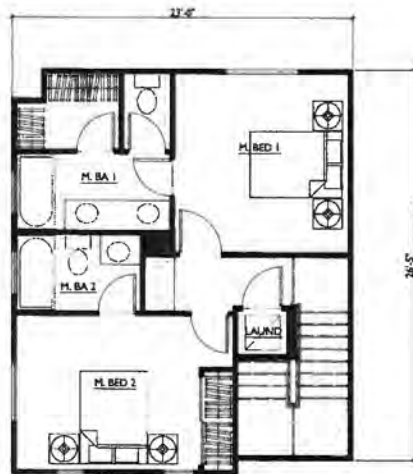
OCTOBER 30, 2015

SCALE: 0 20 40 80

PROPOSED PROJECT
SUB 15-0022/SUB 15-0023

79

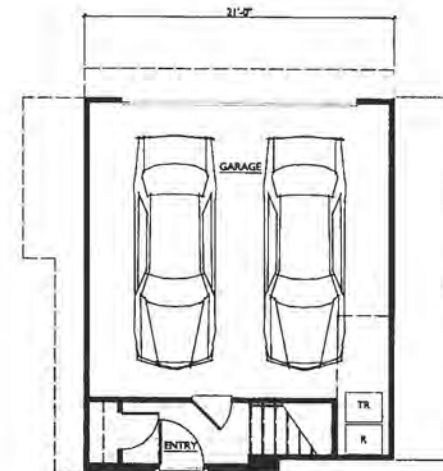
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THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

PLAN 2:	2BD/2.5BA
1ST FLR -	66 S.F.
2ND FLR -	554 S.F.
3RD FLR -	563 S.F.
TOTAL NET	1,183 S.F.

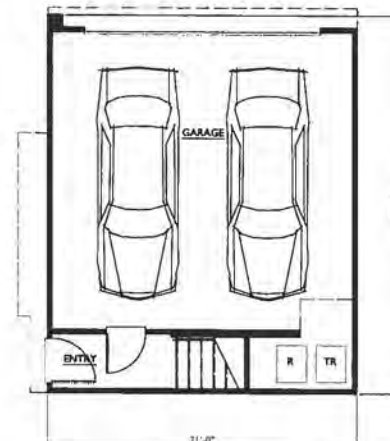
BALCONY -	52 S.F.
GARAGE -	425 S.F.



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

PLAN 1:	2BD/2.5BA
1ST FLR -	48 S.F.
2ND FLR -	523 S.F.
3RD FLR -	538 S.F.
TOTAL NET	1,109 S.F.

BALCONY -	38 S.F.
GARAGE -	440 S.F.

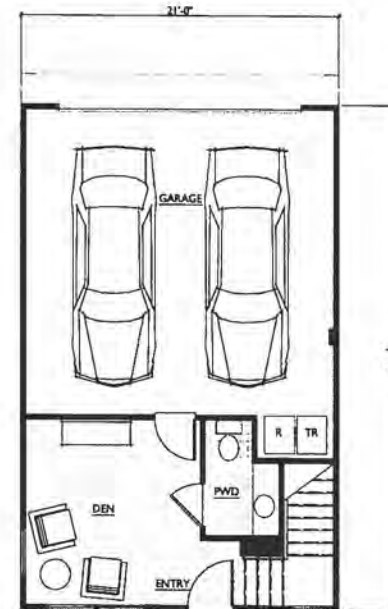
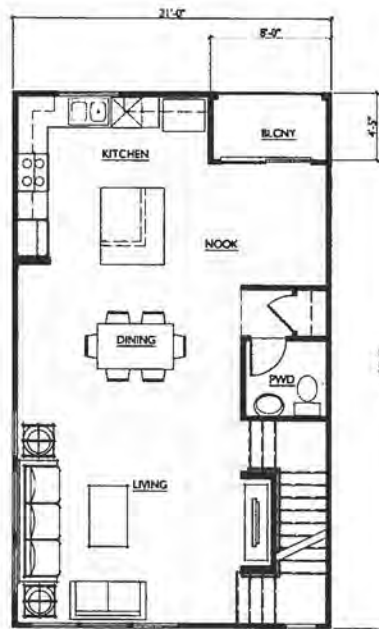
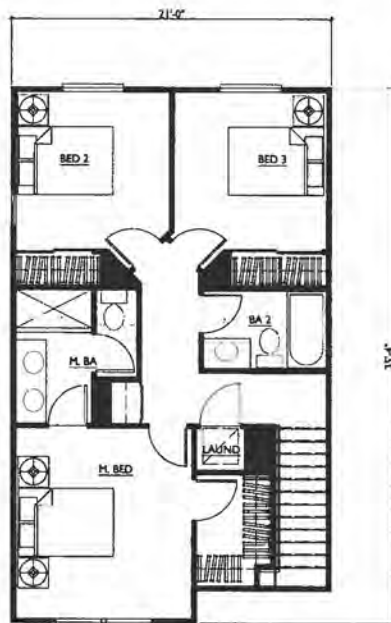
DEL PRADO SOUTH
32 3-STORY ROW TOWN HOMES

OCTOBER 30, 2015

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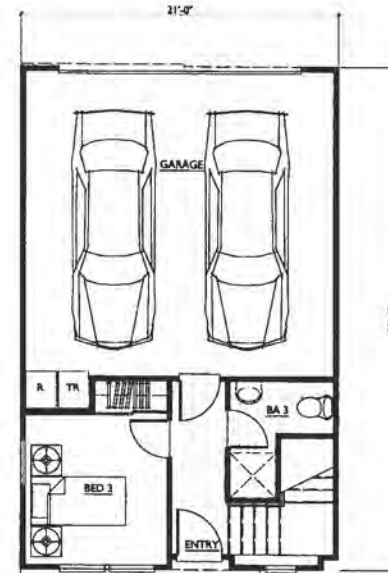
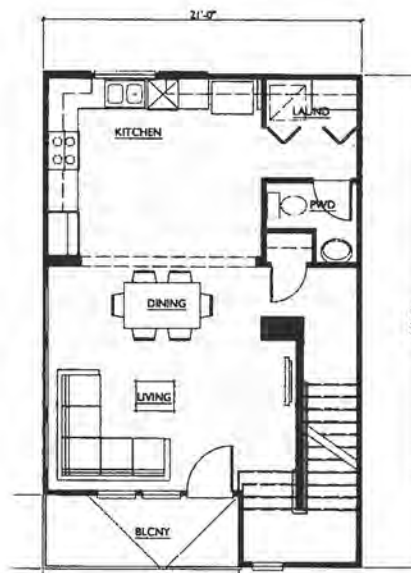
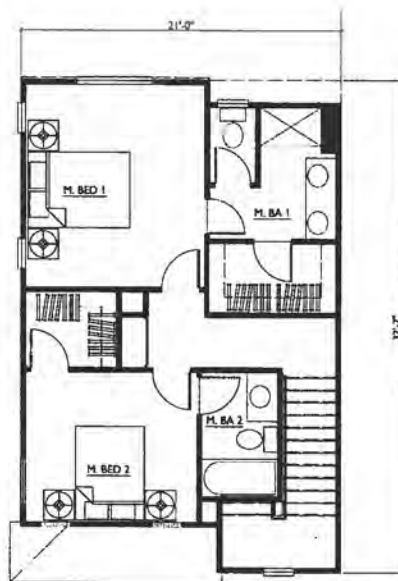
PROPOSED PROJECT
SUB 15-0022/SUB 15-0023

F



PLAN 4:	3BD/2.5BA
1ST FLR -	242 S.F.
2ND FLR -	675 S.F.
3RD FLR -	667 S.F.
TOTAL NET	1,584 S.F.

BALCONY-	41 S.F.
GARAGE-	422 S.F.



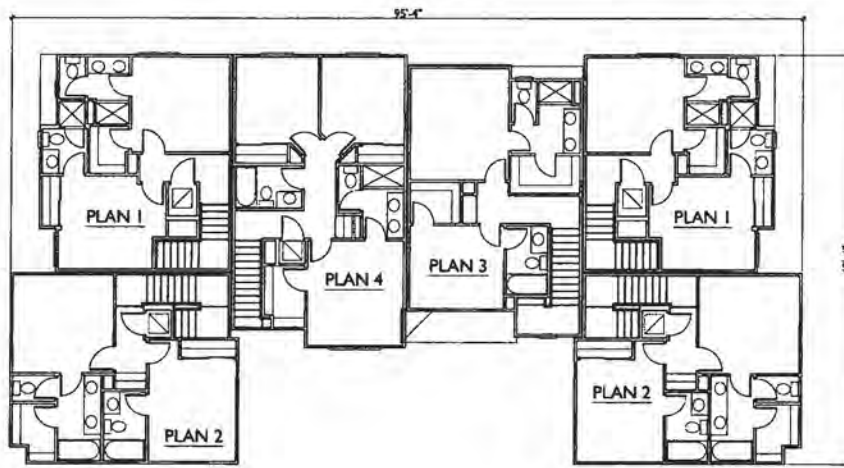
PLAN 3:	3BD/3.5BA
1ST FLR -	236 S.F.
2ND FLR -	593 S.F.
3RD FLR -	549 S.F.
TOTAL NET	1,378 S.F.

BALCONY-	64 S.F.
GARAGE-	422 S.F.

DEL PRADO SOUTH
32 3-STORY ROW TOWN HOMES

OCTOBER 30, 2015

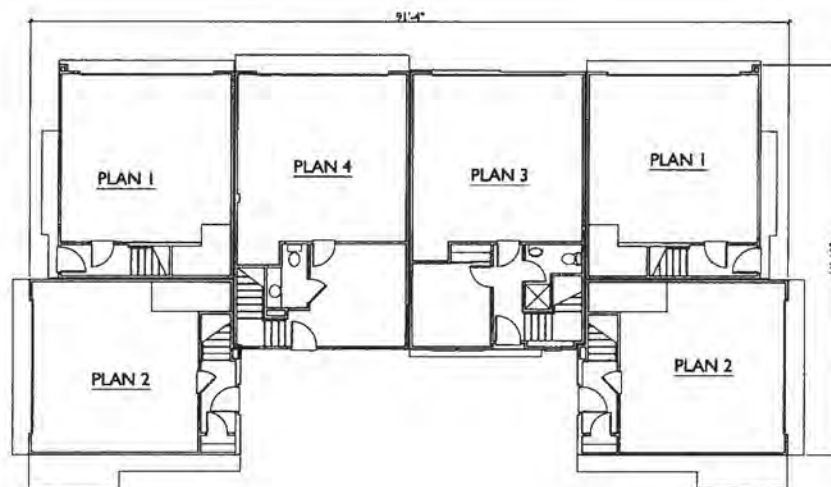
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THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

DEL PRADO SOUTH - 32 3-STORY ROW TOWN HOMES

OCTOBER 30, 2015

SCALE: 0 8 16 24

**PROPOSED PROJECT
SUB 15-0022/SUB 15-0023**



RIGHT ELEVATION



REAR ELEVATION

MATERIAL SCHEDULE

- 1 ROOF - CONCRETE CLASS "S" TILE ROOFING
- 2 FASCIA - STUCCO OVER SHAPED FOAM
- 3 WALL - EXTERIOR STUCCO - SAND FINISH
- 4 TRIM - 2X @ DOORS AND WINDOWS
- 5 METAL RAILING
- 6 DECORATIVE METAL GRILLE
- 7 DECORATIVE GABLE ACCENT
- 8 DECORATIVE METAL POTSHelf
- 9 DECORATIVE SHUTTER
- 10 DECORATIVE METAL AWNING



LEFT ELEVATION



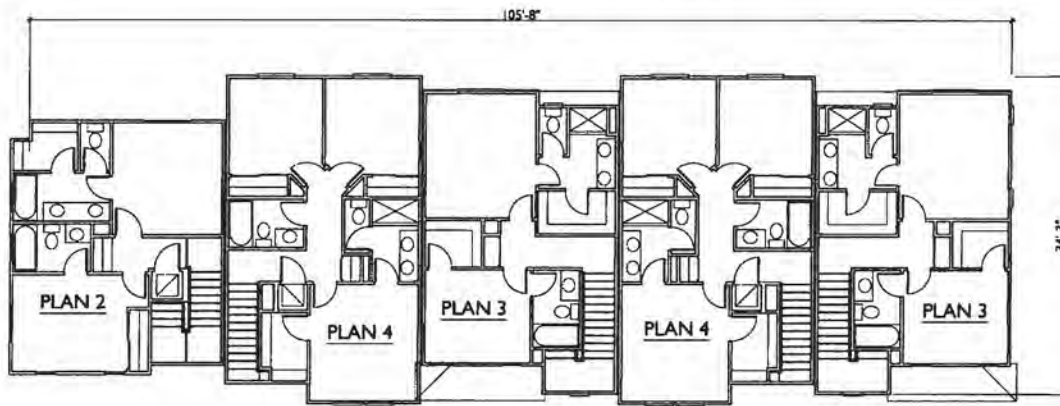
FRONT ELEVATION

DEL PRADO SOUTH - 32 3-STORY ROW TOWN HOMES

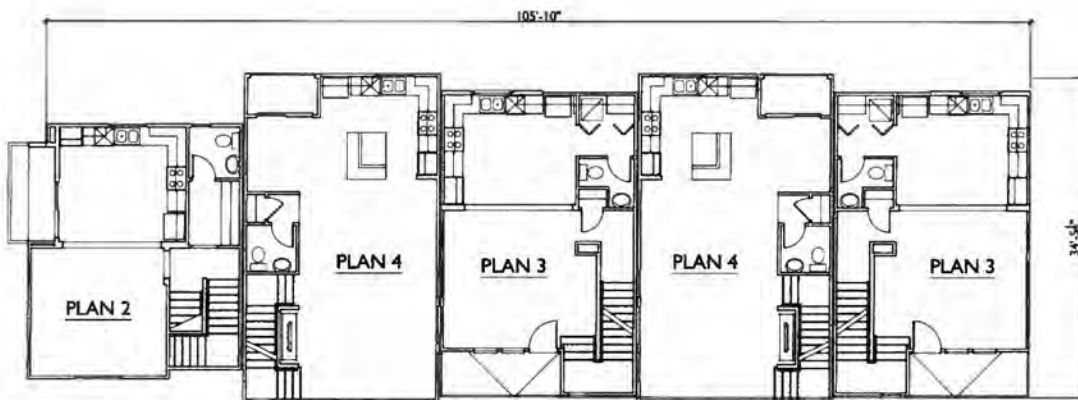
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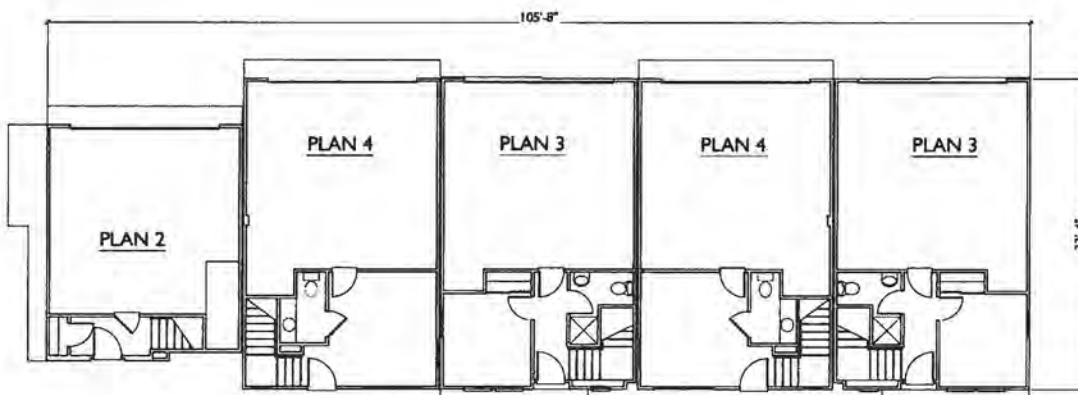
**PROPOSED PROJECT
SUB 15-0022/SUB 15-0023**



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

DEL PRADO SOUTH - 81 3-STORY ROW TOWN HOMES

OCTOBER 30, 2015

SCALE: 0 8 16 24

**PROPOSED PROJECT
SUB 15-0022/SUB 15-0023**

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FP

FLOOR PLAN BLDG E



MATERIAL SCHEDULE

- 1 ROOF - CONCRETE CLASS 'S' TILE ROOFING
- 2 FASCIA - STUCCO OVER SHAPED FOAM
- 3 WALL - EXTERIOR STUCCO - SAND FINISH
- 4 TRIM - 2X @ DOORS AND WINDOWS
- 5 METAL RAILING
- 6 DECORATIVE METAL GRILLE
- 7 DECORATIVE GABLE ACCENT
- 8 DECORATIVE METAL POTSHelf
- 9 DECORATIVE SHUTTER
- 10 DECORATIVE METAL AWNING



DEL PRADO SOUTH - 81 3-STORY ROW TOWN HOMES

OCTOBER 30, 2015

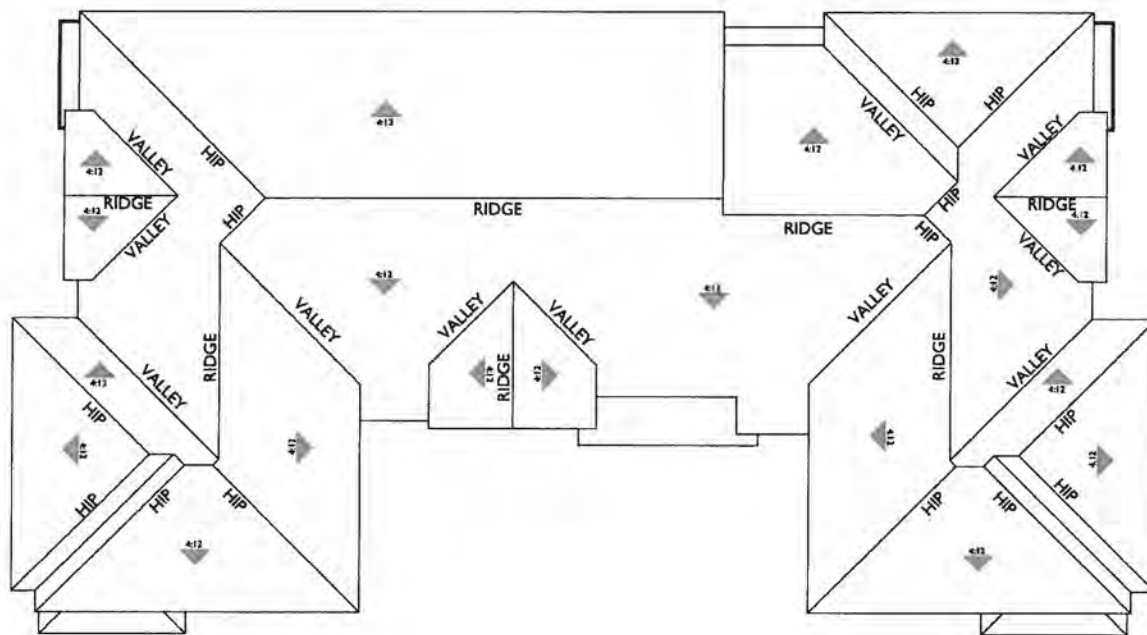
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PROPOSED PROJECT
SUB 15-0022/SUB 15-0023

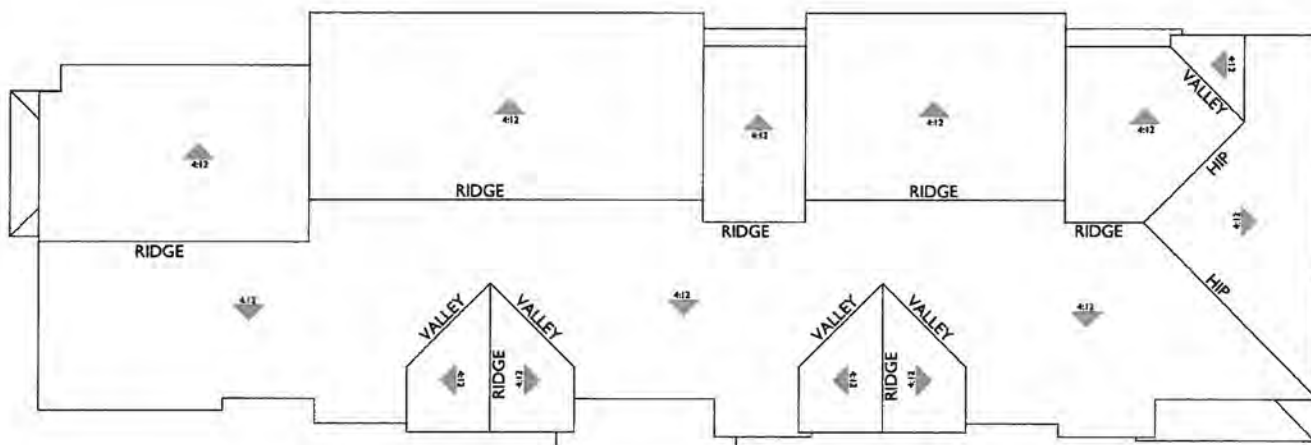
75

E

ELEVATIONS BLDG E



BUILDING G



BUILDING E

SCALE: 0 8 16 24

DEL PRADO SOUTH - 32 3-STORY ROW TOWN HOMES

OCTOBER 30, 2015

PROPOSED PROJECT
SUB 15-0022/SUB 15-0023

RP

PLANNING COMMISSION

Agenda Item No.: H.1
Date: April 12, 2016

TO: Planning Commissioners
FROM: Planning Staff
SUBJECT: Resolution No. 6063 with Revised Findings (Case No. SUB 14-0018)

Resolution No. 6063 from the March 22, 2016, Planning Commission meeting is attached with revised findings supporting the Planning Commission's decision to recommend denial of the proposed development. The City Council hearing on the proposal is scheduled for April 27, 2016.

Respectfully Submitted,



Bill Martin, AICP
Interim Director of Community Development
Assistant Planning Director

Planning Commission
Hearing Date: March 22, 2016
Effective Date: _____

RESOLUTION NO. 6063

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ESCONDIDO, CALIFORNIA, RECOMMENDING DENIAL OF A ZONE CHANGE FROM CG (GENERAL COMMERCIAL) TO PD-R 28.4 (PLANNED DEVELOPMENT – RESIDENTIAL, 28.4 DWELLING UNITS PER ACRE) AS WELL AS AN AMENDMENT TO THE SOUTH ESCONDIDO BOULEVARD NEIGHBORHOOD PLAN IN CONJUNCTION WITH A MASTER AND PRECISE DEVELOPMENT PLAN AND A ONE-LOT TENTATIVE SUBDIVISION MAP TO CONSTRUCT 65 TOWNHOME CONDOMINIUM UNITS

APPLICANT: Edward Kaen

CASE NO: SUB 14-0018; AZ 14-0006

WHEREAS, the Planning Commission of the City of Escondido did, on March 22, 2016 hold a noticed public hearing to consider a request for a Zone Change from CG (General Commercial) to PD-R 28.4 (Planned Development – Residential, 28.4 dwelling units per acre), in conjunction with a Master and Precise Development Plan and a one-lot Tentative Subdivision Map to construct 65 attached, three-story condominium units. An amendment to the South Escondido Boulevard Neighborhood Plan also is proposed to allow residential development without a mixed-use commercial component within the South Escondido Boulevard commercial corridor on a 2.29-acre site located on the eastern side of South Escondido Boulevard and the western side of Cranston Drive, addressed as 2516 S. Escondido Boulevard, more particularly described in Exhibit "B."

WHEREAS, the following determinations were made:

1. That a notice was published and mailed as required by the Escondido Zoning Code and applicable State law.

2. That the application was assessed in conformance with the California Environmental Quality Act and that a Mitigated Negative Declaration was issued on February 16, 2016, City Log No. SUB 14-0018.

3. That a staff report was presented discussing the issues in the matter.

4. That a public hearing was held and that all persons desiring to speak did so.

5. That Ordinance No. 78-02, enacted pursuant to Section 65974 of the Government Code and pertaining to the dedication of land and fees for school facilities, has been adopted by the City of Escondido.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Escondido:

1. That the above recitations are true and correct.

2. That the Planning Commission certifies that it has reviewed and considered the environmental determination prepared for the proposed project.

3. That the Findings of Fact and Factors to be Considered, attached as Exhibit "A," were made by said Commission.

4. That, considering the Findings, Factors and applicable law, the Planning Commission hereby makes a motion to recommend denial of said Zone Change, Master and Precise Development Plan, Tentative Map and Amendment to the South Escondido Boulevard Neighborhood Plan.

PASSED, ADOPTED AND APPROVED by a majority vote of the Planning Commission of the City of Escondido, California, at a regular meeting held on the 12th day of April, 2016, by the following vote, to wit:

AYES:	COMMISSIONERS:
NOES:	COMMISSIONERS:
ABSTAINED:	COMMISSIONERS:
ABSENT:	COMMISSIONERS:

JEFFERY WEBER, Chairman
Escondido Planning Commission

ATTEST:

BILL MARTIN, Secretary of the
Escondido Planning Commission

I hereby certify that the foregoing Resolution was passed at the time and by the vote above stated.

TY PAULSON, Minutes Clerk
Escondido Planning Commission

EXHIBIT "A"
FINDINGS OF FACT/FACTORS TO BE CONSIDERED
SUB 14-0018, AZ 14-0006

Tentative Subdivision Map

1. The General Plan land-use designation for subject site is General Commercial (GC), which allows for a variety of commercial, retail and service uses along the South Escondido Boulevard Corridor. The site also is located within the South Escondido Boulevard Neighborhood Plan which is an overlay zone established for the South Escondido Corridor, and the proposed development is subject to the provisions of the overlay zone. The South Escondido Boulevard Neighborhood Plan allows for residential development in conjunction with a commercial component (mixed-use) subject to the approval of a Planned Development with a maximum density of 24 dwelling units per acre. The City updated its General Plan in 2012 to allow for both mixed-use and residential development within a target area of the South Escondido Boulevard Neighborhood Plan known as the "Centre City Parkway/Brotherton Road Target Area" (page II-70). Mixed-Use development within the Target Area is required to provide a minimum density of 30 dwelling units per acre. While a density standard has not been adopted in the General Plan for exclusively residential development, it is expected the forthcoming update to the South Escondido Boulevard Neighborhood Plan now underway will establish a lower density for exclusively residential development. While the proposed density falls within the range between the Neighborhood Plan and the General Plan, the proposed townhome building type combined with the size and number of proposed units results in a development that is too intense as evidenced by the lower proposed standards for open space, setbacks and guest parking.
2. The design of the proposed subdivision is not consistent with the General Plan and the South Escondido Boulevard Neighborhood Plan because the project design results in three-story buildings placed at a zero-foot setback in close proximity to adjacent residential buildings and much of the required guest parking has been placed on the adjoining public street because the project design leaves no room on-site to accommodate all the required guest parking.
3. The site is suitable for residential development because the project site is zoned for a multi-story residential development. However, the proposed development is not compatible with the surrounding uses because the townhome style of development results in a project that is too intense with reduced setbacks that does not provide an appropriate transition between the adjacent commercial and residential developments.
4. The site is physically suitable for residential development because the site is relatively flat and extensive grading is not proposed. However, the design of the project is not compatible with the variety of residential and commercial development surrounding the site. The proposed project also would generate more traffic in the residential neighborhood and surrounding streets and cause more cars to be parked on neighborhood streets.
5. The design of the map and type of improvements are not likely to cause substantial environmental problems or substantially and avoidably injure fish or wildlife or their habitat since no stream courses or endangered wildlife occurs on the property as determined during Environmental Review, City Log No. SUB 14-0018.
6. The design of the map and the type of improvements are not likely to cause serious public health problems since the project will not degrade the levels of service on the drainage system and city sewer and water is available or can be provided with minor extension of nearby facilities.
7. The design of the map and type of improvements would not conflict with easements of record, or easements established through court judgment, or acquired by the population at large, for access

through, or use of property within the proposed map based on a review of all available maps and a preliminary title report submitted by the applicant. Neither the City of Escondido, nor its employees assume any responsibility for the completeness or accuracy of these documents.

8. The design of the map has provided, to the extent feasible, for future passive or natural heating or cooling opportunities in the subdivision. The subdivision configuration provides opportunities for passive/solar heating and landscaping will provide opportunities for the shading of each unit.

Master and Precise Development Plan

1. The location and design of the proposed planned development is consistent with the goals and policies of the Escondido General Plan since high-density residential development is permitted and encouraged in the General Commercial designation when appropriately designed and located within a Mixed-Use Overlay. However, the proposed intensity of development combined with reduced setbacks and a reduction in guest parking is not compatible with surrounding development.
2. The proposed location of the development does not allow the development to be well integrated with its surroundings near residentially and commercially developed properties because adequate parking, setbacks and open space have not been provided for the proposed development. The overall mass and scale of the buildings results in a development that is too intense given the size and number of units proposed for the site.
3. The overall design of the proposed planned development would not produce a quality and attractive residential development because the project design results in three-story buildings placed at a zero-foot setback in close proximity to adjacent residential buildings and much of the required guest parking has been placed on the adjoining public street because the project design leaves no room on-site to accommodate all the required parking.
4. The proposed development would not be well integrated into its surroundings, since the new structures are not compatible with the surrounding uses because the townhome style of development results in a project that is too intense with reduced setbacks that does not provide an appropriate transition between the adjacent commercial and residential developments.

Amendment to South Escondido Boulevard Neighborhood Plan and Zone Change

1. The public health, safety and welfare will not be adversely affected by the proposed Zone Change from CG (General Commercial) to PD-R (Planned Development-Residential) because the General Plan allows for mixed-use and exclusively residential development within a target area of the South Escondido Boulevard Neighborhood Plan known as the "Centre City Parkway/Brotherton Road Target Area" (page II-70). While there is no minimum density requirement for exclusively residential development, the proposed project would provide an appropriate transition because the townhome style of development results in a project that is too intense with reduced setbacks that do not provide an appropriate transition between the adjacent commercial and residential developments.
2. The property involved is not suitable for the intensity of use allowable by the proposed PD-R zone because the project design results in three-story buildings placed at a zero-foot setback in close proximity to adjacent residential buildings and much of the required guest parking has been placed on the adjoining public street because the project design leaves no room on-site to accommodate all the required parking.
3. The uses permitted by the proposed PD-R zone would be detrimental to surrounding properties and the proposed development is not compatible with the surrounding uses because the townhome style of development results in a project that is too intense with reduced setbacks that does not provide an appropriate transition between the adjacent commercial and residential developments.

4. The proposed zone change would not conflict with any specific plans for the area since the project site is not located within a specific plan area and the proposed use would be in conformance with the Escondido General Plan which allows for exclusively residential development. .

EXHIBIT "B"
LEGAL DESCRIPTION
SUB 14-0014
AZ 14-0006

Real property in the City of Escondido, County of San Diego, State of California, described as follows:

PARCEL 1:

ALL THAT PORTION OF LOT "B" IN THE RE-SUBDIVISION OF LOTS 9, 10, 11, 12 AND 13 IN BLOCK 30 AND LOTS 2, 3, 6, 17, 18, 19, 20 AND 21 IN BLOCK 32 OF HOME LAND ACRES ADDITION TO ESCONDIDO NO. 2, IN THE CITY OF ESCONDIDO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1721, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 18, 1921, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE SOUTH LINE OF SAID LOT "B", FROM WHICH THE SOUTHEAST CORNER THEREOF BEARS NORTH 77 DEG. 48' EAST 200.5 FEET; THENCE NORTH 77 DEG. 48' WEST ALONG SAID SOUTH LINE 285.45 FEET, MORE OR LESS, TO THE WESTERLY LINE OF SAID LOT "B"; THENCE NORTH 10 DEG. 52' WEST ALONG THE WESTERLY LINE OF SAID LOT 233.68 FEET; THENCE SOUTH 77 DEG. 48' EAST 377.19 FEET; THENCE SOUTH 12 DEG. 12' WEST 215.0 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION OF THE SOUTH 215 FEET OF LOT "B" IN THE RE-SUBDIVISION OF BLOCK 30 OF HOMELAND ACRES ADDITION TO ESCONDIDO NO. 2, ACCORDING TO MAP THEREOF NO. 1721, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID DIEGO COUNTY, ON JULY 18, 1921, LYING WESTERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT A POINT ON THE SOUTHERLY LINE OF SAID LOT "B" DISTANT THEREON NORTH 77 DEG. 55' 00" WEST, 422.65 FEET FROM A 5/8 INCH IRON PIPE SET FOR THE SOUTHEAST CORNER OF SAID LOT "B"; THENCE NORTH 10 DEG. 28' 58" WEST 180.63 FEET; THENCE FROM A TANGENT WHICH BEARS NORTH 10 DEG. 59' 35" WEST ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 455 FEET THROUGH AN ANGLE OF 20 DEG. 57' 35" A DISTANCE OF 166.45 FEET; THENCE NORTH 9 DEG. 58' 00" EAST 105.99 FEET; THENCE ALONG A TANGENT CURVE TO THE LEFT WITH A RADIUS OF 545 FEET THROUGH AN ANGLE OF 4 DEG. 49' 57" A DISTANCE OF 45.97 FEET; THENCE NORTH 74 DEG. 05' 38" EAST 42.14 FEE TO A POINT ON THE NORTHERLY LINE OF SAID LOT "B"; THENCE NORTH 77 DEG. 53' 02" WEST, 498.67 FEET FROM A 2 INCH CONCRETE MONUMENT SET FOR THE NORTHEAST CORNER OF SAID LOT "B".

PARCEL 2:

ALL THAT PORTION OF LOT "B" IN THE RE-SUBDIVISION OF LOTS 9, 10, 11, 12 AND 13 IN BLOCK 30 AND LOTS 2, 3, 6, 17, 18, 19, 20 AND 21 IN BLOCK 32 OF HOME LAND ACRES ADDITION TO ESCONDIDO NO. 2, IN THE CITY OF ESCONDIDO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1721, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 18, 1921, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE SOUTH LINE OF SAID LOT "B" FROM WHICH THE SOUTHEAST CORNER THEREOF BEARS SOUTH 77 DEG. 48' EAST 200.5 FEET, SAID POINT BEING THE SOUTHEAST CORNER OF A PARCEL OF LAND CONVEYED TO CHARLES O. MORRIS, ET AL, BY DEED DATED AUGUST 20, 1946 AND RECORDED IN BOOK 2237, PAGE 228 OF OFFICIAL RECORDS; THENCE SOUTH 77 DEG. 48' EAST ALONG SAID SOUTH LINE 135 FEET; THENCE

NORTHERLY IN A STRAIGHT LINE TO AN INTERSECTION WITH THE EASTERLY PROLONGATION OF THE NORTHERLY LINE OF SAID MORRIS LAND, SAID POINT OF INTERSECTION BEING DISTANT THEREON SOUTH 77 DEG. 48 EAST 105 FEET FROM THE NORTHEAST CORNER OF SAID MORRIS LAND; THENCE NORTH 77 DEG. 48' WEST ALONG SAID EASTERLY PROLONGATION 105 FEET TO THE NORTHEAST CORNER OF SAID LAND; THENCE SOUTH 12 DEG. 12' WEST ALONG THE EASTERLY LINE OF MORRIS LAND 215 FEET TO THE POINT OF BEGINNING.

PARCEL 3:

THAT PORTION OF LOT "B" OF THE RE-SUBDIVISION OF LOTS 9, 10, 11, 12 AND 13 IN BLOCK 30 AND LOTS 2, 3, 8, 17, 18, 19, 20 AND 21 IN BLOCK 32 OF HOMELAND ACRES ADDITION TO ESCONDIDO NO. 2, IN THE CITY OF ESCONDIDO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1721, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 18, 1921, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT "B"; THENCE NORTH 77 DEG. 48' WEST ALONG THE SOUTH LINE OF SAID LOT 65.5 FEET TO THE SOUTHEAST CORNER OF A PARCEL OF LAND CONVEYED TO CHARLES O. MORRIS, ET AL, BY DEED RECORDED OCTOBER 11, 1948, IN BOOK 2977, PAGE 63 OF OFFICIAL RECORDS; THENCE ALONG THE EASTERLY LINE OF SAID MORRIS LAND, NORTHERLY IN A STRAIGHT LINE TO THE NORTHEAST CORNER OF SAID MORRIS LAND; THENCE SOUTH 77 DEG. 48' EAST TO THE EAST LINE OF SAID LOT; THENCE ALONG SAID EAST LINE SOUTH 12 DEG. 12' WEST TO THE POINT OF BEGINNING.

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