

CITY OF ESCONDIDO

Planning Commission and Staff Seating



- A. CALL TO ORDER: 7:00 p.m.
- B. FLAG SALUTE
- C. ROLL CALL:
- D. MINUTES: 01/13/15

The Brown Act provides an opportunity for members of the public to directly address the Planning Commission on any item of interest to the public before or during the Planning Commission's consideration of the item. If you wish to speak regarding an agenda item, please fill out a speaker's slip and give it to the minutes clerk who will forward it to the chairman.

Electronic Media: Electronic media which members of the public wish to be used during any public comment period should be submitted to the Planning Division at least 24 hours prior to the meeting at which it is to be shown.

The electronic media will be subject to a virus scan and must be compatible with the City's existing system. The media must be labeled with the name of the speaker, the comment period during which the media is to be played and contact information for the person presenting the media.

The time necessary to present any electronic media is considered part of the maximum time limit provided to speakers. City staff will queue the electronic information when the public member is called upon to speak. Materials shown to the Commission during the meeting are part of the public record and may be retained by the City.

The City of Escondido is not responsible for the content of any material presented, and the presentation and content of electronic media shall be subject to the same responsibilities regarding decorum and presentation as are applicable to live presentations.

If you wish to speak concerning an item not on the agenda, you may do so under "Oral Communications" which is listed at the beginning and end of the agenda. All persons addressing the Planning Commission are asked to state their names for the public record.

Availability of supplemental materials after agenda posting: any supplemental writings or documents provided to the Planning Commission regarding any item on this agenda will be made available for public inspection in the Planning Division located at 201 N. Broadway during normal business hours, or in the Council Chambers while the meeting is in session.

The City of Escondido recognizes its obligation to provide equal access to public services for individuals with disabilities. Please contact the A.D.A. Coordinator, (760) 839-4643 with any requests for reasonable accommodation at least 24 hours prior to the meeting.

The Planning Division is the coordinating division for the Planning Commission.
For information, call (760) 839-4671.

E. WRITTEN COMMUNICATIONS:

"Under State law, all items under Written Communications can have no action, and will be referred to the staff for administrative action or scheduled on a subsequent agenda."

1. Future Neighborhood Meetings

F. ORAL COMMUNICATIONS:

"Under State law, all items under Oral Communications can have no action, and may be referred to the staff for administrative action or scheduled on a subsequent agenda."

This is the opportunity for members of the public to address the Commission on any item of business within the jurisdiction of the Commission.

G. PUBLIC HEARINGS:

Please try to limit your testimony to 2-5 minutes.

1. ANNEXATION; TENTATIVE SUBDIVISION MAP; PRELIMINARY, MASTER AND PRECISE DEVELOPMENT PLAN; PRE-ZONE; GRADING EXEMPTIONS; SPECIFIC ALIGNMENT PLAN AND FINAL ENVIRONMENTAL IMPACT REPORT – SUB 13-0002, PHG 13-0017; ENV 13-0006:

REQUEST: The proposed "Oak Creek" project includes a Tentative Subdivision Map for 65 single-family residential lots on a 37.59-acre property in conjunction with an annexation of the development site and three additional parcels from the County of San Diego to the City of Escondido. The proposed project would prezone the residential development site to Planned Development – Residential 1.75 (1.75 dwelling units/acre) while the remaining annexation area on the eastern side of Miller Avenue would be prezoned RE-20 (Residential Estates – 20,000 SF minimum lot size). A Preliminary, Master and Precise Development Plan has been included for the development site to implement residential lot clustering, establish development standards, and provide architectural and landscape design. Proposed residential lot sizes range from approximately 10,000 SF to 22,500 SF with the average residential lot size being 12,585 SF. Approximately 13.93 acres of open space would be provided to preserve sensitive habitat in existing creek and pond areas and off-set the reduction in residential lot sizes as required by the Escondido General Plan. Access to the proposed development would be provided via a gated, private street extending from Felicita Road near the southern boundary of the project site across from Felicita Park. Additional emergency access to Hamilton Lane would be provided from the ends of two cul-de-sacs within the project. Proposed grading would include slightly elevating a portion of the site to ensure all of the proposed home sites are above the 100-year flood inundation area as well as the construction of several bioretention/detention basins to manage the flow of storm water exiting the site. Two Grading Exemptions are requested for a 2:1 cut slope up to 35 feet high and a 2:1 fill slope up to 17 feet high. The project also proposes a Specific Alignment Plan for both Felicita Road and Hamilton Lane which would establish modified pavement widths and improvements for both of these streets in conjunction with a traffic calming plan for the portion of Felicita Road that generally extends from Hamilton Lane south to Clarence Lane. The proposal also includes certifying the Final Environmental Impact Report prepared for the project.

PROPERTY SIZE AND LOCATION: The approximately 43.73-acre project area is located within the unincorporated area of San Diego County and is contiguous to the City's boundary at the intersection of Felicita Road and Hamilton Lane. The proposed residential development site within the project area (37.59-acres) is generally bounded on the north by Hamilton Lane, the west and south by Felicita Road, and the east by Miller Avenue. The remainder of the proposed annexation area is located on the eastern side of Miller Avenue and both sides of Hamilton Lane and includes two vacant parcels not proposed for development and the Chalice Unitarian Universalist Congregation property (2324 Miller Avenue).

ENVIRONMENTAL STATUS: The Draft Environmental Impact Report (City Log No. ENV 13-0006) was issued for a 45-day public review on August 15, 2014. Responses to comments received on the Draft EIR have been incorporated into the Final EIR. Mitigation measures required under CEQA were developed to reduce the potential for adverse impacts with respect to air quality, biological resources, cultural resources, geology and soils, hazards and hazardous materials, hydrology and water quality, and noise.

APPLICANT: New Urban West

STAFF RECOMMENDATION: Approval

COMMISSION ACTION:

PROJECTED COUNCIL HEARING DATE:

2. CONDITIONAL USE PERMIT – PHG 14-0021:

REQUEST: The proposed project involves a Conditional Use Permit (CUP) for a phased master development plan for Escondido United Reformed Church to include the construction of a new two-story approximately 12,243 SF sanctuary building to accommodate up to 578 fixed seats on the main floor and 202 fixed seats on the upper story mezzanine/balcony with up to 170 non-fixed seating for a maximum capacity of up to 950 seats; reconfigure the existing parking lot; convert the existing 5,320 SF sanctuary building into a multi-purpose social hall with an new attached 578 SF kitchen/prep building; demolish the existing social hall building and construct a new 5,250 SF two-story building to accommodate a nursery, multi-purpose room, bathrooms and classrooms for Sunday school and other associated activities; and construct an enclosed 1,835 SF central Atrium/Narthex between the buildings. The final phase would include a new two-story freestanding Multi-Purpose Building. This would require a future modification to the CUP. The proposal also includes the adoption of the environmental determination (Negative Declaration ENV 14-0011) prepared for the project.

PROPERTY LOCATION: Generally is located on the southeastern corner of North Broadway and Vista Avenue in the City of Escondido, County of San Diego, addressed as 1864 N. Broadway (APN 227-010-61).

ENVIRONMENTAL STATUS: A Negative Declaration (City File No. ENV 14-0011) was prepared and issued for the proposed project for public review on December 4, 2014. A Negative Declaration is prepared when the project would not have a significant impact to the environment because there is no substantial evidence in the record to indicate project related impacts are potentially significant.

APPLICANT: Escondido United Reformed Church

STAFF RECOMMENDATION: Approval

COMMISSION ACTION:

PROJECTED COUNCIL HEARING DATE:

H. CURRENT BUSINESS:

Note: Current Business items are those which under state law and local ordinances do not require either public notice or public hearings. Public comments will be limited to a maximum time of three minutes per person.

I. ORAL COMMUNICATIONS:

"Under State law, all items under Oral Communications can have no action and may be referred to staff for administrative action or scheduled on a subsequent agenda."

This is the opportunity for members of the public to address the Commission on any item of business within the jurisdiction of the Commission.

J. PLANNING COMMISSIONERS

K. ADJOURNMENT

CITY OF ESCONDIDO

**MINUTES OF THE REGULAR MEETING OF THE
ESCONDIDO PLANNING COMMISSION**

January 13, 2015

The meeting of the Escondido Planning Commission was called to order at 7:00 p.m. by Chairman Weber in the City Council Chambers, 201 North Broadway, Escondido, California.

Commissioners present: Jeffery Weber, Chairman; Bob McQuead, Vice-chairman; Ed Hale, Commissioner; Gregory Johns, Commissioner; James Spann, Commissioner; and Guy Winton, Commissioner.

Commissioners absent: One position vacant.

Staff present: Bill Martin, Deputy Planning Director; Owen Tunnell, Principal Engineer; Rozanne Cherry, Principal Planner; Loretta McKinney, Director of the Library and Community Services; Jay Paul, Associate Planner; Gary McCarthy, Deputy City Attorney; and Ty Paulson, Minutes Clerk.

MINUTES:

Moved by Commissioner Winton, seconded by Chairman Weber, to approve the minutes of the December 9, 2014, meeting with amendments from Commissioner Johns. Motion carried unanimously. (6-0)

WRITTEN COMMUNICATIONS – None.

FUTURE NEIGHBORHOOD MEETINGS – None.

ORAL COMMUNICATIONS – None.

PUBLIC HEARINGS:

**1. GRAPE DAY PARK MASTER PLAN AND PLAYGROUND DESIGN –
PHG 13-0029:**

REQUEST: Provide comments regarding the proposed Master Plan for future improvements of Grape Day Park. The Master Plan includes adding a playground, splash pads, pedestrian paths, plazas, picnic shelters, an exercise course, half-court basketball, a stage and a new restroom building. Also

proposed are a Class I bike lane connecting to the Escondido Creek Bike Trail, traffic calming landscaped street medians, and an option to relocate the aquatic facility to an area in the parking lot off of Woodward Avenue with a stronger connection to the park. Grape Day Park with the historic structures along Heritage Walk is a significant historic resource and is designated as a Local Landmark.

LOCATION: Approximately 23 acres encompassing Grape Day Park and the adjacent parking lot located west of N. Broadway and east of N. Escondido Blvd., between W. Valley Parkway and Woodward Avenue. (APN: 229-352-12; 229-372-20 and 229-381-15).

Rozanne Cherry, Principal Planner, noted that the subject item was a draft master plan for future improvements to Grape Day Park. Staff requested comments on the draft plan master plan and land use aspects, which would be forwarded on to City Council.

Loretta McKinney, Director of the Library and Community Services, provided the background history for this item and noted that in response to the City Council Action Plan for Neighborhood Improvements, \$100,000 had been allocated for the Grape Day Park Master Plan and \$120,000 for new play equipment in Grape Day Park. She noted that RHA Landscape Architects-Planners, Incorporated were selected to prepare the master plan and design and manage the construction of the Grape Day Park playground equipment. She indicated that to date a committee comprised of various City departments and other Grape Day Park related organizations had been formed to assist with the project, three community meetings had been held, and social media venues had been developed to receive input. Additionally, staff and the consultant had received input from the Appearance Committee, Historic Preservation Commission, and Community Service Commission. She noted that the City Council would be hearing this item on February 4, 2015. She then introduced Doug Grove from RHA Landscape Architects to the Commission.

Doug Grove, RHA Landscape Architects, provided an overview of the Grape Day Park Master Plan and requested input.

Vice-chairman McQuead requested input regarding the plan for the existing Pepper Trees along Broadway. Mr. Grove noted that the plan was to replace the existing Pepper Trees with a different tree of similar scale due to the existing trees having potential maintenance and rot issues, and the need to create better visibility for the public and police, and have a cleaner appearance along the street

Vice-chairman McQuead expressed his enthusiasm with the acknowledgement of Lime Street Elementary School in the plan. He also noted that the length of the James Stone Pool originally was specifically designed to be less than the standard competition length. He questioned what the concept was for the City's storage area on the west side of City Hall with regard to creating a better connection between the Maple Street Plaza and Grape Day Park. Mr. Grove noted that not too much detail was spent on this due to the hotel concept still being on the table.

Vice-chairman McQuead questioned whether any discussions had occurred regarding creating a connection along Broadway from the Grand Avenue commercial core to the park. Mr. Grove replied in the negative. Vice-chairman McQuead felt a priority of the plan should be to create connections from Grand Avenue to the park along Broadway and Maple Street to enhance the ties between the Park/Civic Center and the commercial activity downtown. He also noted that he liked the conceptual design.

Commissioner Winton and Mr. Grove discussed the operations of the splash pads.

Commissioner Winton asked Mr. Grove if he was aware of how long the large Eucalyptus tree would last. Mr. Grove replied in the negative and noted that an arborist would have a better idea about this. He also noted that this was one of the biggest points of discussions during the community meetings.

Commissioner Winton suggested that a section of the flat simulated train rails and ties proposed along the edge of the walkway be three-dimensional railroad tracks, if this would not create a hazard. He asked if the plan impacted the Bandy Blacksmith shop. Mr. Grove replied in the negative and further noted that the access to the shop would be enhanced. Commissioner Winton suggested enhancing the Blacksmith shop further. He and Mr. Grove discussed the surface materials for the splash pads. Commissioner Winton expressed his concern with the dangers associated with the surface of splash pads creating slipping hazards. He also agreed with Vice-chairman McQuead that it was important to create stronger ties from the downtown core to the park.

Commissioner Spann suggested reducing the number of splash pads, feeling it would be detrimental to the patrons of the park and be a constant maintenance issue. He suggested creating more access points from the downtown core to the park, and bringing the trees on Broadway and the median all the way to Grand Avenue. He also noted that he was opposed to creating a community garden in the park.

Commissioner Johns referenced the community outreach section of the report and asked how many individuals participated in the community outreach. Ms.

McKinney and Mr. Grove noted that three workshops were held with a combined total of approximately 80 to 85 community members. Additionally, approximately 10 individuals had provide input on Facebook. Commissioner Johns felt this was a low number for input. Ms. McKinney and Mr. Grove noted that this was typical for this type of project.

Commissioner Johns and Ms. McKinney discussed the genesis for the master plan.

Commissioner Hale suggested using the Maple Street Plaza as the primer for access to the park. He also suggested creating more connections from the downtown core to the park and prioritizing these in early improvement projects. He questioned whether bicycle racks were include in the plan. Mr. Grove replied in the affirmative and noted that they were included in the detailed plans.

Commissioner Hale stated he was impressed with the plan.

Chairman Weber felt the linkage between the Maple Street Plaza and the park needed to be prioritized. He suggested utilizing connections along North Escondido Boulevard and Broadway for bringing people to the park. He suggested redeveloping the Parkview District, feeling it was the best option for creating high density residential in the downtown. He recommended softening the curves in the walkways, noting the tendency of people was to walk in straighter lines. He recommended looking at materials that would soften the hardscape due to the hot temperatures in the summer months, especially in front of the train depot. He expressed concern with having too many splash pads. He also was in favor of rehabilitating the existing pool area and making it competition length.

Commissioner Winton questioned whether there was a nighttime aspect that tied the park into Grand Avenue. Mr. Grove noted that the intent was to provide lighting and security cameras in the park. Commissioner Winton suggested that the lighting not be too intense for the park, that it have more of a pedestrian scale, and include elements identified in the Maple Street Plaza Pedestrian Corridor Plan. Mr. Grove noted that this was the intent.

Commissioner Winton questioned whether naming rights were a part of the proposal. Mr. Grove noted that this was an option that would help offset costs. Commissioner Winton expressed his concern with opening the park to any potential business names that might be inappropriate for the park. Ms. McKinney noted that the City had naming policies in place that would protect against inappropriate names.

Chairman Weber and Mr. Grove discussed the proposed drainage plan for the project.

2. MODIFICATION TO A CONDITIONAL USE PERMIT – PHG 14-0028:

REQUEST: A Modification to a Conditional Use Permit for an approximately 468 SF expansion to an existing auto repair building located on a commercial site within the South Escondido Boulevard Neighborhood Plan. The subject site currently is occupied with a used car dealership, auto repair shop and an automobile smog shop. The proposal also includes adoption of the environmental determination for the project.

LOCATION: An approximately 0.32-acre parcel generally located on the northwestern corner of South Escondido Boulevard and Sixth Avenue, addressed as 557 S. Escondido Boulevard (APN 233-231-09).

Jay Paul, Associate Planner, referenced the staff report and noted staff felt the small addition to the existing auto repair building is appropriate because the approved building is not large enough in depth to efficiently work on and store vehicles. The site currently is designed and used for automotive service and repair, and the proposed modification to the auto repair building would not significantly alter the current use or character of the site. Sufficient on-site parking is available to support each use.

Vice-chairman McQuead questioned whether patrons getting their vehicles smog checked had to back onto Escondido Boulevard. Mr. Paul replied in the affirmative and noted that this was a pre-existing condition. He also stated that the only way to address this was to modify the building.

Vice-chairman McQuead stated that he was uncomfortable with allowing vehicles to back out on to the street.

Chairman Weber asked if the site had access from the alleyway. Mr. Paul replied in the affirmative but noted that it was locked at the current time.

Chairman Weber asked if the interior height of the subject building would allow for a car lift. Mr. Paul suggested the applicant respond to this.

Chairman Weber asked if the measurements on the drawings had been confirmed, noting when he was at the site they appeared less than indicated on the plan, which would make it difficult to move vehicles around the site. Mr. Paul replied in the negative.

Commissioner Winton asked if the applicant was a new owner since the 2005 CUP approval. Mr. Paul replied in the affirmative.

Commissioner Hale asked if anything could be included in the CUP to prohibit the use of parking vehicles in the public right of way. Mr. Martin noted that it would be difficult to restrict parking on a public street, noting that from staff's perspective, staff wanted to ensure there was adequate parking for all three businesses on site.

Hassam Salama, Escondido, noted that he had operated the smog business at the subject site since 2005. He stated that according to his original contract no other automotive businesses could operate on the subject property without his permission. He felt the property was too small for three businesses, noting that the site did not have adequate parking or handicap parking. He also stated that he had received complaints from neighbors about noise, odors, and parking for the former mechanic shop, noting he has never received a complaint about his operations. Mr. Salama noted that the distance between his building and the subject building was smaller than outlined on the drawing. He noted that some of the ceiling supports had been removed from the subject building in order to lift vehicles. He also noted that the foundation for the subject building had been extended without proper authority.

Vice-chairman McQuead asked Mr. Salama which company he owned. Mr. Salama stated he owned the Smog Check Station.

Vice-chairman McQuead asked Mr. Salama if there was any way to drive through his building so as not to back out onto Escondido Boulevard. Mr. Salama replied in the negative, noting this would take a modification to the actual property. He also noted that they had not had any issues with backing out onto the road in the years he had been operating there.

Commissioner Winton asked Mr. Salama how long his lease was. Mr. Salama replied 20 years.

Commissioner Johns asked if the existing structure was a code violation. Mr. Paul replied in the affirmative. Commissioner Johns asked if the existing structure would need to be torn down if the new addition was not constructed. Mr. Paul replied that the unpermitted addition to the structure would have to be removed regardless.

Vice-chairman McQuead felt structurally the subject plan would not work for the proposed auto repair use. He stated that he would be voting in opposition of staff's recommendation due to the property having code violations as well as the subject structure needing extensive work. He then referenced Page 11, Item 3, feeling this finding could not be met as well as feeling the use would have negative impacts on the neighborhood.

Commissioner Spann felt the subject use was too intense for the property and was inappropriate for the subject site.

Commissioner Winton expressed his concern that the proposed improvements as part of the original 2005 CUP were never performed. He expressed his concern with the building being in disrepair and the property needing to be brought into conformance with the Zoning Code. He also felt the proposed use would be too intense for the site.

Commissioner Hale felt the finding of facts could not be made for the subject use, noting his concern for negative impacts on the neighborhood.

ACTION:

Moved by Vice-chairman McQuead, seconded by Commissioner Winton, to deny Conditional Use Permit PHG 14-0028. Motion carried unanimously. (6-0)

3. CONDITIONAL USE PERMIT – PHG 14-0024:

REQUEST: A Conditional Use Permit (CUP) to allow Verizon Wireless to install a 10-kilowatt diesel backup generator in conjunction with a new wireless communications facility at a site occupied by Escondido Lumber Company. The facility will consist of a 50-foot faux palm tree installed in an area adjacent to the lumberyard's parking lot, and next to an existing live palm. Twelve panel antennas and one microwave dish antenna will be mounted on the faux tree. The facility will also include a masonry shelter to house the generator and other equipment. Generator use will occur only during power outages and maintenance/testing. The proposal also includes the adoption of the environmental determination prepared for the project.

LOCATION: The subject property is 2.75 acres and is located at 310 South Quince Street (APN 233-121-02)

Bill Martin, Deputy Planning Director, referenced the staff report and noted staff issues were whether the design and location of the proposed facility was appropriate for the site and consistent with the Wireless Facility Guidelines, whether the proposal is consistent with the Zoning Code standards for standby generators, and whether the proposal is consistent with Federal Communications Commission (FCC) limits for radiofrequency emissions. Staff recommended approval based on the following: 1) The proposed 10 kW emergency generator would not create any adverse visual, noise, or air quality impacts because it would be located within a new masonry block equipment enclosure that would

provide appropriate sound attenuation and screening. The generator is intended for emergency use and is expected to be used only during power outages and for intermittent maintenance and testing. Per San Diego Air Pollution Control District regulations and Section 33-1122 of the City of Escondido Zoning Code, non-emergency generator use is limited to 52 hours per year to minimize impacts to air quality. Section 33-1122 further limits generator maintenance and testing to the hours of 7:00 a.m. to 5:00 p.m. to minimize noise impacts to surrounding properties. The applicant has indicated that maintenance and testing activities would conform to these restrictions; 2) The proposed project would be consistent with the various design and location guidelines contained within the Communication Antennas Ordinance and Wireless Service Facilities Guidelines in the Zoning Code. The Ordinance encourages the use of commercial, industrial, and public right-of-way sites for wireless facilities. The project site is part of the Mercado District in the Downtown Specific Plan Area, and is currently used for commercial purposes (a lumberyard). While a few properties in the general vicinity are occupied by legal non-conforming residential uses (at the northeast corner of 3rd Avenue and Quince Street, and on 5th Avenue between Quince Street and Pine Street), most properties in the area are occupied by commercial or industrial uses. The Ordinance also encourages stealth technology that would be in context with the surrounding environment. The proposed antennas and microwave dish would be mounted on a pole designed to resemble a palm tree, and this faux palm would be located adjacent to an existing live palm. The backup generator and other equipment would be housed in a masonry enclosure designed to provide appropriate screening and noise attenuation. Planning staff conducted design review for the project on September 4, 2014, and all recommendations made during that review have been incorporated into the project design; and 3) Staff felt the proposed facility would not result in potential health hazards to people in the area because the Radio Frequency (RF) study prepared for the project indicates the facility would be within maximum permissible exposure (MPE) limits for radio frequency emissions, as defined by the Federal Communications Commission (FCC).

Chairman Weber and Mr. Martin discussed the proposed coverage area for the subject equipment.

Chris Harrison, M&M Telecom, Carlsbad, representing Verizon, noted that they had submitted coverage maps with the application. He then provided a map outlining the proposed coverage area.

ACTION:

Moved by Chairman Weber, seconded by Commissioner Spann, to approve staff's recommendation. Motion carried unanimously. (6-0)

ORAL COMMUNICATIONS: None.

PLANNING COMMISSIONERS:

Commissioner Spann asked staff if they were aware of the unscreened cellular tower in Kit Carson Park. Mr. Paul stated that this was a temporary lease agreement with Verizon to ensure adequate holiday season coverage at Westfield North County and that the temporary facility would be removed when the recently approved facility at the Lomas del Lago Shopping Center was constructed.

ADJOURNMENT:

Chairman Weber adjourned the meeting at 8:49 p.m. The next meeting was scheduled for January 27, 2015, at 7:00 p.m. in the City Council Chambers, 201 North Broadway, Escondido, California.

Bill Martin, Secretary to the Escondido
Planning Commission

Ty Paulson, Minutes Clerk

SCO D



ZONING:	Existing County:	RR (Rural Residential – 15,000 SF minimum lot size) for area west of Miller Avenue, and A-70 (Limited Agriculture) for area east of Miller Avenue.
	Proposed City Pre-Zone:	PD-R 1.75 (Planned Development – Residential, 1.75 dwelling units per acre) for proposed development area west of Miller Avenue; and RE-20 (Residential Estates, 20,000 SF minimum lot size) for remainder of annexation area east of Miller Avenue.

BACKGROUND/SUMMARY OF ISSUES: The 41.4-acre project site is located within the unincorporated area of the County, immediately south of the City of Escondido within the City's adopted Sphere of Influence. The project site and the 2.34-acre Chalice Unitarian Universalist Congregation property would be annexed to the City as part of the project. The main portion of the project site consists of an irregularly shaped property generally bounded on the north by Hamilton Lane, the west and south by Felicita Road, and the east by Miller Avenue. A small "panhandle" to the property is located adjacent to the northeast corner of the main project site. The panhandle includes vacant land along either side of Hamilton Lane east of Miller Avenue and west of I-15.

The proposed development site is a portion of a larger 63-acre site that was once proposed for annexation and development by Standard Pacific (Tract 812) starting back in 1999. A Planning Commission hearing was scheduled for that proposal in August of 2000, but the project was withdrawn at the applicant's request prior to the hearing and there were no public hearings associated with the Standard Pacific proposal. A portion of the former Standard Pacific site on the eastern side of Miller Avenue was later subdivided into residential lots under the County's jurisdiction, while the proposed development site on the western side of Miller Avenue remained as farmland or undeveloped.

New Urban West, Inc. is in the process of acquiring the project site and first approached the City approximately two years ago to discuss the possibility of annexing the site for the purpose of developing a planned residential community. In April of 2013, the City Council initiated the annexation proposal for further study; and a formal application for the annexation and development proposal was filed by New Urban West the following month. Prior to submitting the application, New Urban West began their own public outreach program in the neighborhood, and contracted with consultants to prepare the various environmental technical studies necessary to analyze the proposal. Planning staff coordinated with LAFCO early in the process to determine whether there were additional property owners in the area that were interested in annexing into the City. The Chalice Unitarian Universalist Congregation (2324 Miller Avenue) was the only other property owner interested in annexing as part of the applicant's proposal.

On April 22, 2014, staff issued a Notice of Preparation for the Oak Creek Environmental Impact Report (EIR). A total of 136 letters and emails were received by staff from agencies, organizations and individuals interested in the proposed development and the scope of the environmental analysis. A Draft EIR was issued for a 45-day public review period on August 15, 2014. The large volume of comments received during the Draft EIR public review period resulted in over 350 pages of responses to those comments being incorporated into the Final EIR for the proposal. Three public meetings have been held to discuss the Oak Creek project with area residents including a neighborhood meeting held on January 23, 2014, the EIR Notice of Preparation scoping meeting on May 19, 2014, and a public meeting held in the City Council Chambers on September 22, 2014 during the public review period for the Draft EIR. Separate notices were mailed or emailed prior to the meetings and all three meetings were well attended by area residents.

The Oak Creek Project EIR evaluated a development proposal that includes the construction of 65 single-family detached residences on the approximately 41.4-acre project site. Six of the proposed residential lots were located in the "panhandle" portion of site on the eastern side of Miller Avenue resulting in an overall residential density of 1.61 du/ac. As required by CEQA, the EIR includes several "Project Alternatives" (Chapter 7) that would feasibly attain most of the project objectives but would avoid or lessen any significant environmental impacts. The proposed Tentative Map reflects the applicant's decision to develop one of the alternatives evaluated in the project EIR. The proposed residential development project is identified as the "Reduced Residential Footprint Alternative" in the Oak Creek Project Final Environmental Impact Report (Pg. 7-27). This alternative would develop the project, as proposed, except it would eliminate the six units located east of Miller Avenue along Hamilton Lane and develop all 65 units in the area bounded by Hamilton Lane, Felicita Road, and Miller Avenue resulting in an overall residential density of 1.75 du/ac. Although no residences are proposed on the two remainder lots located east of Miller Avenue, these lots would be included in the

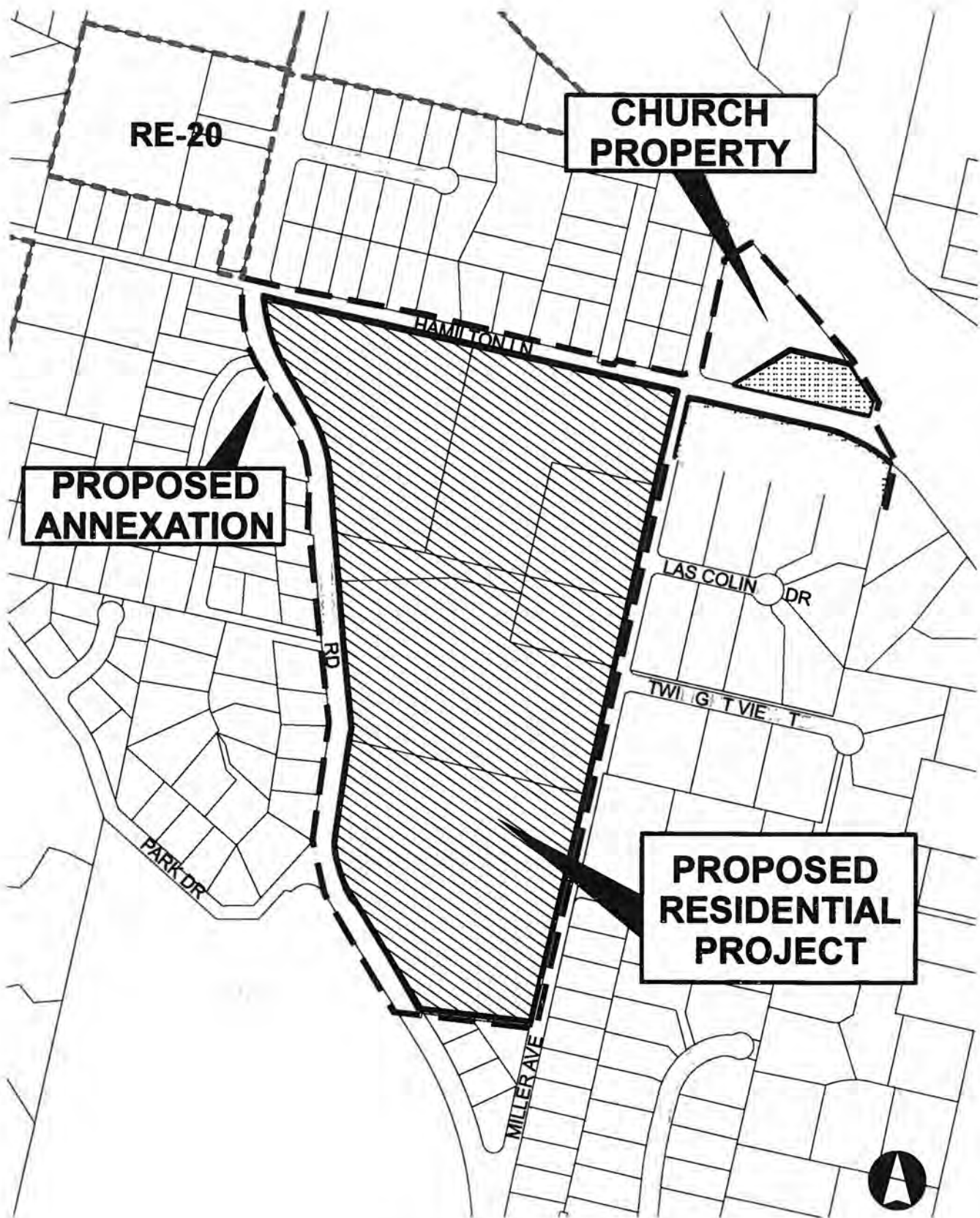
annexation to the City of Escondido and would be rezoned Residential Estate - 20 (RE-20). The proposed Tentative Map and planned development has been designed to reflect the applicant's selection of the "Reduced Residential Footprint Alternative" identified in the Final EIR.

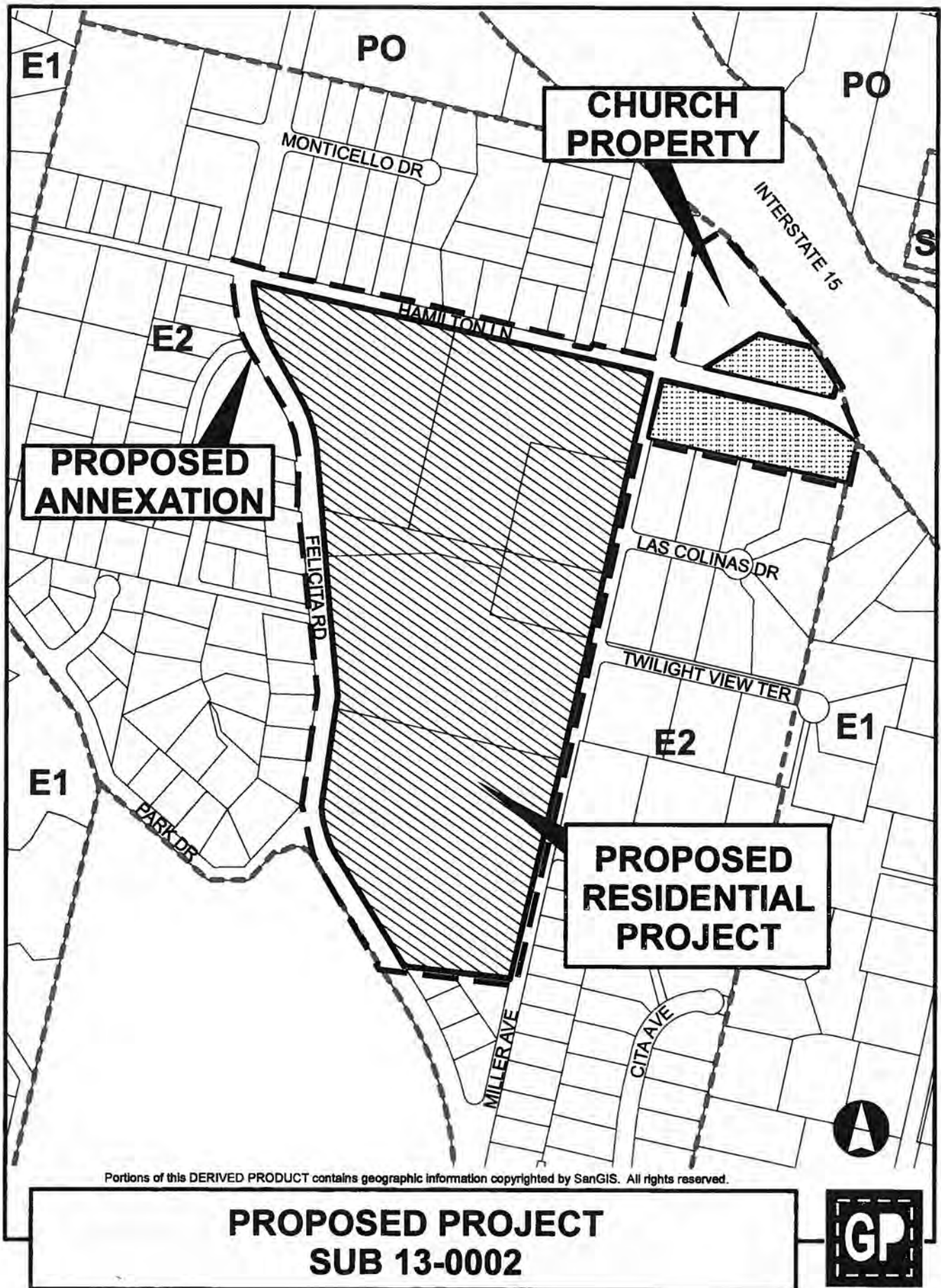
Staff feels that the issues are as follow:

1. Appropriateness of proposed annexation and prezones.
2. Appropriateness of the proposed residential clustering design for the planned development and the single point of residential access into the development.
3. Whether the introduction of additional impervious surfaces in the area would increase the potential for downstream flooding on Felicita Creek.
4. Whether future residents in the proposed development would be exposed to groundwater or soil vapor contamination associated with the nearby Chatham Brothers Barrel Yard site.
5. Whether the proposed tree restoration program adequately compensates for the removal of mature trees on the site.
6. Appropriateness of the proposed Grading Exemptions.

REASONS FOR STAFF RECOMMENDATION:

1. The applicant first approached the City approximately two years ago with a planned development proposal that was consistent with both the County and City General Plan designations for the site. Annexation is required because the development proposal requires sewer service and the City does not extend sewer service outside of its boundary. The Escondido General Plan designation for the proposed annexation area is Estate II, which allows up to two dwelling units per acre. The project area on the western side of Miller Avenue where a clustered, planned residential development is proposed would be rezoned PD-R 1.75 (Planned Development – Residential 1.75 dwelling units per acre) to reflect the density of the proposed development. The remainder of the annexation area on the eastern side of Miller Avenue consisting of two vacant parcels of land and the Chalice Unitarian Universalist Congregation property would be rezoned RE-20 (Residential Estates – 20,000 SF minimum lot size), which is a standard residential zone consistent with the Estate II designation for both minimum lot size and density. The zoning established by the prezones would become effective upon approval and recordation of the proposed annexation. Staff feels both of the proposed prezones are appropriate and consistent with the Estate II designation of the General Plan.
2. The clustering design for the proposed development would not increase the overall density of the site, but would allow for reduced lot sizes, larger open space lots, and preservation of the on-site drainage courses and biological resources. While some area residents have expressed opposition to the proposal for a single private street access extending into the project site from Felicita Road, the applicant's proposal meets public safety needs by providing emergency access to Hamilton Lane at the end of two on-site cul-de-sacs. In addition, the Traffic Impact Analysis prepared for the development indicates the proposed development with a single point of primary access would not result in a significant impact to Felicita Road or any other roadway segments or intersections.
3. Detailed calculations have been identified throughout the Drainage Study and Water Quality Technical Report prepared for the project resulting in the implementation of five on-site detention basins and the selection of a maximum 50% impervious factor for the proposed residential pad areas to maintain the peak flow rates at or below existing conditions. Mitigation Measure Hydro-2 and conditions of approval have been crafted to manage the impervious factor. By using on-site detention to reduce peak flow rates discharging from the project to equal or less than pre-project conditions, and by maintaining existing drainage patterns through the site, the project would not result in adverse impacts to downstream drainage facilities and/or properties.

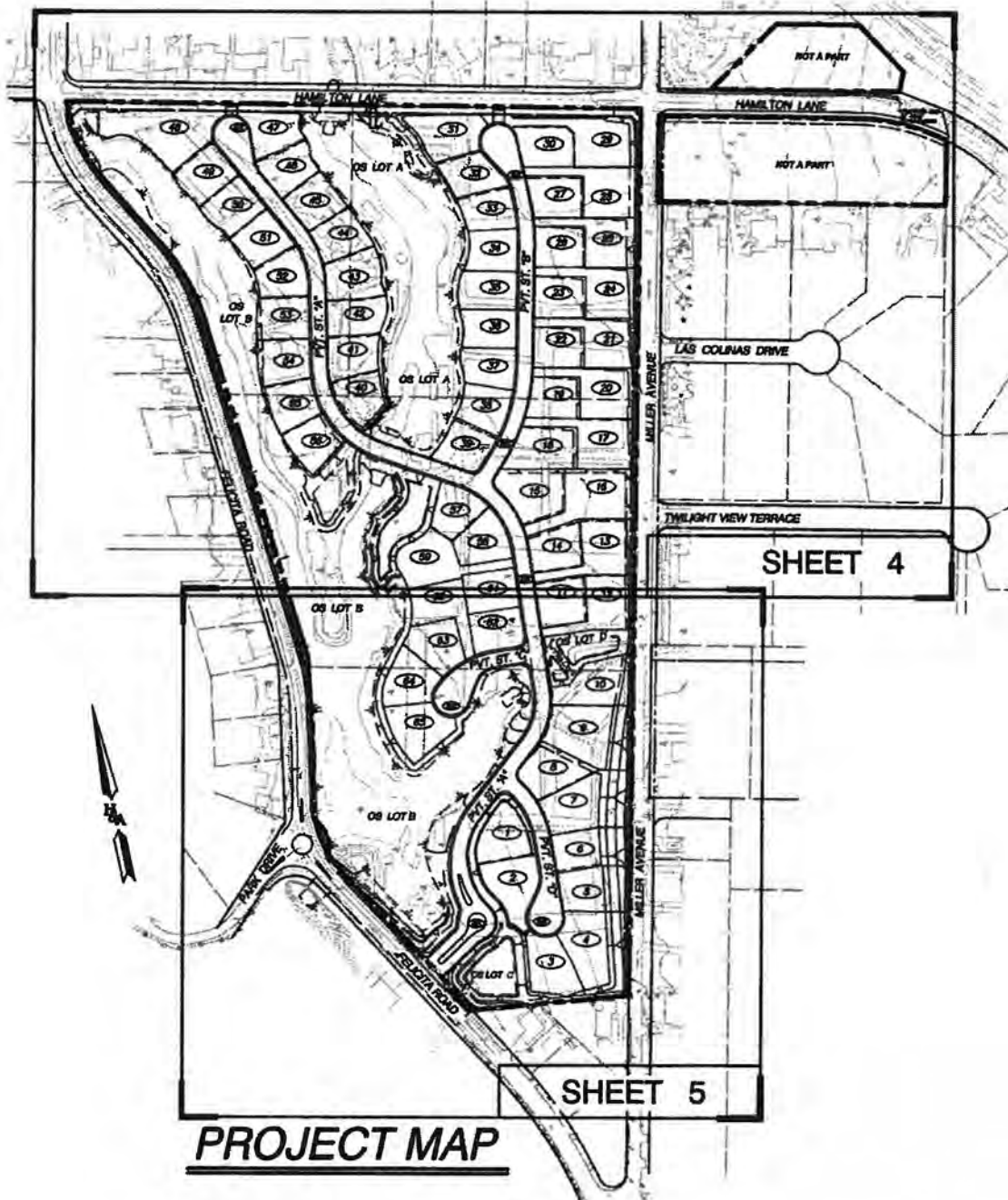




TENTATIVE MAP / GRADING EXEMPTION
(SUB 13-0002)

OAK CREEK

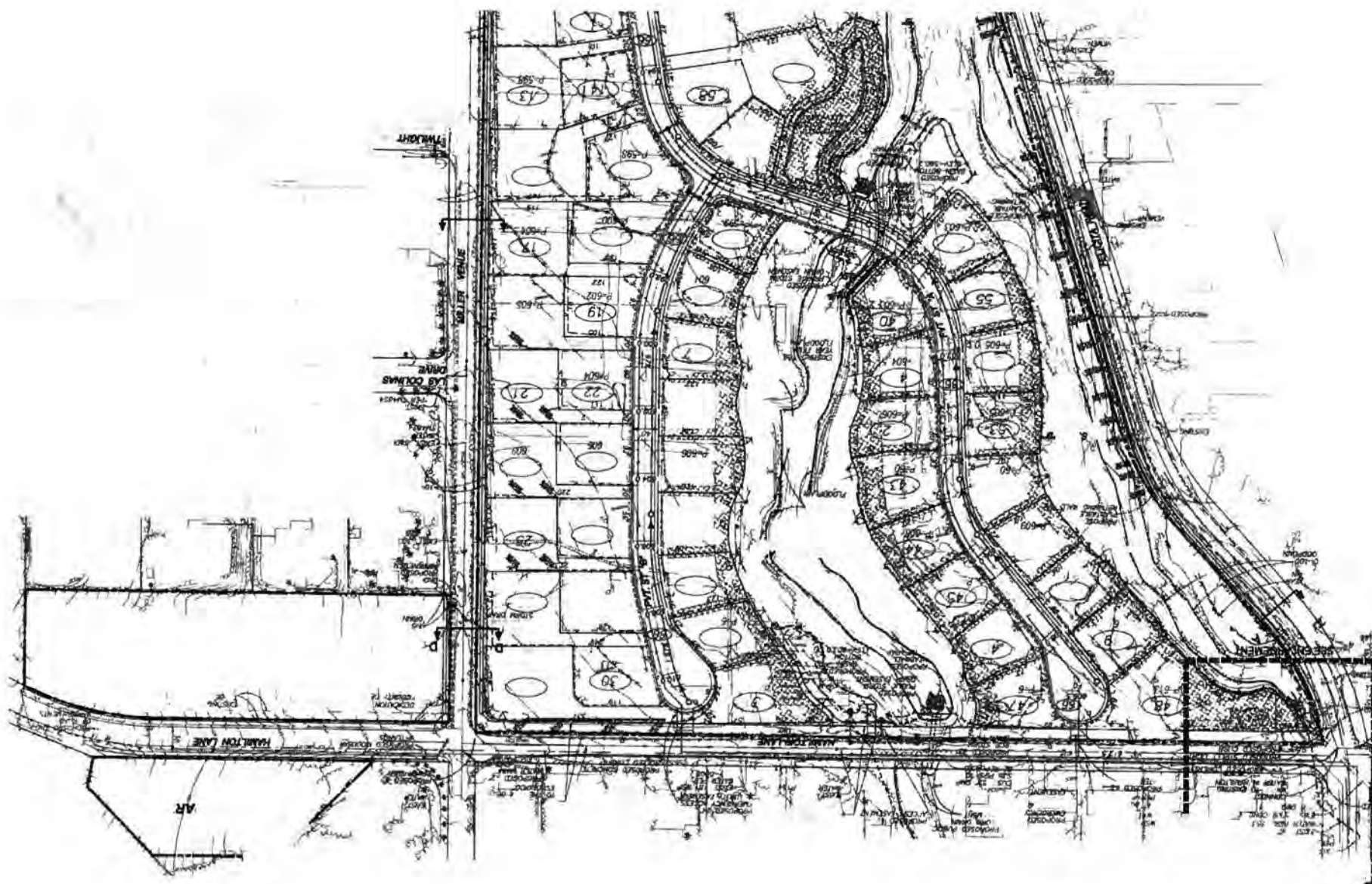
City of Escondido, California

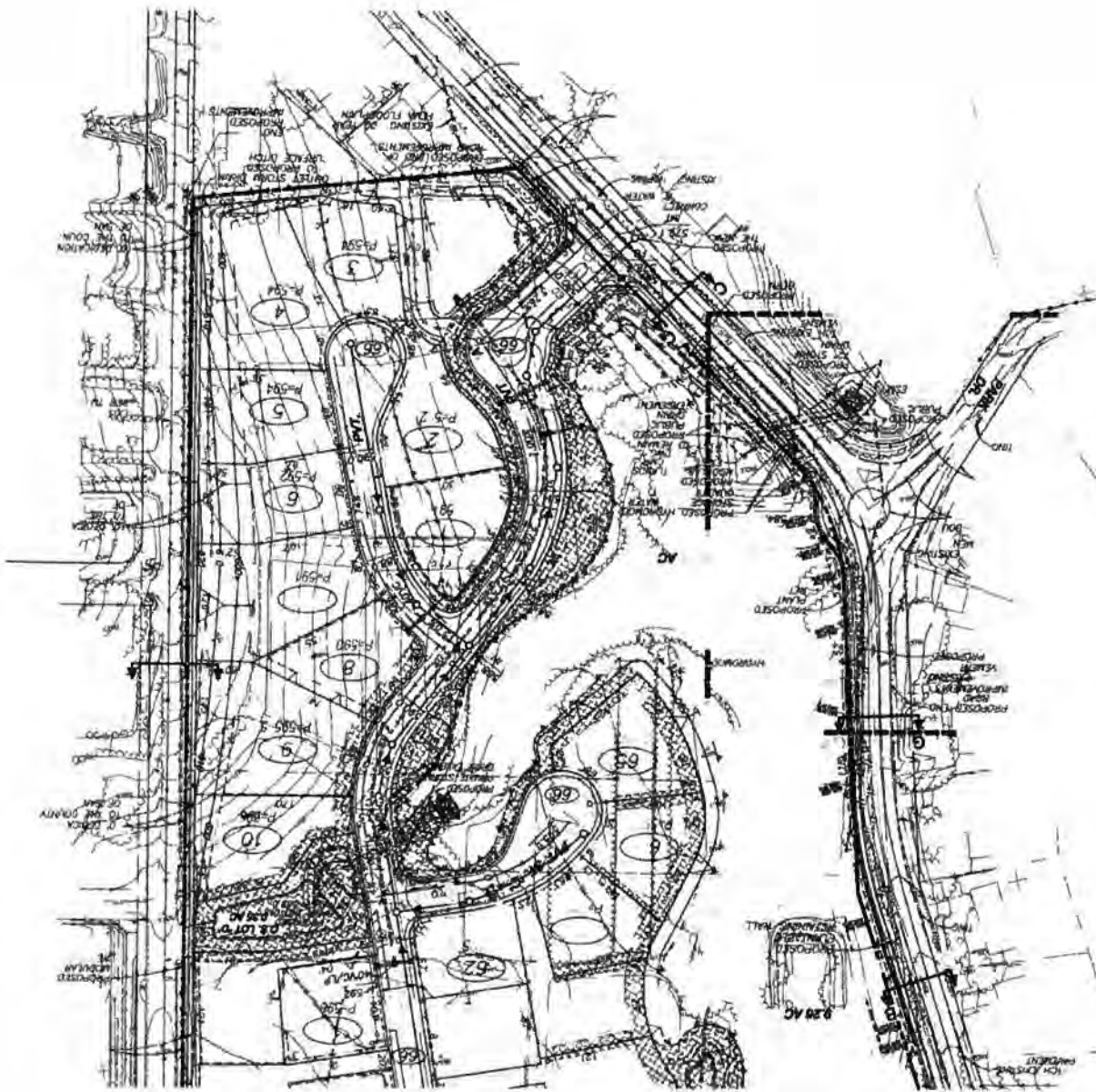


PROPOSED PROJECT
PHG 13-0002



SITE PLAN







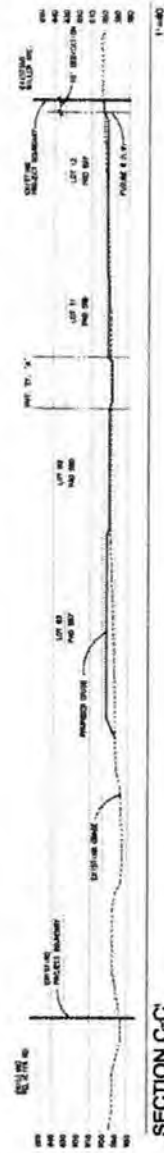
SECTION A-A'



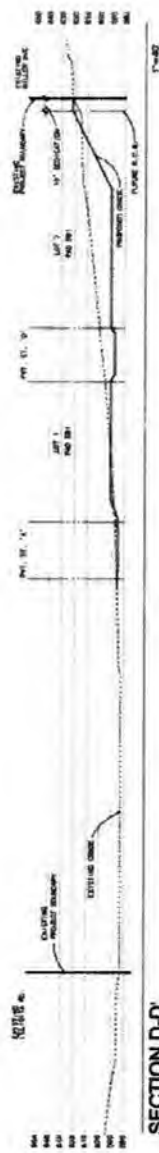
SECTION A-A' (CONT.)



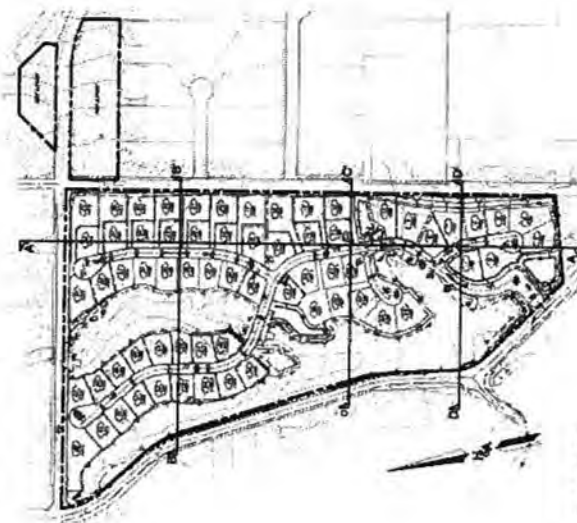
SECTION B-B'



SECTION C-C'



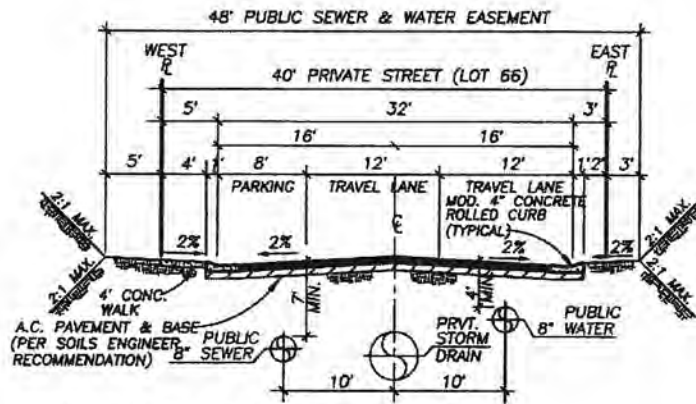
SECTION D-D'



PLAN VIEW

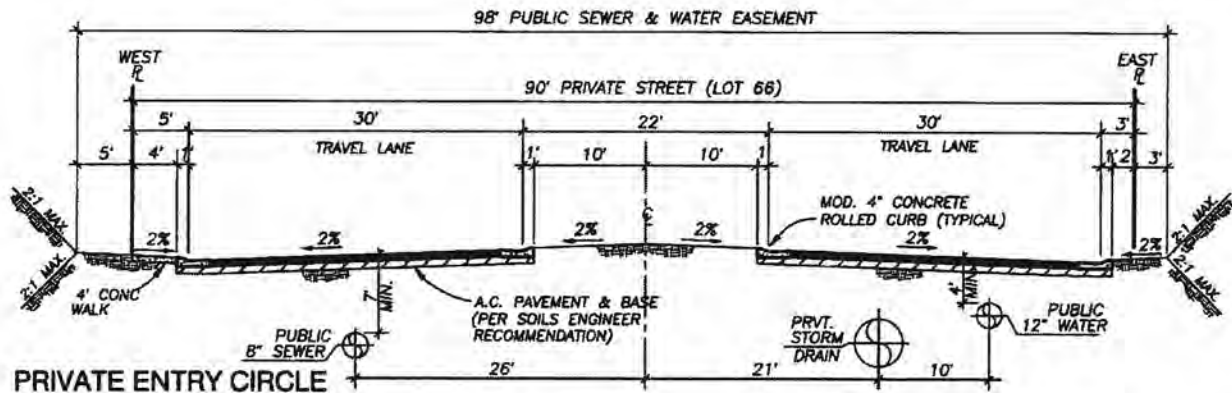


SECTION



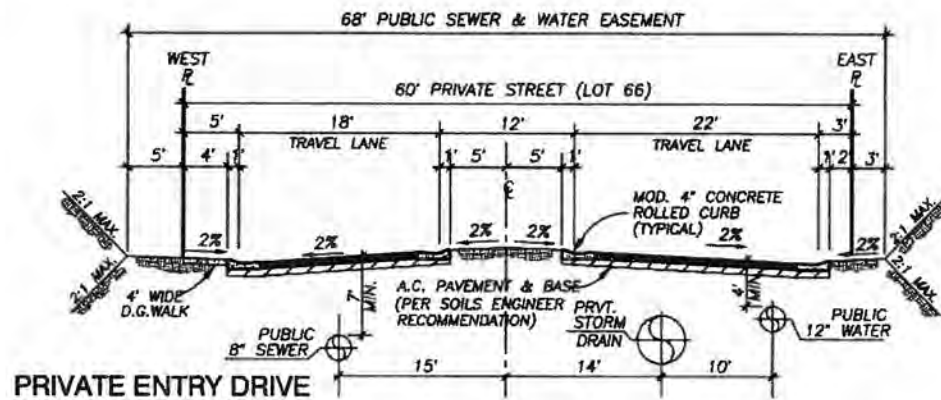
**TYPICAL PRIVATE STREET
STREETS 'A' THRU 'D'**

NTS



**PRIVATE ENTRY CIRCLE
PORTION OF STREET 'A'**

NTS

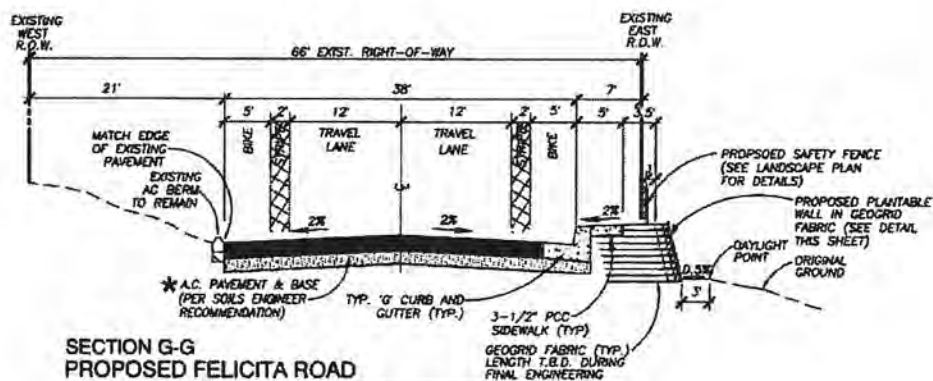
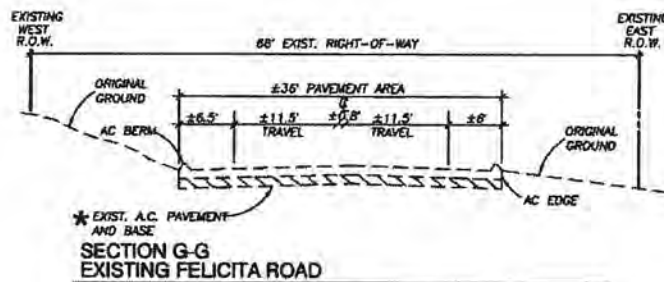
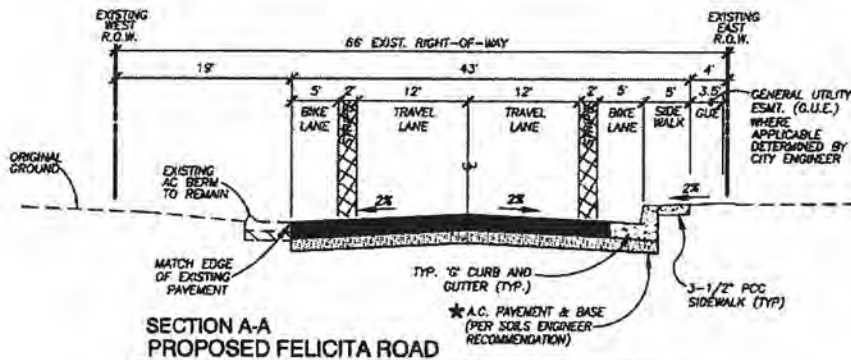
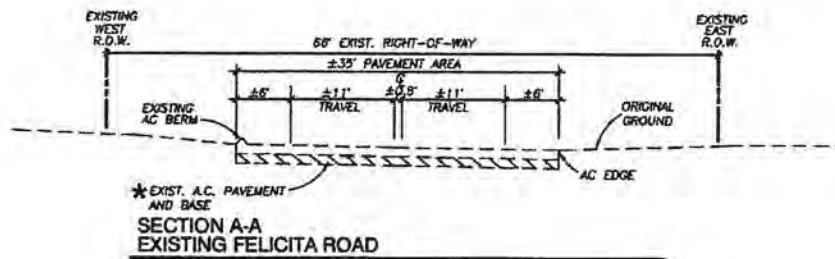


**PRIVATE ENTRY DRIVE
PORTION OF STREET 'A'**

NTS

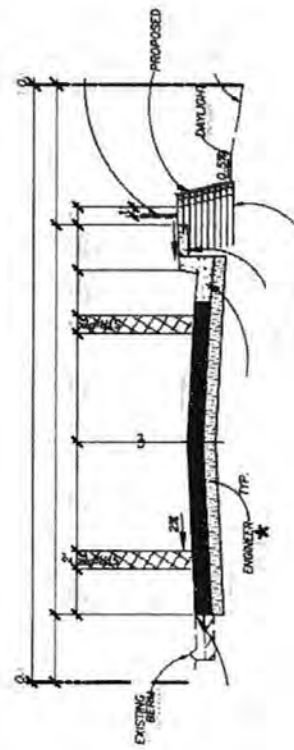
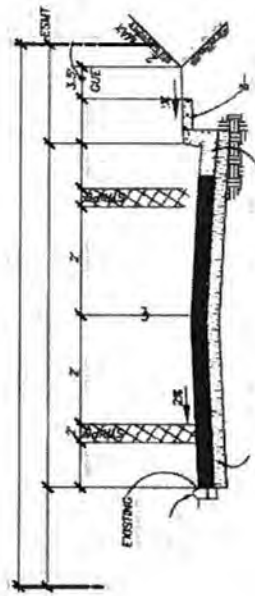
**PROPOSED PROJECT
PHG 13-0002**



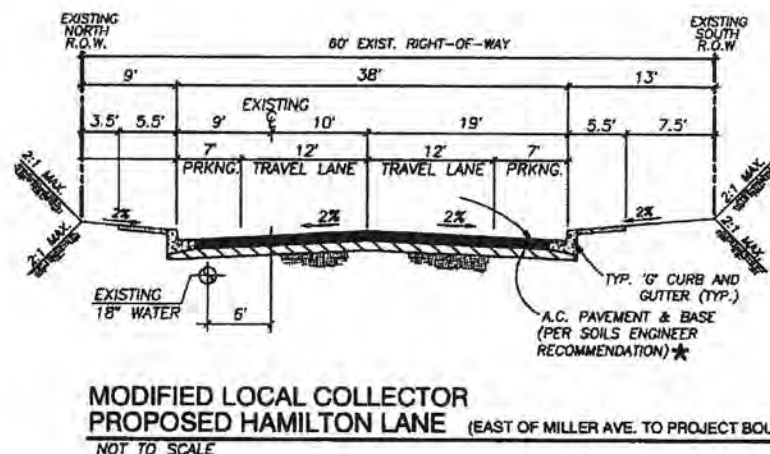
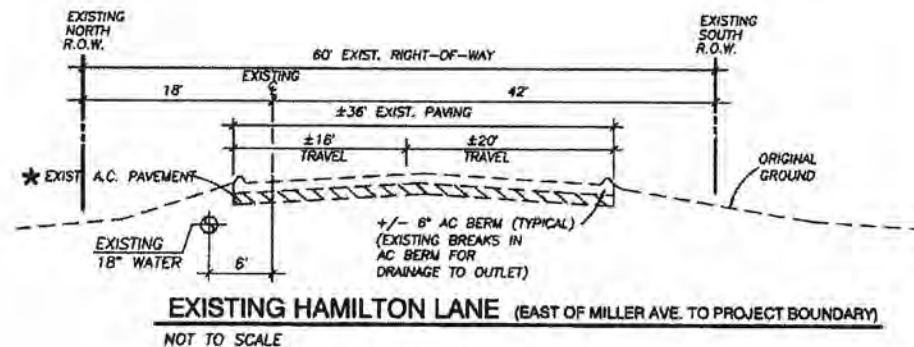
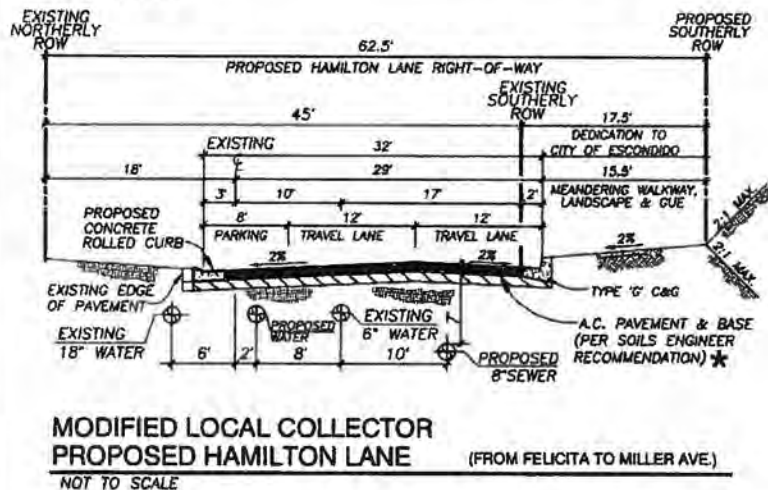
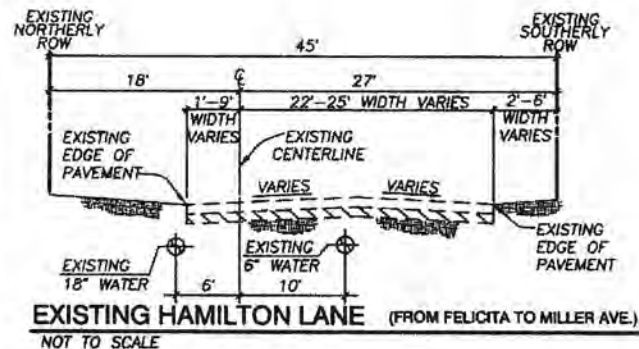


**PROPOSED PROJECT
PHG 13-0002**



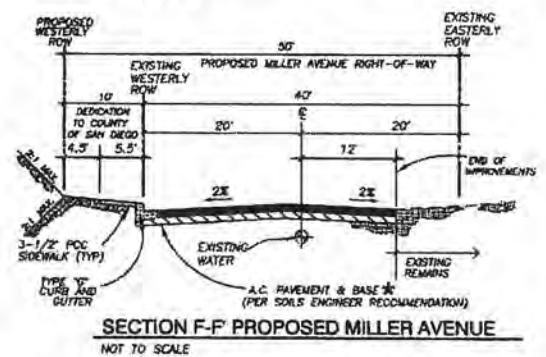
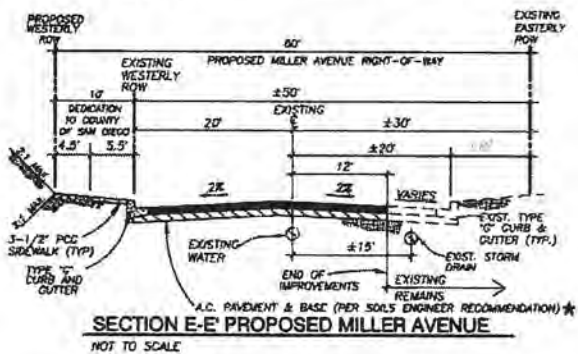
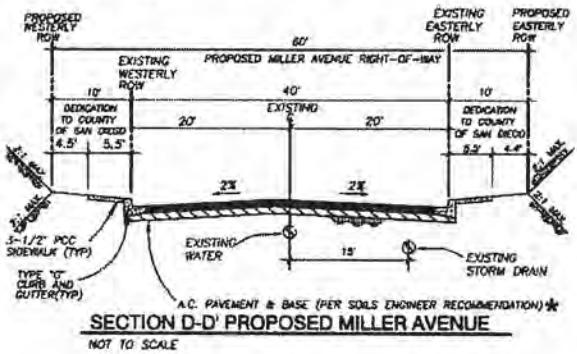
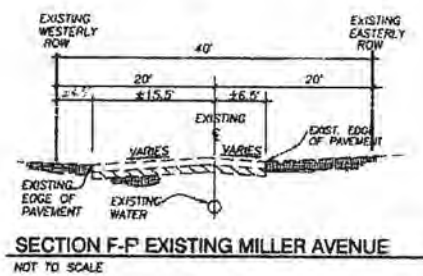
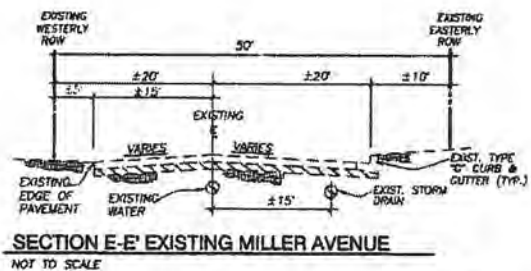
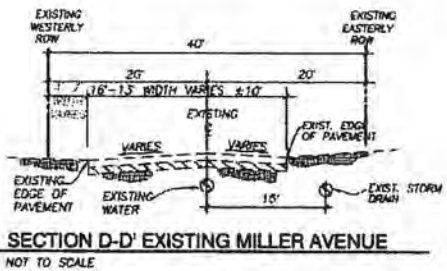


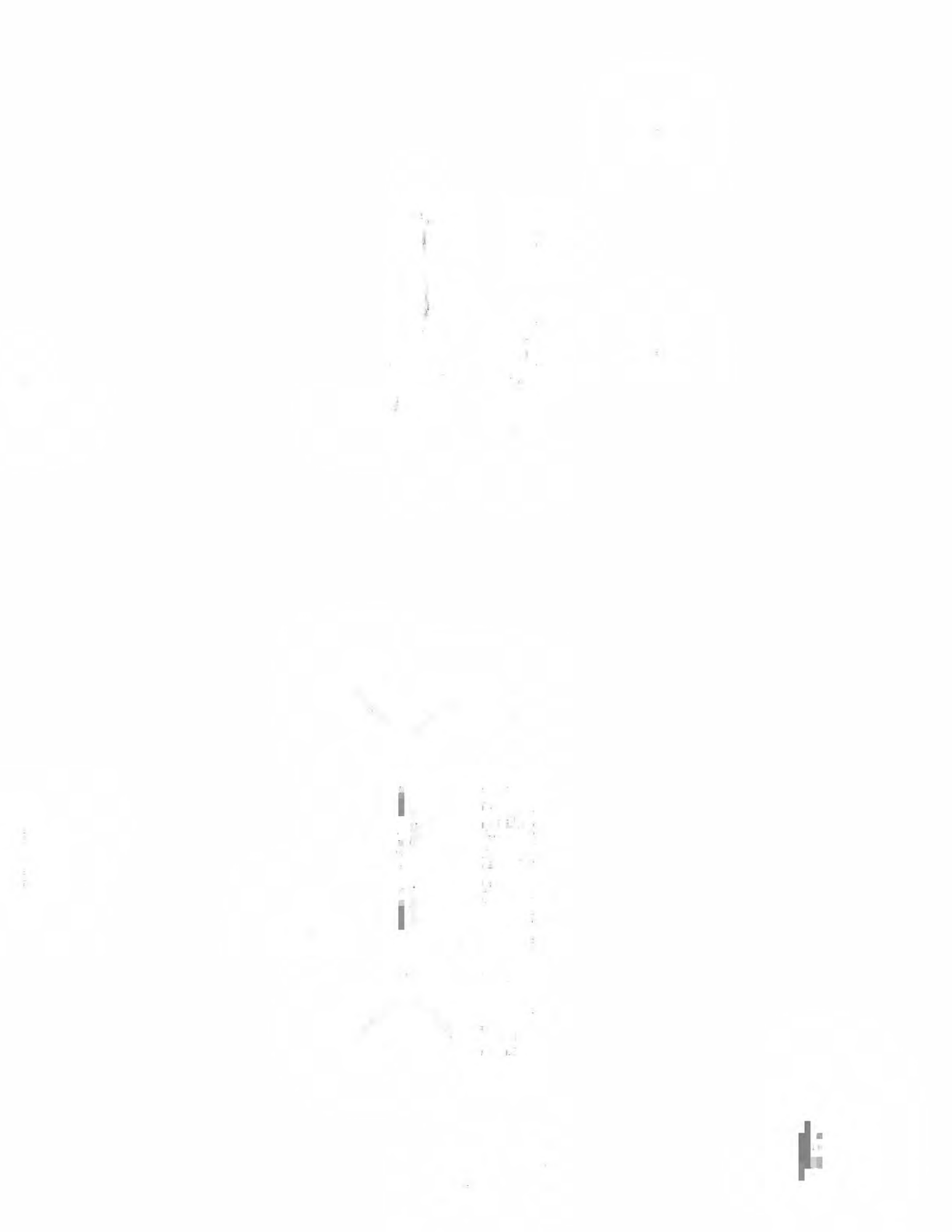
PROPOSED PROJECT
PHG 13-0002



* EXISTING PAVEMENT MAY BE SAVED AND OVERLAYED IN LIEU OF REPLACEMENT, SUBJECT TO APPROVAL OF CITY ENGINEER.

PROPOSED PROJECT PHG 13-0002





LEGEND

PD TYPICAL SETBACK

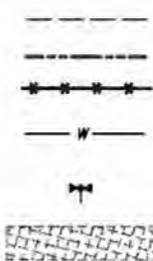
FUEL MANAGEMENT ZONE SETBACK

HEAT DEFLECTING LANDSCAPE WALL

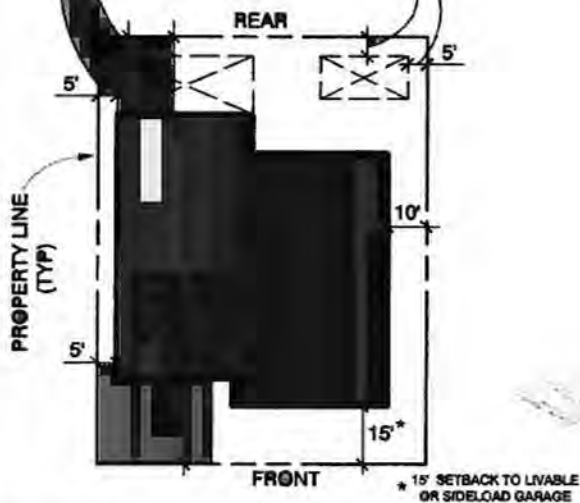
PROPOSED WATER MAIN
(8" PVC UNLESS OTHERWISE NOTED)

PROPOSED FIRE HYDRANT

PROPOSED FUEL MODIFICATION ZONE



5' Min. Setback from PL for Accessory & Patio Structures (If any portion of the structure is within Brush Management Zone, structure must be constructed of Non-Combustible Material).



NOTE: SIDEYARD SETBACKS OF 5' AND 10' RESPECTIVELY ARE INTERCHANGEABLE TO EITHER SIDE OF THE LOT SO LONG AS 15' TOTAL SEPARATION IS MAINTAINED BETWEEN STRUCTURES

TYPICAL SETBACKS - MINIMUM REQUIRED

NTS



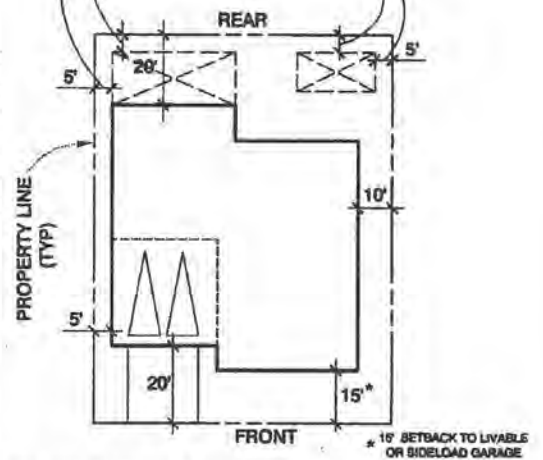
**PROPOSED PROJECT
SUB 13-0002**



FUEL MANAGEMENT ZONES



5' Min. Setback from PL for Accessory & Patio Structures (If any portion of the structure is within Brush Management Zone, structure must be constructed of Non-Combustible Material).



NOTE: SIDEYARD SETBACKS OF 5' AND 10' RESPECTIVELY ARE INTERCHANGEABLE TO EITHER SIDE OF THE LOT SO LONG AS 15' TOTAL SEPARATION IS MAINTAINED BETWEEN STRUCTURES

TYPICAL SETBACKS - MINIMUM REQUIRED

**PROPOSED PROJECT
SUB 13-0002**

MP

MASTER PLAN



LANDSCAPE PLAN

Overall Landscape Exhibit

San Diego County, California

Oak Creek
New Urban West

EIR Alternative #4
Oak Creek L-2



Landscape Amenities Legend

- 1 Project Entry:
-See enlargement on sheet L-3
- 2 Gated Vehicular Entry:
-Themed material like Stone, Shingles, etc.
- 3 Pond Overlook:
-Themed automatic gates
-Accessible to the Public
-Rustic bench seating
-D.G. pad
-Interpretive kiosk
- 4 Preserved Existing Pond
- 5 Proposed Traffic Calming Roundabout
- 6 Neighborhood Way-Finding Signage
- 7 Emergency Vehicle Access
- 8 Project-Themed Fencing Elements and Landscape
- 9 Duck & Pedestrian Crossing
- 10 Refer to Felicita Road Traffic Calming Plan for location of Pedestrian Crossings



PROPOSED PROJECT SUB 13-0002

PLANT PALETTE

Trees

Arbutus menziesii
Malus domestica
Malus domestica
Malus domestica
Malus domestica

Shrubs

Arbutus menziesii
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Groundcover

Arbutus menziesii
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Grasses

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Arbors, Arches, Gazebos, and Structures

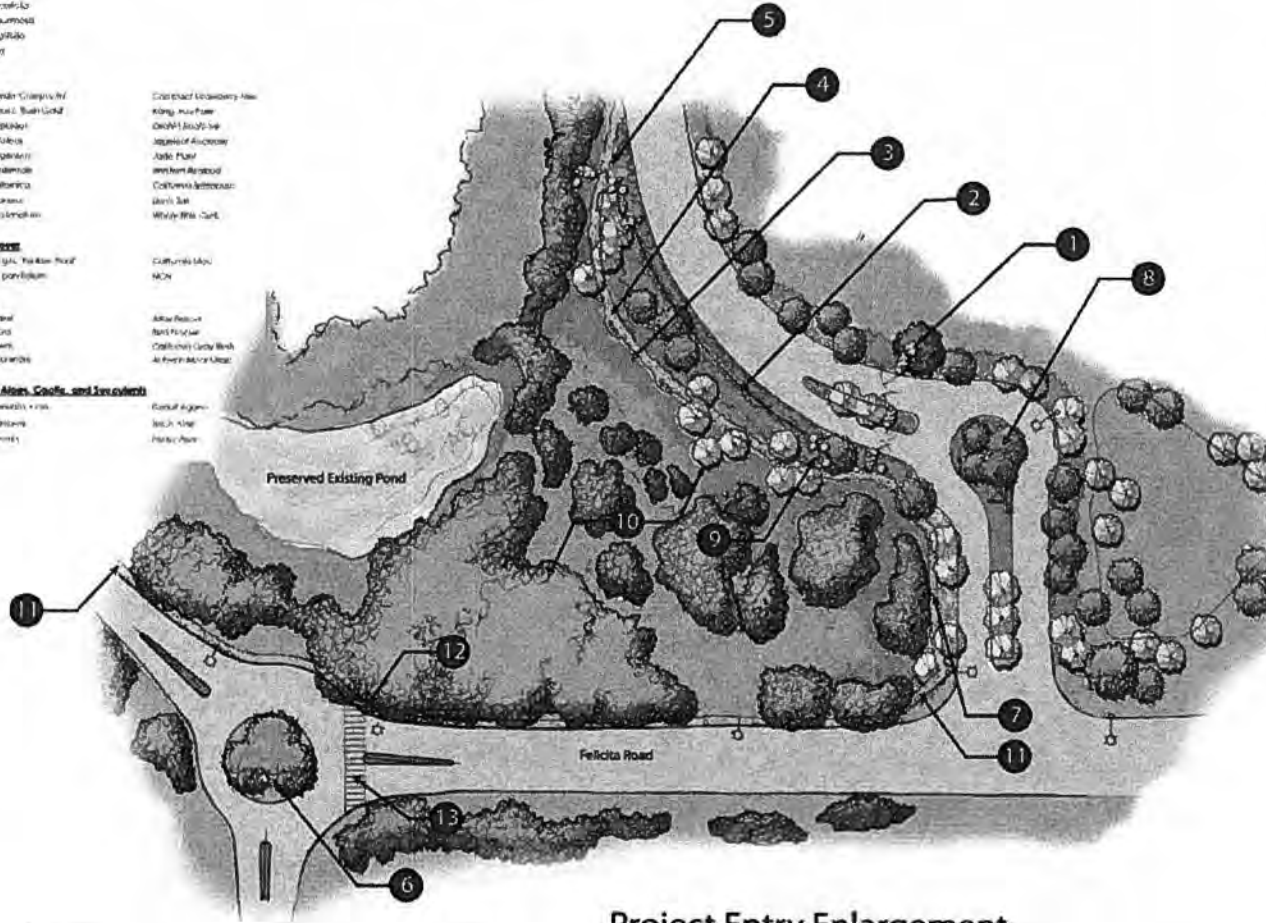
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Landscape Amenities Legend

- 1 Gated Vehicular Entry:
-Themed material (i.e. Stone, Slump, etc.).
-Themed automatic gates
- 2 View Fence
- 3 Interpretive kiosk
- 4 Pond Overlook
-Accessible to the Public
-Rustic bench seating
-D.G. trail
- 5 Resident's Pedestrian Entry
- 6 Proposed Traffic-Culming Roundabout
- 7 5' D.G. Sidewalk
- 8 Specimen Oak
- 9 Relocated Native Boulders
- 10 Preserved Riparian Open Space
- 11 Public Walkway
- 12 Duck & Pedestrian Crossing Signage
- 13 Refer to Felicity Road Traffic Calming Plan for location of Pedestrian Crossings

Project Entry Enlargement

San Diego County, California

EIR Alternative #4
Oak Creek
New Urban West

12/28/2019

LAND CONCERN
12/28/2019



- 6' Wood Fence
- 5'-6" View Fence
- 3'-6" Rustic Wood Rail Fence
- 5' Heat Deflecting Glass Wall Atop 1' Masonry or 6' Height Masonry Wall
- Cable Rail Fence at Plantable Wall
- * Vehicular Entry Gates
- * Emergency Access Gates
- ▲ Themed Monument Signage



View Fence



Wood fence at project perimeter and between lots. Perimeter fence to be screened with planting and vines.



3'-6" Rustic Wood Rail Fence Elevation



5' Heat Deflecting Glass Wall Atop 1' Masonry



Plantable Wall



Cable Rail Fence

Notes:
Refer to Civil Engineer's drawings for retaining conditions.

1 Between-lot fence may be full height masonry or wood-style fence to be constructed of non-combustible materials where occurring in Fuel Modification Zones.

2 Themed Monument Signage. Project text to be rustic lettering approximately 18" X 5' to 6' attached to native boulders. Signage design per separate submittal.



Overall Fence & Wall Exhibit

San Diego County, California

EIR Alternative #4
Oak Creek
New Urban West

L-4

12/17/2014

ANALYSIS

A. LAND USE COMPATIBILITY/SURROUNDING ZONING

NORTH - County RR (Rural Residential – 15,000 SF minimum lot size) zoning – Across Hamilton Lane from the proposed residential development site is a neighborhood of single-family residences on lots ranging from approximately 15,000 SF to 1.24 acres in size. I-15 borders the northern side of the remainder of the proposed annexation area.

SOUTH - County RR zoning and Felicita County Park – Several single-family residences on lots ranging from approximately 10,000 SF to 20,000 SF in size are located immediately south of the project area between Felicita Road and Miller Avenue. Felicita County Park is located south of the project area across Felicita Road. Felicita County Park features 53 acres of dense oak groves, two horseshoe pits, picnic tables, barbecues, playgrounds, restrooms, volleyball court, nature trail, and hiking trails. South of the remainder of the proposed annexation area on the eastern side of Miller Avenue is a relatively new, small neighborhood of single-family residences on lots approximately one acre in size.

EAST - County A-70 (Limited Agriculture) and County RR zoning – Single-family residences on lots ranging from approximately 15,500 SF to 2.18 acres in size are located across Miller Avenue from the proposed project.

WEST - County RR zoning – Across Felicita Road is a neighborhood of single-family residences on lots ranging from approximately 12,500 SF to 1.94 acres in size. This neighborhood is generally separated from the site by both Felicita Road and the existing line of trees in the creek area along the western edge of the project site.

B. AVAILABILITY OF PUBLIC SERVICES

1. Effect on Police Service – The project site would be annexed to the City, and the City of Escondido Police Department (EPD) would assume the responsibility for police protection. EPD response time standards to calls for service are 5 minutes for life-threatening calls and 6 minutes and 30 seconds for calls regarding crimes in progress and/or having probability for suspect apprehension. These response times are consistent with the Escondido General Plan Quality of Life Standard #4 for police services. The Police Department has expressed no concern regarding their ability to provide service to the site.
2. Effect on Fire Service – The site is served by Fire Station No. 5 (2319 Felicita Road), which is well within the seven and one-half minute response time specified for urbanized areas in the General Plan. Development of the site would contribute incremental increases in demand for fire services. Comments received from the Escondido Fire Department indicate the Oak Creek Fire Protection Plan (Appendix J in the Final EIR) adequately provides for appropriate building construction and fuel modification methods that will aid in the protection of future residents in the development. The Fire Department has indicated that adequate services can be provided to the site and the proposed project would not impact levels of service.
3. Traffic/Circulation – The proposed project would take access from Felicita Road, which is classified as a Local Collector (66' r.o.w. with 42' curb-to-curb improvement) in the Circulation Element of the Escondido General Plan. Hamilton Lane is also classified as a Local Collector. Development of the proposed residential project would generate 780 new vehicle trips (780 ADT) associated with new residents. A Traffic Impact Analysis prepared by Linscott, Law and Greenspan is included as Appendix O-1 in the Oak Creek Final EIR.

According to the Traffic Impact Analysis, the proposed development would not result in a significant impact to any roadway intersection under the Existing + Project, Future (Year 2018), or Long-term (Year 2035) scenario because traffic delay would be minimal and would not deteriorate LOS. The project would not result in a significant impact to any roadway segment under the Existing + Project, Future (Year 2018), or Long-term (Year 2035) scenario based on the City of Escondido's significance criteria as no long-term significant impacts identified as project-related increases in V/C ratio on poorly operating (LOS D, E, or F) segments would exceed 0.02.

The project includes a Specific Alignment Plan (Appendix A of the Oak Creek Final EIR) for Felicita Road and Hamilton Lane because the proposed improvement of these streets does not conform to the City of Escondido General Plan and Mobility and Infrastructure's requirements for Collector Streets and Local Collectors. Felicita Road is designated a Collector north of Hamilton Lane and a Local Collector south of Hamilton Lane in the Circulation Plan, and Hamilton Lane is a Local Collector. Both existing streets would require significant widening to conform to the requirements. Widening the roadways would result in the removal or relocation of numerous existing public and private improvements on both Felicita Road and Hamilton Lane. The widening also would create additional biological impacts along Felicita Road, conflict with project goals for Felicita Road, and not offer any significant benefits or improvements for conveying traffic. The Specific Alignment Plan proposes improvements to Felicita Road and Hamilton Lane consistent with the City of Escondido's General Mobility Plan goal of creating "Complete Streets," emphasizing the accessibility of all road users, including pedestrians and bicyclists. The existing edge of pavement would be maintained on the western side of Felicita Road while a minimal amount of widening to accommodate bicycle lanes and a sidewalk would occur on the project (eastern) side of the street.

The project would include half-street roadway improvements along Miller Avenue and Hamilton Lane frontage. Improvements to Hamilton Lane would include widening the right-of-way to approximately 62 feet, which would include widening the roadway to a maximum width of approximately 38 feet. Improvements to Miller Avenue would include widening the right-of-way to a maximum of 60 feet, with one section being 50 feet, including widening the roadway to a maximum width of 40 feet. The overall right-of-way for Felicita Road north of Park Drive is 66 feet wide with a pavement width of approximately 36 feet. With implementation of the project, the paved roadway area would be widened to up to 38 feet with striped bicycle lanes and a five-foot-wide, concrete sidewalk adjacent to the project site. Thirteen street lights would be installed along the east side of Felicita Road adjacent to the project site. Sidewalks also are proposed on the south side of Hamilton Avenue and the west side of Miller Avenue as part of roadway improvements to these road segments.

Felicita Road also is proposed to be improved with roadway traffic calming features. These measures would include the construction of a roundabout at the intersection of Felicita Road and Park Drive to channelize traffic flow and slow speeds along Felicita Road; traffic calming signage and markings to reduce vehicular speeds; 5-foot-wide bike lanes with a buffer (2 feet wide) for northbound and southbound bicycle traffic, which will create driver awareness of bicyclists and reduce vehicular speeds along Felicita Road; and the installation of lower speed limit signs, if warranted. Portions of the proposed Felicita Road improvements are located north and south of the project site property line within the County of San Diego, including some traffic calming signage and markings.

4. **Utilities** – Project utilities construction would include the extension of gas and electric transmission facilities, sewer and water pipelines, and communications facilities. Existing San Diego Gas and Electric (SDG&E) overhead electrical lines extend in an east-west direction across the southern portion of the site between Felicita Road and Miller Avenue. These electrical lines would be removed as part of the project, and underground utility lines would be installed along all project frontage streets.

The City of Escondido Utilities Department would provide sewer service to the proposed development. As a separate and independent project, the City has decided to eliminate Lift Stations 6, 9 and 11 in part by extending new 8-inch and 12-inch-diameter gravity sewer lines in Felicita Road and Via Rancho Parkway. Effluent from the proposed development would gravity flow to a connection point with the new pipeline near the southernmost portion of the project site. Flows would then continue south in the new pipeline down Felicita Road to the new pipeline in Via Rancho Parkway and on to Lift Station 1 located near the intersection of Via Rancho Parkway and I-15. Eliminating the three lift stations and constructing new gravity lines would be accomplished as part of the City's 2030 Capital Improvement Program (CIP) and are not within the scope of the proposed development. Potential environmental impacts and mitigation for the CIP project are currently being analyzed as part of a separate environmental document.

The entire project site and proposed reorganization area are presently located within the authorized service area of Rincon Del Diablo Municipal Water District; therefore, Rincon Water would provide water service to the project site. A 12-inch-diameter water line would be constructed in Hamilton Lane east of Felicita Road. The water pipelines serving the proposed development would connect to the 8-inch water line in Felicita Road at the south end of the project site.

Improvements to the existing potable water pipelines would be determined as part of the final design following approval of the project. A hydraulic analysis of water lines would be conducted as part of final engineering for the project. In addition, as an alternate water supply, the proposed development may obtain water from the City of Escondido Utilities Department. However, this is not considered likely unless Rincon stops issuing water connections due to the implementation of additional drought response measures. The water supply improvements described above would be the same for either water supply agency.

5. **Drainage** – Portions of the project site lie within the 100-year flood zone as designated on current flood insurance rate maps. A Conditional Letter of Map Revision (CLOMR) shall be issued by the Federal Emergency Management Agency (FEMA) before grading plans for the project can be approved.

The project would be designed so that runoff from the residential lots would drain to the private streets within the subdivision. The project site would be graded to generally maintain drainage patterns toward the western and southern boundaries. On-site drainage improvements would include a storm drain system and flood attenuation/bioretention basins to safely convey runoff, clean urban runoff, provide hydromodification management, and to mitigate increases in peak stormwater flow rates discharging from the Project.

On-site bioretention facilities would be constructed to treat runoff for water quality and retain it to provide hydromodification management. These bioretention areas would be dispersed throughout the site, adjacent to the drainage management area that they are designed to treat. Sizing for these basins assumes 50 percent impervious surfaces for each pad area. Each basin would attenuate flows and then discharge to the two existing drainages. Additional drainage improvements would include upsizing a pipeline crossing in Hamilton Lane between Felicita Road and Miller Avenue; upsizing a pipeline at the downstream end of the site at Felicita Road; and constructing a berm adjacent to Felicita Road to contain stormwater, thereby allowing runoff to pass through the Felicita Road pipeline and alleviating current flooding conditions on that road. The project is conditioned to provide a final drainage study, which will determine the extent of drainage facilities necessary to control runoff.

C. ENVIRONMENTAL STATUS

A Draft Environmental Impact Report (City Log No. ENV 13-0006) was issued for a 45-day public review on August 15, 2014. Responses to comments received on the Draft EIR have been incorporated into the Final EIR. Mitigation measures required under CEQA were developed to reduce the potential for adverse impacts with respect to air quality, biological resources, cultural resources, geology and soils, hazards and hazardous materials, hydrology and water quality, and noise.

Sections of the Draft EIR have been clarified or expanded in the Final EIR, but no new significant impacts have been identified, no impacts increased in severity, and no new alternatives have been identified. Several new mitigation measures have been provided for clarity in the document to address previously identified impacts, but would not constitute "significant new information" as described in CEQA Section 15088.5. As such, the Draft EIR document was not fundamentally or basically inadequate in nature and the conclusions do not require reevaluation or recirculation. Staff feels the Final EIR adequately addresses all project-related issues. The Oak Creek Project Final EIR can be viewed at the City of Escondido Planning Division, the Escondido Public Library, and is available in the Planning Division section of the City's website at the following link:

http://www.escondido.org/Data/Sites/1/media/pdfs/Planning/oakcreek/Volumell-Navigation_Index.pdf

D. CONFORMANCE WITH CITY POLICY/ANALYSIS

General Plan

The County General Plan designates the property as "Village Residential (VR-2.9)". This designation allows 2.9 dwelling units per gross acre. Since Village Residential densities are not calculated based on a site's topographic conditions, the maximum yield based on the County General Plan would be 122 dwelling units. Actual attainment of this density would

be predicated on the availability of sewer service which currently is not available to properties within this area of the County's jurisdiction.

The Escondido General Plan has adopted a lower density land use designation for the site. The Estate II designation allows up to 2 dwelling units per acre with the maximum development yield of a property calculated according to topography/slope categories. Based on the variable slope provisions of the Estate II land use designation contained in the City's General Plan, up to 74 dwelling units/lots would be allowed on the project site. The proposed project density of 1.75 du/acre is consistent with the Estate II designation. The project will be required to conform to the provisions of the Citywide Facilities Plan through the payment of fees to ensure that the Quality of Life Standards will continue to be met.

Appropriateness of Proposed Annexation and Prezones

Consistent with Escondido General Plan Annexation Policy 16.1, the City does not actively seek out annexation opportunities, except for land owned by the City. In this case, the applicant first approached the City with an annexation and development proposal approximately two years ago. The 41.4-acre project site is located within the unincorporated area of the County immediately south of the City of Escondido within the City's adopted Sphere of Influence. The project site shares a nominal common boundary with the City and would connect to the existing city limits at the northwestern corner of the site at the intersection of Felicita Road and Hamilton Lane. The project site and the Chalice Unitarian Universalist Congregation property would be annexed to the City as part of the project. A small neighborhood north of the project site with homes on Hamilton Lane and Monticello Drive would remain within the County's jurisdiction with a map connection to other County properties on the eastern side of I-15, thus avoiding the creation of a "County Island" following completion of the annexation process.

Annexation would not be required to construct a residential development on the project site. The County has designated the site as Village Residential 2.9, which would allow up to 122 homes to be constructed on the site under the County's jurisdiction. However, this density is not nearly achievable under current conditions because the County does not provide sewer service in this area, and the City does not extend sewer service outside of its boundary to serve County developments. Therefore, annexation is required to provide sewer service to the project site.

The Escondido General Plan designation for the proposed annexation area is Estate II, which allows up to two dwelling units per acre. The minimum lot size for Estate II is 20,000 square feet, unless the development is clustered in accordance with the cluster provisions contained in the General Plan. Clustering is only permitted in conjunction with a specific plan or planned development proposal for a site and requires the zoning to be changed to SP or PD-R accordingly. The project area on the western side of Miller Avenue where a clustered, planned residential development is proposed would be prezoned PD-R 1.75 (Planned Development – Residential 1.75 dwelling units per acre) to reflect the density of the proposed development. The remainder of the annexation area on the eastern side of Miller Avenue consisting of two vacant parcels of land and the Chalice Unitarian Universalist Congregation property would be prezoned RE-20 (Residential Estates – 20,000 SF minimum lot size), which is a standard residential zone consistent with the Estate II designation for both minimum lot size and density. The zoning established by the prezones would become effective upon approval and recordation of the proposed annexation. Staff feels both of the proposed prezones are appropriate and consistent with the Estate II designation of the General Plan.

Appropriateness of the Residential Clustering Design for the Planned Development and the Single Point of Resident Access into the Development

As described in the Escondido General Plan Land Use and Community Form Element, "Residential Lot Clustering (clustering) is a useful development tool for protecting sensitive resources, avoiding hazardous areas, and/or preserving the natural appearance of hillsides. Clustering involves assessing the natural characteristics of a site and grouping the buildings or lots through an on-site transfer of density rather than distributing them evenly throughout the project as in a conventional subdivision. Not only do cluster developments help preserve open space, they also tend to minimize the visual impacts associated with development, reduce the cost of building and maintaining public roads, and decrease grading in environmentally sensitive areas."

The proposed development utilizes residential lot clustering. The clustering design for the proposed development would not increase the overall density of the site, but would allow for reduced lot sizes, larger open space lots, and preservation of the on-site drainage courses and biological resources. As stated in the Escondido General Plan, "The maximum development yield (that is, the number of dwelling units) that can be built as part of a clustered development project shall be derived by applying the maximum permissible density in each applicable residential land use category, subject to applicable slope density categories and adjusted for natural floodways as prescribed in the General Plan policies." The proposed 65 residential units are less than the City's maximum permitted General Plan yield of 74 dwelling units.

The minimum lot size for Estate II is 20,000 square feet, unless the proposed development is clustered in accordance with the cluster provision contained in the General Plan. The minimum lot size standard for single-family clustered development within the Estate II land use designation is 10,000 square feet. The Project has been designed in accordance with the Estate II residential land use designated for the project area by the General Plan and with the clustering provisions resulting in residential lot sizes ranging from approximately 10,000 to 22,500 square feet. Although clustering permits a reduction in lot sizes, Residential Clustering Policy 5.9 provides that, "In no event shall the reduction of lot sizes for clustered projects exceed the open space areas within the development." The proposed development complies with this policy as the reduction of lot sizes of 519,228 square feet is less than the 606,660 square feet of open space within the development.

Approximately half of the residential lots adjacent to the proposed development site range from 10,000 to 20,000 square feet in size. Most of these residential lots are located to the north, southeast, south, and west of the project site. Larger-lot estate homes (40,000+ square feet) front on Las Colinas Drive, Miller Avenue, and Twilight View Terrace to the east of the project site. Existing residential development in the area includes a mixture of single- and two-story homes. Two-story homes are predominantly concentrated east of Miller Avenue; however, there are scattered two-story residences along and to the west of Felicita Road. The applicant is proposing four distinct models for the 65 homes proposed in the development. Up to 100 percent of the homes could be two stories based on the inclusion of an optional second-story element for the otherwise single-story Plan 1 model. The predominance of two-story homes is somewhat offset by the site being lower in elevation as compared to the surrounding neighborhood. While the proposed development would have more two-story homes than the surrounding neighborhoods, in most cases the homes would be visually screened due to existing and proposed trees, both along the project site perimeter and within the project. The proposed development would implement enhanced architectural features to ensure high quality residential development consistent with surrounding residential homes. A combination of walls and fencing would generally separate residences from surrounding development to provide privacy, consistent with existing homes adjacent to the site. Staff feels the proposed planned development and residential clustering would be compatible with the community character of the existing surrounding neighborhoods.

The proposed development has been designed with a single private street access extending into the project site from Felicita Road in the southwestern portion of the project site. This new private street would be located approximately 400 feet south of Park Drive and approximately 800 feet north of the Felicita Road/Miller Avenue intersection. Residents in the area have consistently expressed concern with this method of access feeling it places an inordinate amount of vehicle trips on Felicita Road when additional street access to Hamilton Lane or Miller Avenue could relieve added congestion on Felicita Road. The applicant has steadily resisted providing other access points feeling the enhanced project landscaping and vehicular gates at the project entrance would establish a project theme and identity creating a sense of neighborhood for all residents of the new development. While staff would likely support additional private street access points if proposed in appropriate locations, the applicant's proposal meets public safety needs by providing emergency access to Hamilton Lane at the end of two on-site cul-de-sacs. In addition, the Traffic Impact Analysis prepared for the development indicates the proposed development with a single point of primary access would not result in a significant impact to Felicita Road or any other roadway segments or intersections under the Existing + Project, Future (Year 2018), or Long-term (Year 2035) scenarios.

Whether the Introduction of Additional Impervious Surfaces in the Area would Increase the Potential for Downstream Flooding on Felicita Creek

Existing drainage conditions on the proposed development site rely on sheet flows to two drainages running north-south through the property. The westerly drainage crosses under Hamilton Lane via a 5-foot by 5-foot concrete culvert, and the

easterly drainage crosses Hamilton Lane via a 72-inch diameter culvert. Additional runoff from a lined ditch on the east side of Miller Avenue discharges to the site at its eastern boundary. The two drainages confluence within the boundaries of the project and then confluence with the runoff from the east before leaving the site through the 60-inch diameter culvert crossing to the southwest, under Felicita Road. All runoff drains to Felicita Creek, then Hodges Reservoir to the south.

The proposed development site would be graded to generally maintain drainage patterns toward the western and southern boundaries. On-site drainage improvements would include a storm drain system and flood attenuation/bioretention basins to safely convey runoff, clean urban runoff, provide hydromodification management, and to mitigate increases in peak stormwater flow rates discharging from the project. Sizing for these basins assumes 50 percent impervious surfaces for each pad area. Each basin would attenuate flows and then discharge to the two existing drainages. Proposed drainage improvements would include upsizing the easterly pipeline crossing in Hamilton Lane; upsizing the pipeline at the downstream end of the site at Felicita Road; and constructing a berm adjacent to Felicita Road to contain stormwater, thereby allowing runoff to pass through the Felicita Road pipeline and alleviating current flooding conditions on that road.

The Water Quality Technical Report prepared for the proposed development utilized the San Diego County Hydrology Manual for the hydrologic calculations for the project. Based on the anticipated amount of impervious surface in the development and the number and size of detention basins proposed as part of the development project, the post-development condition of the project site would decrease overall runoff from 757 cubic feet per second (cfs) experienced in existing conditions, to an anticipated 755 cfs in developed conditions, a decrease of approximately 2 cfs. Furthermore, the proposed improvements to the culvert crossing at Felicita Road (described above) would reduce the amount of overtopping flow and increase the amount conveyed through the culvert crossing; however, there would be no net change to flow reaching the downstream properties since it would all commingle within Felicita Park upstream of Via Rancho Parkway. By using on-site detention to reduce peak flow rates discharging from the Project to equal or less than pre-Project conditions, and by maintaining existing drainage patterns through the site, the Project would not result in adverse impacts to downstream drainage facilities and/or properties.

Detailed calculations have been identified throughout the Drainage Study and Water Quality Technical Report resulting in the selection of a maximum 50% impervious factor for the proposed residential pad areas to maintain the peak flow rates described above. As is standard and part of final engineering, prior to issuance of grading and building permits, it shall be confirmed that the amount of imperviousness remains equal to or less than 50% on average, per lot. The sizing for the onsite bioretention/detention basins have been calculated based on 50% impervious surface for each lot, and 100% imperviousness for streets and fire access. The actual impervious area on each lot has been calculated to be approximately 34% average, which includes the building, driveway, and sidewalk. After all the impervious area proposed by the builder is accounted for, there is still 2,053-square feet available to the homeowner to install additional impervious hardscape, which is 16% of the lot, providing a total pad imperviousness of 50%. Mitigation measure Hydro-2 requires the builder to provide a disclosure to all homebuyers informing purchasers of this limitation. Additional project conditions will include a requirement that the CC&Rs for the project include a prohibition on any future homeowner installations of impervious area that exceed the maximum allowance. Prior to issuance of grading or building permits for improvements by a future homeowner, the landscape or architectural consultant to the HOA shall provide an area calculation of all impervious surfaces (excluding water surface area in pools) that have been installed on the property since the initial purchase date from the builder plus the additional impervious area proposed by the homeowner. This calculation will be reviewed by the Planning Division with the plans at the time of permit application to ensure consistency with the mitigation measure and the project conditions of approval.

Whether Future Residents in the Proposed Development would be Exposed to Groundwater or Soil Vapor Contamination Associated with the Nearby Chatham Brothers Barrel Yard Site

The Phase I Environmental Site Assessment (ENVIRON 2012) included a database review of surrounding properties that may result in contamination at the project site and identified the Chatham Brothers Barrel Yard site as a nearby source of contamination potentially affecting groundwater beneath the project. The yard is located approximately 0.3 mile northwest of the project site and up-gradient with respect to groundwater flow. The yard was historically used for waste oil and solvent recycling. As a result, groundwater beneath the barrel yard site and vicinity is known to be contaminated with

trichloroethylene (TCE), which is a VOC. Remedial actions are underway at the Chatham Brothers Barrel Yard site under the oversight of the State of California Department of Toxic Substances Control (DTSC).

To evaluate potential risks posed by any chlorinated VOC concentrations in soil vapor arising from the underlying contaminant plume in groundwater (currently measured as present between 17 and 26 feet below ground surface) originating at the Chatham Barrel Yard Site, a Phase II Environmental Site Assessment (Gannett Fleming) was completed in 2013. The investigation consisted of soil and soil vapor sampling and analysis, as recommended by the Phase I Environmental Site Assessment (Final EIR Appendix H). The methodology of the investigation is detailed in the Phase II Environmental Site Assessment (Appendix I-1 and I-2 in Final EIR). The results of the recent Phase II Environmental Site Assessment indicate that no VOCs were present in soil vapor at levels above applicable regulatory thresholds (California Human Health Screening Levels, or "CHHSLs"). However, low but elevated concentrations of arsenic were detected in fill soils at the project site, and a small pocket of petroleum hydrocarbon-impacted soil was discovered. Mitigation measures Haz-3 and Haz-4 would provide remediation for the on-site arsenic and petroleum hydrocarbon-impacted soil.

To further assess groundwater contamination associated with the Chatham Brothers Barrel Yard, a *Site Assessment Report, Soil Vapor and Groundwater Results* (Tetra Tech, Inc. 2014) was prepared (Final EIR Appendix I-5), as was a *Site Assessment Report, Soil Results* (Tetra Tech, Inc. 2014; Final EIR Appendix I-6). The *Soil Vapor and Groundwater Results* report summarizes the results of groundwater and soil vapor investigation activities conducted at the project site from August through October 2014. The *Soil Results* report summarizes the results of soil investigation activities conducted on the project site from August through October 2014.

The potential environmental and human health risks posed by the Chatham Brothers Barrel Yard relate to (1) hazardous substances in groundwater, including VOCs such as tetrachloroethylene (or PCE) and trichloroethylene (or TCE), and (2) volatilization of hazardous substances from the groundwater into soil vapor migrating upward. Both of these categories of risks have been adequately investigated and analyzed by the applicant under the oversight of the California Department of Toxic Substances Control (DTSC). In September 2014, Tetra Tech, Inc., performed groundwater sampling at the project site to evaluate potential risks associated with the groundwater. The results of the groundwater sampling from seven sampling sites were "non-detect" (i.e., below the certified laboratory's method detection limits) for VOCs at six of the seven sampling locations throughout the project site. With respect to the one sampling site where VOCs were detected (sampling site TtGW-4 north of the duck pond near Felicita Road), the detected levels were 1.7 micrograms per liter for PCE and 1.8 micrograms per liter for TCE. Both levels are well below the applicable regulatory cleanup standard (the USEPA's Maximum Contaminant Levels) of 5.0 micrograms per liter for both constituents. In addition, sampling site TtGW-4 is not within an area of the project site where residential construction would occur. Four groundwater monitoring wells currently are on the project site. The results of groundwater monitoring at the wells – since 2008 – have been "non-detect" for VOCs.

With respect to soil vapor, Gannett Fleming, Inc., and Tetra Tech, Inc. have performed three rounds of soil vapor sampling under DTSC oversight at 26 locations at depths varying from 5 feet below ground surface to 15 feet below ground surface. The extent of sampling has complied with the DTSC's requirements for characterizing the extent of impacts to soil vapor, and the results show that contaminant levels in soil vapor are below DTSC-approved screening levels for residential use. USEPA Regional Screening Levels (as modified by DTSC) combine human health toxicity values with standard exposure factors to estimate chemical concentrations that are considered to be health protective of human exposures over a lifetime through direct-contact exposure pathways (e.g., via inhalation and/or ingestion of and/or dermal contact with impacted soil). VOCs were detected at levels above Regional Screening Levels at a single on-site location outside of the development footprint (soil vapor sample location TtSV-1; located near TtGW-4). Neither groundwater nor soil vapor on the project site are impacted at levels exceeding applicable human health-protective regulatory standards, with one exception regarding soil vapor – at a location outside the development footprint. Nevertheless, DTSC has indicated that groundwater extraction will be prohibited at the project site. To ensure that groundwater will not be used in the proposed development for any purpose, the applicant will record a deed restriction on the title for the project site that will prohibit the use or extraction of groundwater beneath the project site for any purpose. In addition, a prohibition on the use of groundwater from beneath the project site will be included in the CC&Rs and included as a condition of approval.

pad areas level with the private street that provides access for the affected lots. The cut slope will be lower than and not visible from Miller Avenue. Residences placed in front of the slope will limit most views of the slope to the residents on the affected lots. Landscaping installed on the slope would assist in softening any potential distant views from elevated residences on the western side of Felicita Road. Grading Exemption No. 2 is a proposed 2:1 combination cut/fill slope up to 17 feet in height between Lot 3 and Lot "C" where the Grading Ordinance permits a 10-foot-high fill slope. This exemption results from the creation of a detention basin on Lot "C" adjacent to Lot 3, placing part of the slope below street level. This slope is considered an exemption only because of its location within 50 feet of an exterior property line. An off-site residence located adjacent to the proposed slope is oriented in a perpendicular manner to the slope with a pad level at about the mid-point of the slope. Views of this slope will primarily be from motorists on Felicita Road and the project entry street. As with all graded slopes in the proposed development, landscaping will enhance views of the area. Staff feels the proposed exemptions would be appropriate given the screening that will occur, combined with limited view opportunities from off-site residences.

SUPPLEMENT TO STAFF REPORT/DETAILS OF REQUEST

A. PHYSICAL CHARACTERISTICS

The proposed project site is located in the unincorporated area of San Diego County immediately south of Escondido and within the City's Sphere of Influence. The project site and the 2.34-acre Chalice Unitarian Universalist Congregation property would be annexed to the City as part of the project. The project site currently contains a residential unit, agricultural uses (limited fields and support structures), open space, and a seasonal pond in the southwest corner of the site. Two drainages flow southerly through the project site and converge near the pond; a lined ditch also converges with the drainages. The site is generally surrounded by residential development to the north, west, and southeast, and by Felicita County Park to the southwest.

The site is relatively flat and gently sloping to the southwest. Elevations on the property range from approximately 620 MSL near the Northeastern boundary to 576 MSL near the Southwestern boundary. The site is underlain by undocumented fill, alluvium, colluvium and granitic bedrock. The project site supports 13 vegetation communities: southern cottonwood-willow riparian forest, freshwater marsh, emergent wetland (disturbed), coast live oak woodland, southern coast live oak riparian forest, Diegan coastal sage scrub, non-native grassland, eucalyptus woodland, non-native vegetation, intensive agriculture, extensive agriculture, disturbed habitat, and developed.

B. SUPPLEMENTAL DETAILS OF REQUEST

1. Property Size:

Annexation Area:	43.73 acres (includes development site, two "Not a Part" parcels, and 2.34-acre church property).
Residential Project Area:	37.59 acres (gross)
Lots 1-65:	18.78 acres
Internal Private Streets:	3.91 acres
Public Street Dedications:	0.98 acre
Open Space:	<u>13.92 acres</u>
TOTAL:	37.59 acres

2. Number of Lots: 70

Residential Lots:	65
Open Space Lots:	4
Private Street Lots:	<u>1</u>
TOTAL:	70

3. Project Density: 1.75 dwelling units per acre

4. Residential Lot Size:

Minimum:	10,000 SF
Maximum:	22,500 SF
Average:	12,585 SF

5. Proposed Unit Mix: Plan 1 is a one-story unit. Plans 1X, 2, 3 and 4 are two-story units. The proposed development may include all two-story homes. Unit mix may be modified subject to approval of the Director of Community Development.

Grading Exemption No. 2 is a proposed 2:1 combination cut/fill slope up to 17 feet in height between Lot 3 and Lot "C" where the Grading Ordinance permits a 10-foot-high fill slope.

11. Landscaping:
- The proposed development would enhance and retain public pedestrian access to the seasonal duck pond area. The Hamilton Lane and Miller Avenue street frontages would use a meandering sidewalk interlaced with a tree palette of oak, sycamore, toyon and western redbud trees. Under plantings of rustic shrub masses would demonstrate a variety of color and texture. Project slopes would be planted with low water use trees and spreading type shrubs, which would be mulched to prevent erosion and provide a barrier for weed abatement. The main entry would be designed with mature accent and theme trees combined with shrub groupings to create a rustic/rural composition. Additional entry softening would be accomplished through a landscaped median leading up from Felicita Road to the main entry structure and gate elements. Sidewalks within the subdivision would be provided along one side of the private streets. Internal tree design for street frontages would use as many as two or three different tree species in groups. These plantings would include oaks, willows, sycamore, and koelreuterias (medium-sized deciduous trees with small, yellow flowers) as main elements in varying intervals. Homeowners would be required by the CC&Rs to landscape their properties within six months following purchase. The builder has a typical front yard plan that may be offered as an option to purchasers.

C. CODE COMPLIANCE ANALYSIS

	<u>Proposed Master Plan</u>	<u>RE-20 Standard</u>
1. Setbacks:		
Front:	15 feet for residence 20 feet for fronting garage	25 feet
Side:	5 feet one side/10 feet other	10 feet
Street Side:	10 feet	10 feet
Rear:	20 feet	20 feet
2. Lot Width:	80 feet min.	100 feet
3. Building Height:	35 feet max.	35 feet max.
4. Lot Coverage:	45% max.	30% max.
5. Floor Area Ratio:	0.55 max	0.5 max.
6. Signage:	Under separate permit and per Sign Ord. standards	

EXHIBIT "A"

FINDINGS OF FACT/FACTORS TO BE CONSIDERED SUB 13-0002, PHG 13-0017, ENV 13-0006

Tentative Subdivision Map

1. The proposed tentative map with a density of 1.75 du/ acre (proposed 65 dwelling units) is consistent with the applicable General Plan land use designation of Estate II, 2.0 du/ac, maximum yield of 74 units based on site-specific slope conditions.
2. The site is physically suited for this type of development, which will be pre-zoned to be Planned Development and the proposed project would be consistent with the development standards of the Residential Development policies and goals in the General Plan.
3. The design of the tentative map and proposed improvements are not likely to cause substantial environmental damage or injury to fish, wildlife, or their habitat and approximately 13.93 acres will be permanently preserved as biological open space.
4. The design of the tentative map and the type of improvements are not likely to cause serious public health problems since city water and sewer facilities exist in the area or will be provided to the site, and the project proposes street improvements and traffic calming features.
5. The design of the subdivision map and the type of improvements will not conflict with existing easements of record, or easements established through court judgments or acquired by the population at large, for access through, or use of, property within the proposed subdivision map. Otherwise, the project design reflects all existing easements.
6. The requirements of the California Environmental Quality Act have been met since it was found that the project will not have a significant effect on the environment that cannot be mitigated to a less than significant impact, as demonstrated in the Oak Creek Project Final Environmental Impact Report.
7. All permits and approvals applicable to the proposed map pursuant to the Escondido Zoning Code will be obtained prior to recordation of the map.

Annexation:

1. The proposal conforms to the annexation policies established in the Escondido General Plan Land Use and Community Form Element that are intended to guide development to meet present and future needs, achieve a vibrant community, and enhance the character of Escondido.
2. The property to be annexed is in the Escondido Sphere of Influence area and the property owners desire to annex into the city.
3. The reorganization includes annexation to the City of Escondido and detachment from County Service Area No. 135 (Regional Communications). The site will also be excluded from the Rincon Municipal Water District - Improvement District "E" for fire services and the two remainder lots within the panhandle will be included within the Rincon Del Diablo Municipal Water District- Improvement District "I" for water service. The actions involving the improvement districts are subject to approval by Rincon Water.
4. The City of Escondido already provides fire and emergency response to the proposed annexation territory. The City would provide sewer service rather than private septic systems. The City of Escondido Police Department, which already patrols the general area and works cooperatively with the Sheriff, would assume responsibility for

law enforcement. Annexation would allow the City to increase their road maintenance responsibility. The annexation would not introduce new service providers to the area or become a departure from the existing pattern of service delivery in this portion of Escondido.

Prezone:

1. The project site is proposed to be pre-zoned to Planned Development - Residential 1.75 (PD-R 1.75) and the Chalice Unitarian Universalist Congregation Property is proposed to be pre-zoned to Residential Estates- 20,000 square foot minimum lot size (RE-20), both of which are consistent with the Escondido General Plan designation of Estate II (up to 2 dwelling units per acre) and would allow for project development. The Planned Development is conditioned on the approval and recordation of the proposed annexation.
2. The public health, safety and welfare will not be adversely affected by the proposed change because the zoning will be consistent with the existing Estate II General Plan designation on the subject properties and the primary use of the Chalice Unitarian Universalist Congregation property will remain unchanged.
3. The properties involved are suitable for the uses permitted by the proposed zone since the permitted use on the proposed development site will be the same single-family residential use permitted by the previous County zoning and the primary use of the Chalice Unitarian Universalist Congregation property will remain unchanged. In addition, the proposed density is consistent with surrounding residential development.
4. The proposed project would be consistent with the development standards of the Escondido Zoning Code and the General Plan designation and policies. Using the Planned Development process allows flexibility, if necessary, to achieve the basic public purposes of the Escondido General Plan and Zoning Code; to enhance the appearance and livability of the community; to promote and create public and private open space as an integral part of the proposed project design; and, to enhance and preserve the site and its topography and landscape features.
5. The landscape and character of the project would reinforce the community character of the surrounding neighborhoods with frontage improvements that would be well integrated into its surroundings, since excessive grading would not be required; the new structures would incorporate compatible and integrated architecture, materials and colors; the project would not be visually obstructive or disharmonious with surrounding areas; or harm protected views from adjacent properties.
6. The proposed project will restore, enhance, and maintain the existing creek including a buffer, and establish the area adjacent to the seasonal pond as an amenity which is accessible to the public.

Preliminary, Master and Precise Development Plan

1. The location, design and density of the proposed residential development is consistent with the goals and policies of the Escondido General Plan. The proposed project would not diminish the Quality-of-Life Standards of the General Plan as the project would not materially degrade the level of service on adjacent streets or public facilities, create excessive noise, and adequate on-site parking, circulation and public services could be provided to the site.
2. The proposed location and design of the development allows it to be well integrated with its surroundings near residentially zoned property and will not cause deterioration of bordering land uses.
3. All vehicular traffic generated by the proposed development would be accommodated safely and without causing undue congestion on adjoining streets, according to the Oak Creek Project Final Environmental Impact Report, the traffic impact analysis for the project prepared by Linscott, Law & Greenspan on July 31, 2014, and the Engineering Division.
4. All public facilities, sewer and water service are existing or will be available to the subject site, with proposed and anticipated improvements and annexation.

5. The overall design of the proposed residential development would produce an attractive, beautiful, efficient and stable environment for living, since adequate parking, open space and landscaping would be provided, and the design of the development is consistent with a high quality, urban infill project that will provide ownership housing within walking distance of Felicita Park and close to schools, retail, commercial and office uses, consistent with the area's growing demand for high quality homes.
6. The proposed development would be well integrated into its surroundings, since excessive grading would not be required, the new structures would incorporate compatible and integrated architecture, materials and colors, the project would not be visually obstructive or disharmonious with surrounding areas, or harm major views from adjacent properties, and the development would restore and maintain the existing seasonal pond which is accessible to the public.
7. The approval of the proposed Master and Precise Development Plan would be based on sound principles of land use since adequate parking, circulation, utilities and access would be provided for the development of the project (as detailed in the staff report).

Specific Alignment Plan for Felicita Road and Hamilton Lane:

1. In response to site conditions and constraints, the project is proposing modifications to Local Collector standards for Felicita Road and Hamilton Lane through the use of a Specific Alignment Plan. Once approved, the Specific Alignment Plan would serve as the applicable requirements for these City roadways.
2. Widening Felicita Road and Hamilton Lane to the standards identified for these roads in the City of Escondido General Plan Mobility and Infrastructure Element would result in additional adverse environmental and neighborhood impacts and would not be necessary to maintain acceptable traffic conditions.
3. The roadway improvements to Felicita Road proposed in the Specific Alignment Plan that would be implemented as a result of the project would create a more "complete street" by improving circulation for vehicles, bicyclists, and pedestrians; provide a modified Local Collector that achieves City standards for acceptable levels of service; introduce traffic calming measures to combat speeding vehicles; minimize environmental impacts, particularly to sensitive biological resources; respond to the preferences of existing unincorporated residents to maintain a rural atmosphere without full city improvements on the portions of their property that front Felicita Road; and minimize disruptions to existing properties by avoiding the need to relocate or remove private or public improvements such as driveways, mail boxes, retaining walls and power poles.
4. The roadway improvements to Hamilton Lane will complete the "half plus 12 feet" improvements with a rolled curb on the northern side of the street.

Grading Exemption:

1. Granting the proposed new and modified Grading Exemptions is consistent with the Grading Design Guidelines for the following reasons:
 - a. The grading activity does not affect sensitive biological species or habitats, mature or protected trees, and required landscaping, and the development shall incorporate erosion control measures as defined in the City's stormwater management requirements.
 - b. The proposed Grading Exemptions would not create a negative visual impact upon neighboring properties and the public right of way because landscaping on the slopes will assist in softening the visual effect.
 - c. The proposed slopes would not intrude into or disturb the use of any adjacent property or adversely block the primary view of any adjacent parcels, which generally are situated at a higher elevation; disturb any utilities or drainage facilities; obstruct circulation patterns or access; nor preclude the future development of any adjacent parcel.

- d. The proposed design of the slopes would not adversely affect any adjoining septic systems since the cut slope is located in an area of the project where no impacts would occur to nearby septic systems. The proposed project will be provided with sewer service.
- e. The project's homes would be built on lots that would be generally lower in elevation as compared to the surrounding neighborhood.
- f. The proposed cut and fill slopes would be structurally stable since all slopes will be manufactured to a standard 2:1 inclination.

All graded areas shall be protected from wind and water erosion through compliance with the City's stormwater management requirements. The development will be required to incorporate interim erosion control plans, certified by the project engineer and reviewed and approved by the City's Public Works Department.

EXHIBIT "B"

CONDITIONS OF APPROVAL SUB 13-0002, PHG 13-0017, ENV 13-0006

Project Mitigation Measures

1. **Air-1 Construction Dust Control Measures.** The on-site construction superintendent shall ensure implementation of standard best management practices to reduce the emissions of fugitive dust during all grading and site preparation activities including, but not limited to, the following actions:
 1. Water any exposed soil areas a minimum of twice per day, or as allowed under any imposed drought restrictions. On windy days or when fugitive dust can be observed leaving the construction site, additional water shall be applied at a frequency to be determined by the on-site construction superintendent.
 2. Temporary hydroseeding with irrigation shall be implemented on all graded areas on slopes, and areas of cleared vegetation shall be revegetated as soon as possible following grading activities in areas that will remain in a disturbed condition (but will not be subject to further construction activities) for a period greater than three months during the construction phase.
 3. Operate all vehicles on the construction site at speeds less than 15 miles per hour.
 4. Cover all stockpiles that will not be utilized within three days with plastic or equivalent material, to be determined by the on-site construction superintendent, or spray them with a non-toxic chemical stabilizer.
 5. If a street sweeper is used to remove any track-out/carry-out, only PM₁₀-efficient street sweepers certified to meet the most current South Coast Air Quality Management District Rule 1186 requirements shall be used. The use of blowers for removal of track-out/carry-out is prohibited under any circumstances.
 6. Grading shall be terminated when winds exceed 25 mph.
 7. Sweepers, wheel washers and water trucks shall be used to control dust and debris at public street access points.
 8. Internal construction-roadways will be stabilized by paving, chip sealing or chemicals after rough grading.Non-toxic soil stabilizers shall be applied according to manufacturer's specification to all inactive construction areas.
2. **Bio-1** Potential direct impacts to migratory bird species covered under the MBTA shall be mitigated by restricting brush removal and site grading to outside of the breeding season of most bird species (February 15 to September 15). Grubbing, grading, or clearing during the breeding season of MBTA covered species could occur if it is determined through a pre-construction survey by a qualified biologist that no nesting birds are present immediately prior to grubbing, grading, or clearing activities. A nesting survey report shall be submitted to the City for review and approval confirming that no breeding or nesting avian species are present in areas proposed for grubbing, grading, or clearing no longer than seven days prior to grading.
3. **Bio-2** The following measures shall be implemented to reduce indirect impacts to sensitive species to below a level of significance.
 1. Active construction areas and unpaved surfaces shall be watered pursuant to City grading permit requirements to ensure that generation of fugitive dust is minimized.
 2. Orange construction fencing shall be installed prior to the start of construction to define the proposed limits of construction impacts and clearly define the grading boundaries, and biological monitoring of on-site open space shall be conducted during grading and construction activities prevent unintended impacts.
 3. The Project shall address potential water quality impacts through compliance with the City's Grading Ordinance (See Section 33-1062, 33-1063, 33-1068, 33-1069) and implementation of the proposed best temporary construction management practices outlined in the Stormwater Management Plan (silt fence, fiber rolls, street sweeping and vacuuming, storm drain inlet protection, solid waste management, stabilized construction entrance/exit, desilting basin, gravel bag berm, sandbag barrier, material delivery and storage, and any minor slopes will be covered with a plastic or tarp prior to a rain event).
 4. All construction and security lighting associated with the Project shall be shielded or directed away from the open space.
 5. After construction is complete, Project landscaping shall not include any California Invasive Plant Council (Cal-IPC) List A species.

6. **Bio-5** The Project applicant shall be required to obtain wetland permits and approvals for impacts to USACE and California Department of Fish and Wildlife (CDFW) jurisdictional areas. See Table 5.4-9 for a summary of mitigation requirements for jurisdictional areas. Impacts to southern willow riparian forest, southern coast live oak riparian forest, and coast live oak woodland jurisdictional habitats are anticipated to require a 3:1 mitigation ratio through creation and/or restoration and/or enhancement of riparian or oak woodland habitat on site. Impacts to CDFW eucalyptus woodland and non-wetland Waters of the U.S./CDFW streambeds shall be mitigated through creation/restoration at a 1:1 ratio. This will require creation/restoration of approximately 0.07 acre of drainages, of which a minimum of 0.07 acre must be USACE jurisdictional. Wetland mitigation is proposed to occur within the 9.8 acres of open space along existing on-site drainages, with final mitigation requirements to be determined by the resource agencies through the permitting process. On-site mitigation is proposed to consist of recontouring a portion of the stream channel, removal of non-native species, and seeding/planting with a mix of native shrubs and trees. A detailed restoration, maintenance and monitoring plan shall be prepared by a qualified restoration ecologist/biologist and shall be approved by the City prior to issuance of a grading permit. More detail information regarding the performance standards that will be used in the implementation of this mitigation measure is provided in the Riparian Habitat Mitigation Plan for the Oak Creek Project found in Appendix G of the Biological Technical Report, which is Appendix F in the Final EIR. The biological open space lots would be preserved in their natural state within a permanent conservation easement and mechanism for privately funded on-going maintenance managed in perpetuity for biological resource values by the HOA. Conserved areas on site would be placed in an open space easement and managed through funding provided by the Project's Homeowners Association (HOA), with management overseen by a qualified biologist/resource manager.

Table 5.4-9

Jurisdictional Area	Ratio	USACE ¹		CDFW	
		Impacts	Mitigation	Impacts	Mitigation
Southern willow riparian forest	3:1	0.05	0.15	0.23	0.69
Southern coast live oak riparian forest	3:1	--	--	0.04	0.12
Coast live oak woodland	3:1	--	--	0.27	0.81
Eucalyptus woodland	1:1	--	--	0.02	0.02
Non-wetland Waters of the U.S / Streambed	1:1	0.07	0.07	0.04	0.04
Total	--	0.12	0.22	0.60	1.68

Note: Areas are presented in acre(s) rounded to the nearest 0.01.

¹ USACE is a subset of the CDFW jurisdiction.

Source: Helix Environmental 2014

7. **Bio-6** Prior to the issuance of grading permits, the Project applicant shall submit a Conceptual Habitat Restoration Plan (CHRP) to the City Community Development Department for review and approval. The CHRP, which is described more fully in Appendix C Tree Management and Preservation Plan, shall be a cohesive restoration and monitoring plan that addresses site-wide restoration/mitigation efforts and includes a tree planting, canopy cover goal, and monitoring component. The CHRP shall specify native oak, willow, sycamore, and cottonwood tree planting details, locations, and long-term maintenance and monitoring for the mitigation of trees. The CHRP shall be used to prepare bidding construction documents for site preparation, tree installation, and maintenance. The CHRP shall require that a knowledgeable arborist or biologist be retained to monitor mitigation tree plantings for a period of five years. The CHRP also shall outline reporting protocols and standards for mitigation tree replacement, should it be necessary if canopy cover goals are not being achieved. Table 5.4-13, Landscape Tree Replacement Calculation, identifies the total number of plantings required to meet the intent of the City's tree protection and replacement requirements. Upon approval of the CHRP, the Project applicant shall implement the plan. Implementation of the CHRP shall achieve at a minimum 2:1 replacement of trees at the end of five years.

Table 5.4-13

Impacted Tree Type	Grading Related	Replacement Ratio	Replacement Species ¹	Total Number Replacement Trees ²
<i>Cedrus deodora</i>	1	1:1	--	1
<i>Eucalyptus camaldulensis</i>	38	1:1	--	38
<i>Eucalyptus cinerea</i>	2	1:1	--	2
<i>Eucalyptus cladocalyx</i>	2	1:1	--	2
<i>Fraxinus uhdei</i>	2	1:1	--	2
<i>Olea eurpea</i>	37	1:1	--	37
<i>Phoenix canariensis</i>	2	1:1	--	2
<i>Pinus elderrica</i>	3	1:1	--	3
<i>Quercus agrifolia</i> (protected)	97	2:1	--	194
<i>Q. agrifolia</i> (mature)	98	1:1	--	98
<i>Q. engelmannii</i> (protected)	3	2:1	--	6
<i>Q. engelmannii</i> (mature)	3	1:1	--	3
<i>Salix goodingii</i>	18	1:1	--	18
<i>Salix lasiolepis</i>	11	1:1	--	11
<i>Schinus molle</i>	2	1:1	--	2
<i>S. terebenthifolius</i>	7	1:1	--	7
<i>Ulmus parvifolia</i>		1:1	--	3
<i>Washingtonia robusta</i>	24	1:1	--	24
Minimum Required Escondido Mitigation Tree Plantings				453
Minimum Proposed Landscape Plantings				453
Minimum Proposed Habitat Area Tree Plantings				1,500 to 2,000

¹ Replacement species will be a combination of native oak, sycamore, willow, and cottonwood in the riparian areas and native oak and other landscape trees within the urbanized area of the Project.

² Total replacement trees include coast live oak and other suitable native or ornamental species that would be planted to comply with Section 33-1069 of the City's Municipal Code, as well as trees that would be provided to mitigate habitat impacts as required in mitigation measures Bio-4 and Bio-5.

Source: Dudek 2014

8. **Cul-1** The following mitigation monitoring program shall be implemented to address potential impacts to undiscovered buried archaeological resources within the project site and off site. This program shall include, but not be limited to, the following actions:
1. Prior to issuance of a grading permit, the applicant shall provide written verification to the City that a qualified archaeologist has been retained to implement the monitoring program. This verification shall be presented in a letter from the Project archaeologist to the lead agency. The City, prior to any pre-construction meeting, shall approve all persons involved in the monitoring program, including a qualified Native American monitor.

Asbestos NESHAP, as specified under Rule 40, CFR 61, Subpart M, (enforced locally by the San Diego Air Pollution Control District, under authority, per Regulation XI, Subpart M - Rule 361.145), requires the owner of an establishment set for demolition to submit an **Asbestos Demolition or Renovation Operational Plan** at least 10 working days before **any** asbestos stripping or removal work begins (such as site preparation that would break up, dislodge or similarly disturb **asbestos containing material**.)

Removal of all asbestos-containing material or potential asbestos-containing material on the project site shall be monitored by the certified asbestos consultant and shall be performed in accordance with all applicable laws, including California Code of Regulations, Title 8, Section 1529, Asbestos; OSHA standards; and the San Diego County Air Pollution Control District Rule 361.145, Standard for Demolition and Renovation.

11. **Haz-2** Demolition or removal of existing on-site structures constructed pre-1979 shall be performed by a Certified Lead Inspector/Assessor, as defined in Title 17, CCR Section 35005, and in accordance with all applicable laws pertaining to the handling and disposal of lead-based paint. Lead-based materials exposure is regulated by Cal OSHA. Title 8 CCR Section 1532.1 requires testing, monitoring, containment, and disposal of lead-based materials such that exposure levels do not exceed Cal OSHA standards.
12. **Haz-3** The following mitigation measure addresses contaminated soils and their export off-site.
 1. Prior to issuance of a grading permit the applicant shall prepare a Response Plan in conformance with DTSC standards to address risks associated with the detected concentrations of TPH-DRO and arsenic on the project site. The Response Plan shall be approved by DTSC and submitted to the City prior to the issuance of a grading permit. The Response Plan will include one of the following three remedial methods to reduce impacts to a less than significant level. Remedial Method Options 1, 2 and 3 would require a small amount of soil export amounting to up to approximately 1,353 cubic yards of soil.

Remedial Method Option 1

- a) Remedial Method: Excavation and off-site disposal of TPH-impacted soil, approximately 20 cubic yards; and arsenic-impacted soil (AIS), approximately 1,333 cubic yards.
- b) Overseeing Agencies: California DTSC, along with California Department of Fish and Wildlife (CDFW) and RWQCB for portions of the project site near the creek.

Remedial Method Option 2

- c) Remedial Method: Excavation and off-site disposal of TPH-impacted soil, approximately 20 cubic yards; and excavation and on-site burial of AIS, approximately 1,333 cubic yards.
- d) Overseeing Agencies: DTSC, along with CDFW and RWQCB for portions of the project site near the creek.

Remedial Method Option 3

- e) Remedial Method: Excavation and off-site disposal of TPH-impacted soil, approximately 20 cubic yards; and capping of AIS with 800 cubic yards of soils (therefore, no excavation and off-site disposal of AIS is required). Capping is a process used to cover contaminated soils to prevent the migration of pollutants and is a reliable technology for sealing off contamination from the above-ground environment and significantly reducing underground migration of pollutants away from the site. The cap shall be made of soil native to the site.
 - f) Overseeing Agencies: DTSC, along with CDFW and RWQCB for portions of the project site near the creek.
2. Prior to issuance of a grading permit for the selected remedial method (options 1, 2, or 3), any areas proposed for disturbance on the project site where previous hazardous materials releases have occurred must be mitigated in accordance with the requirements of the overseeing regulatory agency (DTSC, RWQCB or CDFW, as appropriate) for the proposed residential use of the site. All proposed groundbreaking activities within areas of identified or suspected contamination shall be conducted according to a site-specific health and safety plan, prepared by a licensed professional in accordance with California Division of Occupational Safety and Health (Cal OSHA) regulations (contained in Title 8 of the California Code of Regulations) to protect the public and all workers in the construction area prior to the commencement of groundbreaking.

3. Following completion of the selected remedial method, the project applicant shall seek and obtain written regulatory closure letter from the DTSC specifying that no further action is necessary in regard to the TPH- and arsenic-impacted soil. Overseeing Agencies: DTSC, along with CDFW and RWQCB for portions of the project site near the creek.
4. The transportation of the exported soil is included as part of the grading activities associated with the Project and is described in Section 4.3.3, Site and Infrastructure Improvements and is addressed in Sections 5.3 Air Quality, 5.11 Noise and 5.14 Transportation and Traffic.
5. Regarding potential dust migration impacts associated with the excavation, loading and transport of contaminated soils, all trucks transporting soil or waste shall comply with 22 California Code of Regulations (CCR) Part 66263.16, Standards Applicable to Transporters of Hazardous Waste. The following mitigation measures that will be implemented include but are not limited to:
 - a. Dust monitoring shall be conducted during loading of contaminated soil in conformance with the procedures and standards described below under mitigation measure Haz-4.
 - b. Water shall be used for dust suppression, if necessary.
 - c. Transport trucks shall have the contaminated soils loads covered with a retractable during transportation;
 - d. Transport trucks shall have at a minimum one foot of freeboard with the truck is loaded to prevent spillage.
 - e. Standard SWPPP procedures described in Section 5.9.3.1 Issue 1: Water Quality Standards and Requirements shall be implemented to prevent the migration of contaminated soil from the project site, such as installation of devices specially designed to clear tires of sediment and hold it for later cleanout.
6. Potential human health risk mitigation measures would include the installation of soil vapor barriers beneath proposed building structures to prevent soil vapor intrusion if the vapor levels exceed regulatory standards. Additionally, the pockets of soil impacted by petroleum hydrocarbons and/or by heavy metals at concentrations above regional background levels will be mitigated through a removal action with either on-site strategic placement to eliminate the exposure pathway or off-site disposal at a suitable landfill.
7. The truck haul route for the export of contaminated soils will head north from the project site along Felicita Road to Gamble Lane and then to Interstate 15. The return route would follow the same roadways.
13. **Haz-4** This measure addresses potential health impacts from exposure to contaminated dust during construction, both for workers at the Project and for residents around the Project during construction. This measure would take place during grading activities associated with remediating the contaminated soils on site and it would be monitored by a qualified hazardous materials specialist. The features of the measure are as follows.
 1. Remedial excavation work and grading activities will be performed pursuant to a Site Health & Safety Plan developed in accordance with federal law, as set forth at 29 CFR 1910.20 (i.e., the "Hazardous Waste Operations and Emergency Response," also known as the HAZWOPER standard), which requires, among other things, that all personnel dealing with disturbed soil have the training, experience and medical clearance to work on the Project.
 2. Air will be monitored for contaminant concentrations in dust in comparison to action levels based on the Occupational Safety and Health Administration (OSHA) Permissible Exposure Limit (PEL) for arsenic of 0.01 milligrams per cubic meter (mg/m³) and the PEL for trichloroethylene (TCE) of 100 ppm. The Mitigation Report further specifies that arsenic will act as the surrogate for all other particulate exposures because it has the most stringent respirable dust action level of all the potential dust contaminants at the Project and that TCE will act as the surrogate for volatile organic compounds because it is the hazardous constituent potentially present in groundwater at the highest concentration.
 3. In the event the results of ongoing air monitoring indicate contaminant concentrations at least 75 percent of the established Action Levels, developed using the PELs for arsenic and TCE, exposure risks will be controlled through the use of personal protective equipment by workers at the Project to prevent their exposure to these

operative, vested or final and any local permits issued for the project will be invalid (Section 711.4(c)(3) of the Fish and Game Code).

8. Prior to issuance of a grading permit, the emergency access road width, pavement and gate specifications shall be reviewed and approved by the Fire Department.
9. All project generated noise shall comply with the City's Noise Ordinance (Ord. 90-08) to the satisfaction of the Planning Division.
10. Three copies of a revised Tentative Map, reflecting all modifications and any required changes shall be submitted to the Planning Division for certification prior to submittal of grading plans, landscape plans and the final map.
11. All residential lots shall meet the minimum 10,000 SF lot area and 80-foot average lot width requirements of the Master Development Plan. In no event shall the reduction of lot sizes for this clustered residential development exceed the amount of open space area within the development. Conformance with these requirements shall be demonstrated on the Tentative Map submitted for certification, the grading plan and final map. Non-compliance with these minimum standards will result in revisions to the map.
12. No street names are established as part of this approval. A separate request shall be submitted prior to final map.
13. Two exemptions from the Grading Ordinance are approved as part of this project. Grading Exemption No. 1 is a proposed 2:1 cut slope up to 35 feet in height on Lots 4-9 where the Grading Ordinance permits a 20-foot-high cut slope. Grading Exemption No. 2 is a proposed 2:1 combination cut/fill slope up to 17 feet in height between Lot 3 and Lot "C" where the Grading Ordinance permits a 10-foot-high fill slope.
14. Prior to recordation of the final map or issuance of a grading permit, two copies of the CC&Rs shall be submitted to the Planning Division for review and approval. The CC&Rs shall contain provisions for the maintenance of any common landscaping (including landscaping in the public right-of-way fronting the project), open space, fences/walls, emergency access roads, detention basins, common drainage facilities, fuel modification zones, etc. to the satisfaction of the Planning and Engineering Divisions. Other conditions of approval identified for inclusion into the CC&Rs shall be included to the satisfaction of the Planning Division. A review fee established in the current fee schedule shall be collected at the time of submittal.
15. This Tentative Subdivision Map and Planned Development shall expire three years after the date of final approval if a final map has not been approved or an extension of time has not been granted. The life of the associated project entitlements shall run concurrently with the life of the Tentative Map.
16. Prior to issuance of a grading permit, the applicant shall provide evidence to the Planning Division indicating the Department of Toxic Substances Control has approved a "Response Plan" for the remedial work necessary to address contaminants in the soil at the project site.
17. Prior to issuance of grading or building permits, the applicant shall record a deed restriction over the entire project site that prohibits the use of groundwater on the project site for any purpose, including without limitation any extraction of groundwater.
18. Prior to the recordation of the final map, the applicant shall submit to the City for review and approval a standalone homebuyer disclosure providing the homebuyer clear and concise notice of the maximum allowable impervious area on their lot as part of the home purchase process. Prior to issuance of building permits for the final phase, the homebuilder shall provide signed copies of the disclosure statements for all lots in previous phases to the Planning Division.
19. Prior to issuance of building permits, the applicant shall record a deed restriction on all residential lots within the development that prohibits any future property owner from installing more than the maximum allowable impervious

surface area (anticipated to be 2,053 square feet, but will be re-confirmed during final engineering). This restriction against installing more than the maximum allowable impervious area shall be incorporated into the CC&Rs as well.

20. The CC&Rs shall set forth requirements for the HOA to review and approve all homeowner landscape and hardscape plans to ensure compliance with the maximum impervious area parameter and the approved Fire Protection Plan. Such review and approval process shall be conducted by a licensed landscape architect or licensed architect hired by the HOA. Such plans shall clearly notate in schedule form the square footage of existing hardscape and hardscape proposed to be added so as to demonstrate that it does not exceed the maximum impervious area allowed on the lot. The water surface area for swimming pools and other water features shall not count towards impervious areas since they do not contribute runoff.
21. Street lights are to be installed in conformance with the street lighting plan which is illustrated and textual described in Attachments B and C of Appendix A Specific Alignment Plan Analysis of the Final EIR to the satisfaction of the City Engineer. Some of the key features of the lighting plan shall include decorative light fixtures that have the International Dark Sky Association "Fixture Seal of Approval." Street light spacing on Felicita Road will be similar to that of the City standards with light fixtures installed only on the project side of the street. No street light fixtures will be installed on the western side of Felicita Road or northern side of Hamilton Lane so as to avoid any conflict with existing improvements located on neighbors' property.
22. Street improvement plans for Felicita Road shall include the features identified in the traffic calming plan which can be found in Appendix O-1 Traffic Impact Analysis in the Final EIR to the satisfaction of the City Engineer.
23. The final map shall include a conservation easement over the biological open space lots. The HOA shall be responsible to contract with a qualified biologist/resource manager to oversee management of these areas.

Preliminary, Master and Precise Development Plan

1. The Project includes a Fire Protection Plan which is found in Appendix J of the Oak Creek Final EIR and describes the wildland fire resistance features incorporated into the project. The key fire resistance features incorporated into the project are listed below:
 - a. Any structure or landscape item in the designated Fuel Modification Zone areas must be constructed from non-combustible materials such as stone, steel, or heavy timber/pre-treated, fire retardant wood. HOA must enforce as part of the CC&Rs, a landscape plan review process for a formal landscape improvement plan submittal and approval by a licensed landscape architect to ensure that plant palette and non-combustible materials are employed within the designated Fuel Modification Zones.
 - b. Fuel modification for common area lots will be pre-designed and installed by the project developer. For private lots, landscape plans for front, side, and rear yards for the entire project will need to be approved by the HOA landscape committee through a formal process prior to any landscape improvement work by a homeowner.
 - c. Designated Fuel Modification Zones that include rear and side-yard areas (outside house setback envelopes) will be inspected annually by the landscape committee and/or Escondido Fire Department for conformance with the requirements provided in the project's Fire Protection Plan. CC&R's shall include this language so that homeowners acknowledge this provision.
 - d. External dryer vents will be baffled or fitted with ember resistant mesh.
 - e. Exposed wood, including fascia and architectural trim boards, will not be allowed on the side of structures facing the wildland fuels unless considered "heavy timber" or beams with a minimum nominal dimension of 4 inches.
 - f. No combustible fences will be allowed in the Fuel Modification Zone areas. Fences using fire retardant treated wood products will be subject to approval of the Escondido Fire Department.
 - g. Heat deflecting landscape walls will be provided for all structures that abut the on-site riparian restoration areas as shown on the plan for the Oak Creek Fuel Management Zones.

2. All requirements of the Public Art Partnership Program, Ordinance No. 86-70, shall be satisfied prior to building permit issuance. The ordinance requires that a public art fee be added at the time of the building permit issuance for the purpose of participating in the City Public Art Program.
3. All exterior residential lighting shall conform to the requirements of Article 35 (Outdoor Lighting) of the Escondido Zoning Code. All residential outdoor lighting shall be provided with appropriate shields to prevent light from adversely affecting adjacent properties.
4. The project shall be developed with the unit mix and location of proposed units as identified on the Preliminary Plotting Plan. Deviations from the Preliminary Plotting Plan may be approved on a case-by-case basis by the Director of Community Development.
5. Colors, materials and design of the project shall be in substantial conformance with the plans/exhibits and details in the staff report to the satisfaction of the Planning Division.
6. Setbacks for residential structures and accessory structures shall be required as described in the Details of Request section of the staff report and as illustrated on the Planned Development Permit Site Plan. California rooms provided as an option by the builder must meet the rear yard setback. Open-sided structures, such as patio covers, gazebos, outdoor kitchens and fireplaces may encroach 15 feet into the rear yard setback. Room additions and enclosed structures may encroach 10 feet into the rear yard setback. Attached or detached accessory structures and room additions within the rear yard setback shall be limited to one-story and shall not include second-floor decks or balconies. Swimming pools, spas and associated equipment shall not be permitted in the front yard and must be located at least five feet from side and rear property lines.
7. Exterior stairways for the Plan 1X shall be required to meet all building setbacks required for the primary structure.
8. A minimum 15' separation between homes shall be maintained at all times.
9. The administrative adjustment process administered by the Planning Division may be utilized by homeowners to request encroachments into setback areas up to 25% of the required setback.
10. Guest homes shall not be permitted within this development.
11. Prior to issuance of building permits for the first phase, the applicant shall submit a complete design review package to the Planning Division for the entry guardhouse, entry monumentation and gates, and project identification signage.
12. Project identification signs shall be permitted in the locations shown on Sheet L-4 of the Overall Fence and Wall Exhibit. No signage is approved as part of this permit. A separate sign permit shall be required prior to the installation of any signs.
13. The proposed six-foot-high heat deflecting landscape walls shown on the fencing plan adjacent to the fuel modification zones shall be constructed of masonry or some other opaque fire resistive material to the satisfaction of the Planning Division and the Fire Department. Glass shall not be permitted for these walls unless the glass has been modified to prevent bird collisions using materials recommended by the American Bird Conservancy or approved equal to the satisfaction of the Planning Division.
14. Prior to issuance of a building permit for Lot 55, which is located approximately 110 feet from the Felicita Road centerline, an interior noise analysis shall be submitted to the Planning and Building Divisions to include the implementation of noise attenuation measures to reduce interior noise levels to 45 dBA. Building plans for Lot 55 shall include the noise attenuation construction features identified in the noise analysis prior to approval of a building permit for that lot.
15. Perimeter fuel modification areas shall be implemented and approved by the Escondido Fire Department prior to combustible materials being brought on the site.

16. As proposed by the applicant in the Oak Creek Project Final EIR, in response to neighborhood concerns the applicant shall purchase agricultural mitigation credits from either a California land trust, authorized to accept grants by the Department of Conservation's California Farmland Conservancy Program, or the San Diego County Purchase of Agricultural Conservation Easement (PACE) Program Mitigation Bank, in an amount sufficient to acquire an agricultural conservation easement over land of annual economic productivity equal to that of the 25.1 acres lost through the development of the Project. As an example, if the annual economic productivity of the 25.1 acres lost through the development of the Project is \$100,000 and the annual economic productivity of an acre of land subject to a California land trust or the PACE Program is \$20,000, then the applicant shall purchase five mitigation credits from the land trust or the PACE Program Mitigation Bank. Verification of a qualifying credit purchase shall be provided to the Planning Division prior to issuance of a grading permit.

Landscaping Conditions

1. The landscaping for the proposed development will be implemented in a manner consistent with the project's planting plan as illustrated in Appendix P Planting Plan – Reduced Residential Footprint Alternative in the Final EIR to the satisfaction of the Planning Division. All landscaping proposed within fuel modification zones shall be consistent with the Fire Protection Plan for the project (Final EIR Appendix J).
2. Prior to issuance of building permits for the second residential phase, all habitat restoration, detention basin and perimeter landscaping shall be installed. Slope and interior street landscaping shall be installed commensurate with each phase of the development. All vegetation (including existing vegetation to be retained) shall be maintained in a flourishing manner, and kept free of all foreign matter, weeds and plant materials not approved as part of the landscape plan. All irrigation shall be maintained in fully operational condition.
3. Five copies of a detailed landscape and irrigation plan(s) shall be submitted prior to issuance of grading or building permits, and shall be equivalent or superior to the planting plan attached as an exhibit to the satisfaction of the Planning Division. A plan check fee based on the current fee schedule will be collected at the time of the submittal. The required landscape and irrigation plans(s) shall comply with the provisions, requirements and standards outlined in Article 62 (Landscape Standards) of the Escondido Zoning Code. The plans shall be prepared by, or under the supervision of a licensed landscape architect.
4. The project landscape plan and individual homeowner landscape plans for fuel modification areas shall be prepared in accordance with the concept plans provided with the project and the following criteria listed in the Fire Protection Plan for the project (Final EIR Appendix J) to the satisfaction of the Fire Department and the Planning Division:
 - a. Non-fire resistive trees (including conifers, pepper trees, eucalyptus, cypress, Washingtonia palms and acacia species), shall not be planted on this site. All fire resistive tree species (many species including oak) shall be planted and maintained at a minimum of 10 feet from the tree's drip line to any combustible structure.
 - b. For streetscape plantings, fire resistive trees can be planted 10 feet from edge of curb to center of tree trunk. Care should be given to the type of tree selected, that it will not encroach into the roadway, or produce a closed canopy effect.
 - c. Limit planting of large unbroken masses especially trees and large shrubs. Groups should be two to three trees maximum, with mature foliage of any group separated horizontally by at least 10 feet, if planted on less than 20% slope, and 20 feet, if planted on greater than 20% slope.
 - d. If shrubs are located underneath a tree's drip line, the lowest branch should be at least three times as high as the understory shrubs or 10 feet, whichever is greater.
 - e. Existing trees can be pruned 10 feet away from roof, eave, or exterior siding, depending on the tree's physical or flammable characteristics and the building construction features.
 - f. All tree branches shall be removed within 10 feet of a fireplace chimney or outdoor barbecue.
5. The installation of the common area and right-of-way landscaping and irrigation shall be inspected by the project landscape architect upon completion. He/she shall complete a Certificate of Landscape Compliance certifying that

the installation is in substantial compliance with the approved landscape and irrigation plans and City standards. The applicant shall submit the Certificate of Compliance to the Planning Division and request a final inspection.

6. Street trees shall be provided along each of the site's street frontages, in conformance with the project planting plan and the City of Escondido Street Tree List. Trees within five feet of the pavement shall be provided with root barriers.
7. Street trees shall be permitted in roadside fuel management zones provided the following standards are maintained by the HOA.
 - a. Crowns of trees located within defensible space shall maintain a minimum horizontal clearance of 10 feet for fire resistant trees. No non-fire resistive trees will be allowed.
 - b. Mature trees shall be pruned to remove limbs one-third the height or 6 feet, whichever is less, above the ground surface adjacent to the trees.
 - c. Dead wood and litter shall be regularly removed from trees.
 - d. Ornamental trees shall be limited to groupings of 2-3 trees with canopies for each grouping separated horizontally as described in Table 4907.3 from Escondido Fire Code.
8. Prior to issuance of building permits, all fuel modification zones required to be maintained by the HOA shall be permanently marked at the property line to delineate the zones and aid ongoing maintenance activities that will occur on site.
9. The CC&Rs for the proposed development shall require that the homeowner landscape installation on residential lots must be completed within six (6) months of close of escrow.
10. The builder will be responsible for providing initial stabilization of the front yards, using hydro-seed and the homeowner shall be responsible for maintaining the method of stabilization through the completion of landscape improvements installed by the homeowner.

Fire Department Conditions

Fire Protection Systems

1. ☐ NFPA 13 ☒ NFPA 13R ☒ NFPA 13D **automatic fire sprinkler system** will be required.
2. Sprinklers will be required on all overhangs exceeding four feet.
3. Fire hydrants capable of delivering ☐ 1,500 GPM ☒ 2,500 GPM at 20 PSI residual pressure are required every ☐ 500 feet ☒ 300 feet ☐ other _____

Access

4. Access roads exceeding 20% slope are not allowed. Access roads over 15% slope require fire sprinkler systems in the served homes. Homes with driveways exceeding 15% will require Portland cement with rake or broom finish.
5. Dead-end roads over 600' (urban) and 800' (rural) require a secondary access.
6. Driveways serving three or more homes are considered access roads and must be a minimum of 24' wide. (Engineering may require a minimum width of 28')
7. Speed humps/bumps will not be allowed.
8. Access roads serving a single-family home must have a paved driveway within 150 feet of the furthest point of the structure and must be a minimum of 16-feet wide (Escondido Ordinance 2011-03 (RR) Section 503.2.1).

9. Dead-end access roads and driveways over 150' and/or exceeding 15% slope require a Fire Department turn-around and may require a turn-out near the mid point.
10. Minimum radius for a cul-de-sac is 36 feet.
11. All-weather paved access, able to support the weight of a fire engine (75K lbs.) and approved fire hydrants must be provided prior to the accumulation of any combustible materials on the job site (Escondido Ordinance 2011-03 (RR) Section 503.2.1).
12. All gated entrances must be equipped with electric switches accessible from both sides and operable by dual-keyed switches for both fire and police. Electric gates must be operable by Fire Department strobe detectors, Opticom and Knox switches and allow free exiting. A funding method to provide ongoing maintenance of fire lanes, electric gates, and other fire & life safety requirements **must** be provided for in the CC&Rs and/or the Association, to the satisfaction of the Fire Department. A responsible property manager must be easily accessible to the Fire Department.
13. A 28' inside turning radius will be required on all corners.
14. Must maintain a minimum required access width of 28' to allow for on-street parking, loading and unloading of vehicles and still provide clear and unobstructed emergency vehicle access. One side to be marked as "FIRE LANE" (must meet Escondido Fire Department standards).
15. 13 feet 6 inches of vertical clearance must be provided in all access and driveway areas. Trees that obstruct the vertical clearance or access width must be trimmed or removed and provisions to provide ongoing maintenance must be reflected in the CC&Rs. A copy of the CC&Rs listing this requirement must be submitted.
16. Red curbs with 4" white lettering, "NO PARKING FIRE LANE" signs are required in 24'-wide access areas and provisions to provide ongoing maintenance must be reflected in the CC&Rs. A copy of the CC&Rs listing this requirement must be submitted to the Escondido Planning Division. "FIRE LANE" signs and red curbs must meet specifications of the Escondido Police Department.
17. The Fuel Modification Zones must be permanently marked and provisions to provide ongoing maintenance must be reflected in the CC&Rs. A copy of the CC&Rs listing this requirement must be submitted to the Planning Division.
18. Hose pull lengths shall be limited to a maximum of 150 feet to the furthest point of the residence and shall be shown on the building plans to the satisfaction of the Fire Department.
19. Homes located in or adjacent to a very high fire severity zone will require enhanced building construction as noted below.

To mitigate for the reduction of a 100' fuel modification zone, the following conditions are required and must comply with CBC 2010, Chapter 7A:

- a. Exterior windows, window walls, glazed doors, and glazed openings within exterior doors must be insulating-glass units with a minimum of one tempered pane, or glass block units, or have a fire resistance rating of not less than 20 minutes when tested according to ASTM E 2010. Skylights must be tempered glass or a Class "A" rated assembly.
- b. Roofs must have a Class A roof covering. For roof coverings where the profile allows a space between the roof covering and roof decking, the spaces must be constructed to prevent the intrusion of flames and embers, be fire stopped with approved materials or have one layer of No. 72 cap sheet installed over the combustible decking.

- c. Exterior wall surfaces shall comply with provisions of the 2010 C.B.C. and the following requirements: the exterior wall surface shall be of a non-combustible material. In all construction, exterior walls are required to be protected with 2-inch nominal solid blocking between rafters at all roof overhangs, or in the case of enclosed eaves, terminate at the enclosure.
- d. Roof and attic vents, when required by Chapter 15 of CBC, must resist the intrusion of flame and embers into the attic area of the structure, or must be protected by corrosion-resistant, non-combustible wire mesh with ¼-inch (6mm) openings or its equivalent. Vents must not be installed in the eaves and cornices. Eaves and soffits must be protected by ignition-resistant materials or noncombustible construction on the exposed underside.
- e. Exterior door assemblies must be of approved non-combustible construction, solid-core wood having stiles and rails not less than 1 ¾" thick with interior field panel thickness of no less than 1 ¼" or have a fire protection rating of not less than 20 minutes when tested according to ASTM E 2074. Windows within doors and glazed doors shall comply with the above glazing requirements (CBC 708A.3).
- f. Paper-faced insulation shall be prohibited in attics and ventilated spaces.
- g. Gutters and downspouts shall be constructed of non-combustible material. Gutters must be designed to reduce the accumulation of leaf litter and debris that contribute to roof edge ignition.
- h. Fencing attached to or immediately adjacent to structures which face wildland fuels must have the first five feet constructed of non-combustible heavy timber, or fire retardant pressure-treated wood or materials.
- i. Exterior balconies, carports, decks, patio covers, unenclosed roofs and floors, and other similar architectural appendages and projections where any portion of such surface is within 10 feet of the primary structure, must be of non-combustible construction, fire retardant treated wood, heavy timber construction, or one-hour fire resistive construction.

9. Adequate horizontal sight distance shall be provided at project entrance on Felicita Road in accordance with the requirements of the City Engineer.
10. The address of each dwelling unit shall either be painted on the curb or, where curbs are not available, posted in such a manner that the address is visible from the street. In both cases, the address shall be placed in a manner and location approved by the City Engineer and Fire Marshal.
11. The developer will be required to provide a detailed detour and traffic control plan, for all construction within existing rights-of-way, to the satisfaction of the Traffic Engineer and the Field Engineer. This plan shall be approved prior the issuance of an Encroachment Permit for construction within the public right-of-way.

GRADING

1. A site grading and erosion control plan shall be approved by the Engineering Department. The first submittal of the grading plan shall be accompanied by 3 copies of the preliminary soils and geotechnical report. The soils engineer will be required to indicate in the soils report and on the grading plan, that he/she has reviewed the grading and retaining wall design and found it to be in conformance with his or her recommendations.
2. All proposed retaining walls shall be shown on and permitted as part of the site grading plan. Profiles and structural details shall be shown on the site grading plan and the Soils Engineer shall state on the plans that the proposed retaining wall design is in conformance with the recommendations and specifications as outlined in the Geotechnical Report. Structural calculations shall be submitted for review by a Consulting Engineer for all walls not covered by Regional or City Standard Drawings.
3. Cut slope setbacks must be of sufficient width to allow for construction of all necessary screen walls and/or brow ditches.
4. The developer shall be responsible for the recycling of all excavated materials designated as Industrial Recyclables (soil, asphalt, sand, concrete, land clearing brush and rock) at a recycling center or other location(s) approved by the City Engineer.
5. A General Construction Activity Permit is required from the State Water Resources Board for all storm water discharges associated with a construction activity where clearing, grading and excavation results in a land disturbance of one (1) or more acres.
6. All blasting operations performed in connection with the improvement of the project shall conform to the City of Escondido Blasting Operations Ordinance.
7. Unless specifically permitted to remain by the County Health Department, any existing wells within the project shall be abandoned and capped, and all existing

septic tanks within the project shall be pumped and backfilled per County Health Department requirements.

8. Prior to approval of final plans, the developer will be required to obtain permission from adjoining property owners for any off-site street improvements, grading and slopes necessary to construct the project and/or the required improvements.

DRAINAGE

1. Final on-site and off-site storm drain improvements shall be determined to the satisfaction of the City Engineer and shall be based on the approved drainage study prepared by the Developer's engineer.
2. Portions of the project lie within the 100-year flood zone as designated on current flood insurance rate maps. All proposed development within these zones shall conform to the City's Floodplain Ordinance. A Conditional Letter of Map Revision (CLOMR) shall be issued by the Federal Emergency Management Agency (FEMA) prior to Grading Plan approval. A Letter of Map Revision (LOMR) shall be issued by FEMA prior to final occupancy of any unit.
3. A Final Water Quality Technical Report in compliance with City's latest adopted Storm Water Management Requirements shall be prepared and submitted for approval together with the final improvement and grading plans. The Water Quality Technical Report shall include hydro-modification calculations, post construction storm water treatment measures and maintenance requirements.
4. All onsite drainage system, storm water treatment and retention facilities and their drains including the bio-retention basins shall be maintained by home owners' association. Provisions stating this shall be included in the CC&Rs.
5. The developer will be required to submit a signed, notarized and recorded copy of Storm Water Control Facility Maintenance Agreement by the home owners' association to the City Engineer. This Agreement shall be referenced and included in the CC&Rs.
6. All storm drain systems within the project are private. The responsibility for maintenance of these storm drains shall be that of the home owners' association. Provisions stating this shall be included in the CC&Rs.

WATER SUPPLY

1. Fire hydrants together with adequate water supply shall be installed at locations approved by the Fire Marshal.
2. This project is located within Rincon Del Diablo Water District. The developer shall coordinate all water related improvements for the project with Rincon staff.

2. The developer shall be required to pay all development fees, including any repayments in effect prior to approval of the Final Subdivision Map. All development impact fees are paid at the time of Building Permit.

UTILITY UNDERGROUNDING AND RELOCATION

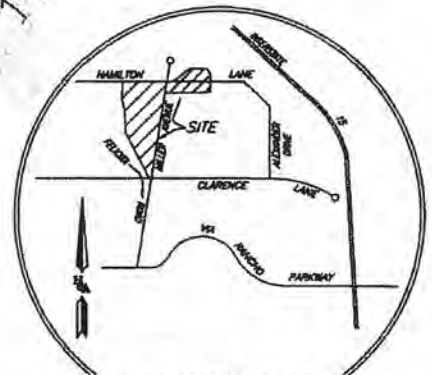
1. All existing overhead utilities within the subdivision boundary or along frontage of the fronting streets shall be relocated underground as required by the Subdivision Ordinance. The developer will not be responsible for undergrounding of overhead utilities on the other side of the fronting streets.
2. All new dry utilities to serve the project shall be constructed underground.
3. The developer shall sign a written agreement stating that he has made all such arrangements as may be necessary to coordinate and provide utility construction, relocation and undergrounding. All new utilities shall be constructed underground.

SPECIFIC PLAN FOR THE ALIGNMENT OF: FELICITA RD AND HAMILTON LN (PROPOSED BY PROJECT)



KEY MAP

SCALE: 1"=200'



VICINITY MAP

NTS

LEGEND

EXISTING FENCE	
EXISTING MANHOLE	
EXISTING MAILBOX	
EXISTING POWER POLE	
EXISTING STREET SIGN	
EXISTING LANDSCAPING	
EXISTING ELECTRICAL BOX	
EXISTING CONTOURS	
PROPOSED CONTOURS	
PROPOSED SLOPE (2:1 MAX.)	
LIMITS OF PROPOSED GRADING/DAYLIGHT	

SHEET INDEX

SHEET 1	TITLE SHEET / CITY STREET SECTION
SHEET 2	SPECIFIC ROAD PLAN FOR HAMILTON LANE
SHEET 3	SPECIFIC ROAD PLAN FOR HAMILTON LANE
SHEET 4	SPECIFIC ROAD PLAN FOR FELICITA ROAD
SHEET 5	SPECIFIC ROAD PLAN FOR FELICITA ROAD

CERTIFICATION OF ADOPTION

CITY COUNCIL RESOLUTION NUMBER _____
ON THIS _____ DAY OF _____, 20____

PLANNING DEPARTMENT:

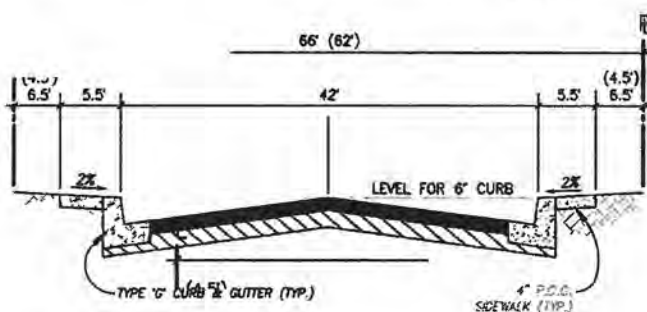
DIRECTOR COMMUNITY DEVELOPMENT

DATE

ENGINEERING DEPARTMENT:

DIRECTOR PUBLIC WORKS / ENGINEERING

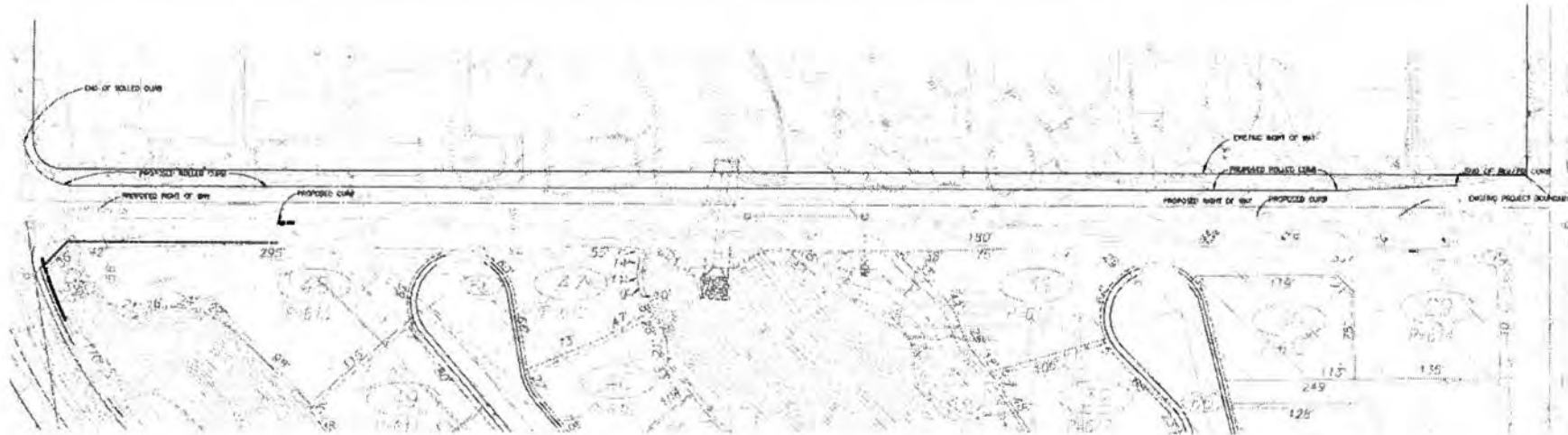
DATE



LOCAL COLLECTOR STREET
CITY STANDARD

**PROPOSED PROJECT
SUB 13-0002**

SAP



EXIST. G. EDGE
OF PAVEMENT

EX
18

NOT A PART

NOT A PART

SEE SHEET 2

MILLER AVENUE

PROPOSED MODULAR WETLANDS

HAMILTON LANE

PROPOSED CURB

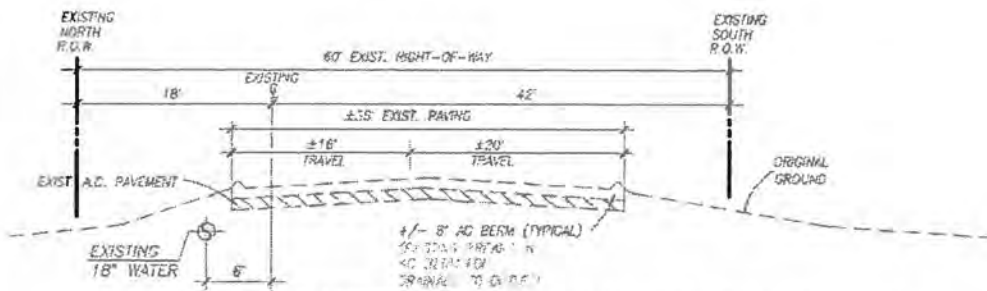
EXISTING RIGHT OF WAY

PROPOSED END OF ROAD IMPROVEMENTS

EXISTING ESMY. TO BE VACATED

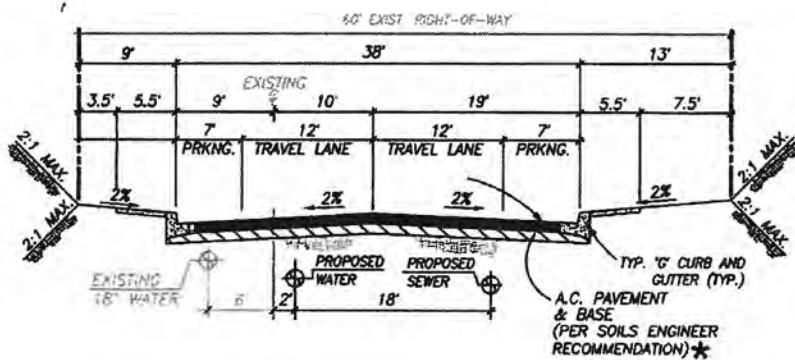
EXISTING PROJECT BOUNDARY

PROPOSED MODULAR WETLANDS
INSTALL STORM DRAIN INLET &



EXISTING HAMILTON LANE (EAST OF MILLER AVE. TO PROJECT BOUNDARY)

NOT TO SCALE

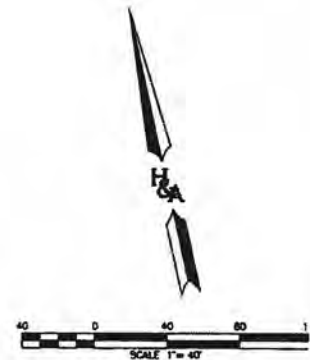


MODIFIED LOCAL COLLECTOR

PROPOSED HAMILTON LANE (EAST OF MILLER AVE. TO PROJECT BOUNDARY)

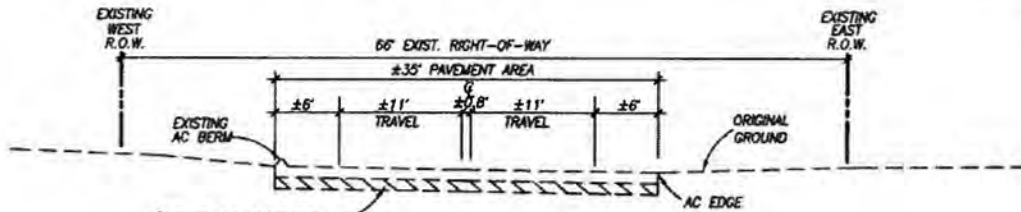
NOT TO SCALE

* EXISTING PAVEMENT MAY BE SAVED AND OVERLAYED IN LIEU OF REPLACEMENT, SUBJECT TO APPROVAL OF CITY ENGINEER.



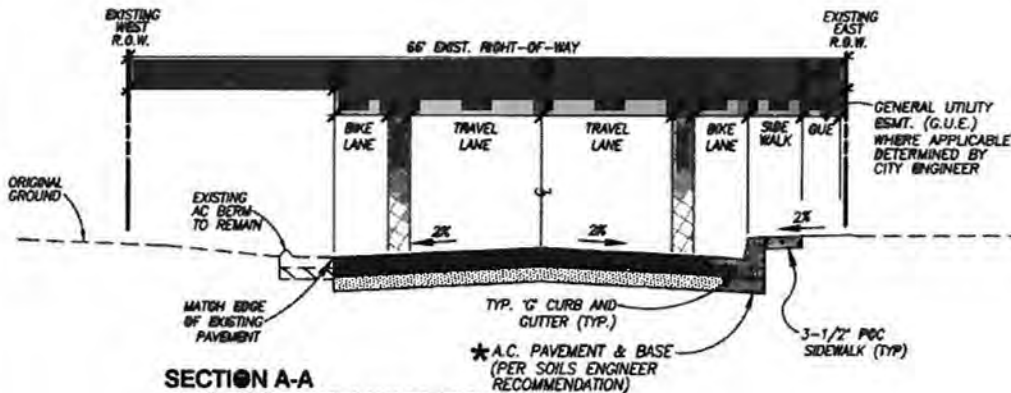
**PROPOSED PROJECT
SUB 13-0002**

SAP



* EXIST. A.C. PAVEMENT AND BASE

SECTION A-A EXISTING FELICITA ROAD



SECTION A-A PROPOSED FELICITA ROAD

* EXISTING PAVEMENT MAY BE SAVED AND OVERLAYED IN LIEU OF REPLACEMENT, SUBJECT TO APPROVAL OF CITY ENGINEER.



MATCHLINE SEE SHEET 5

**PROPOSED PROJECT
SUB 13-0002**

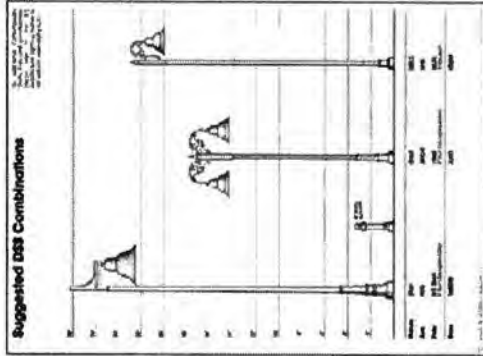
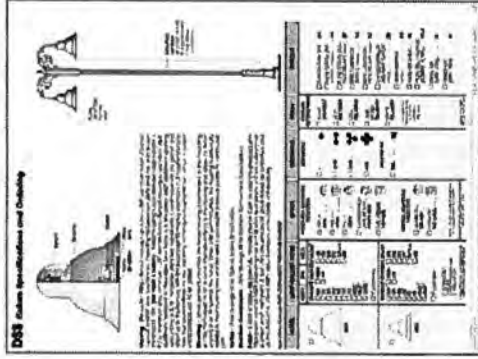
SAP



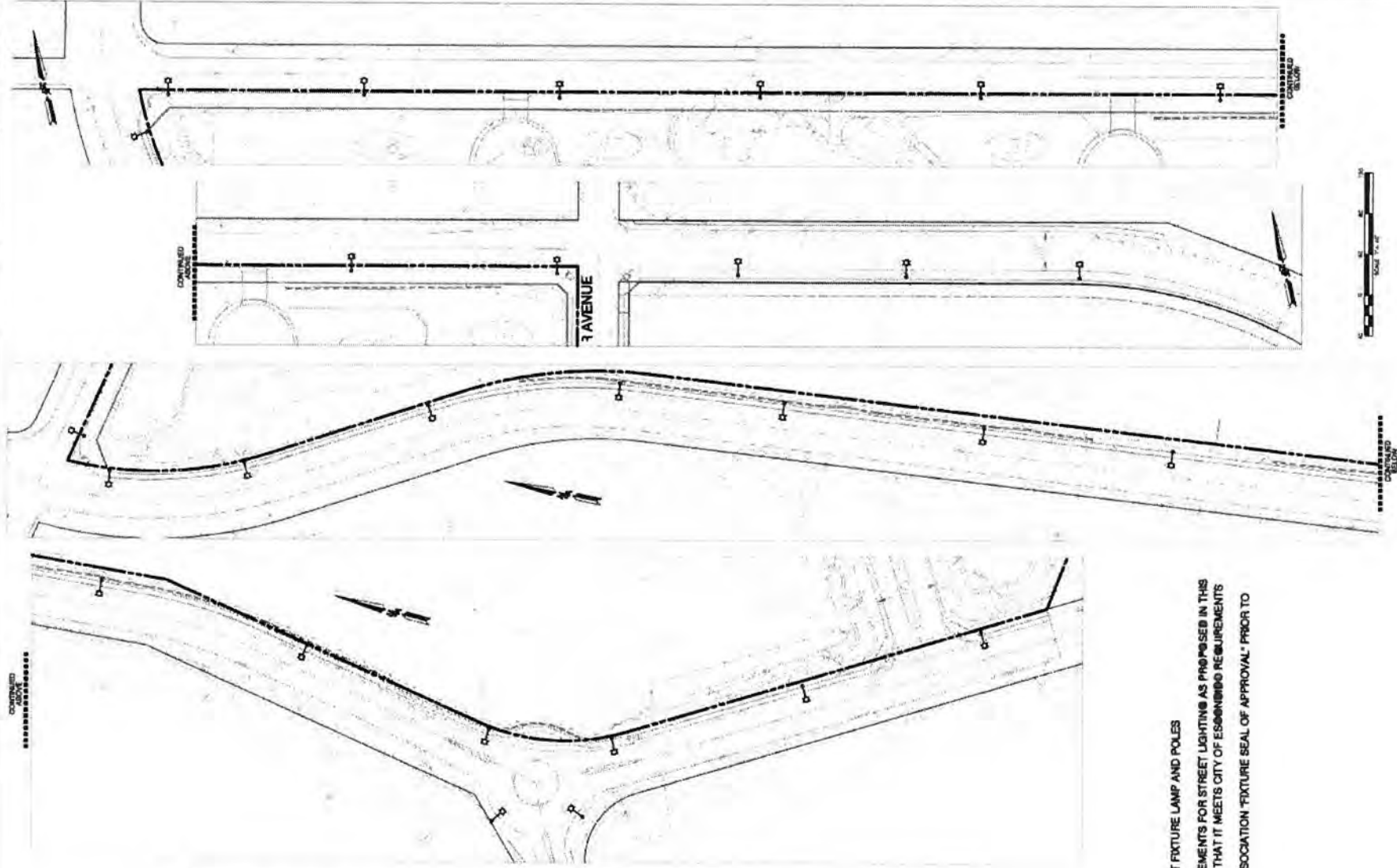
PROPOSED PROJECT
SUB 13-0002

STREET LIGHT DETAIL

(DETAIL SHOWN OR EQUIVALENT SHALL BE PROVIDED)



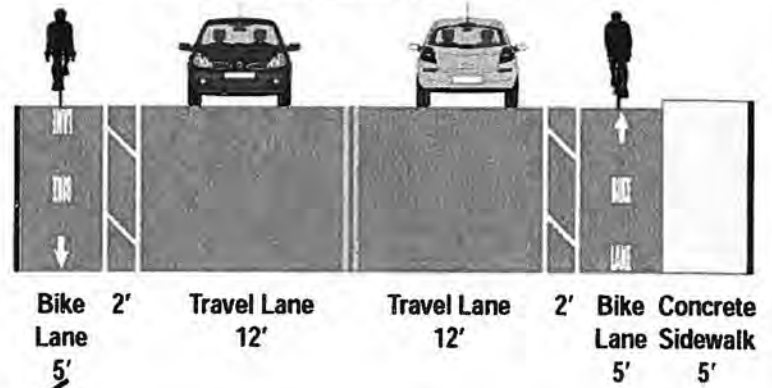
NOTES:
 ABOVE ARE ILLUSTRATIONS OF SAMPLE LIGHT FIXTURE LAMP AND POLES
 CITY HAS REVIEWED THE TECHNICAL REQUIREMENTS FOR STREET LIGHTING AS PROPOSED IN THIS
 SPECIFIC ALIGNMENT PLAN AND CONFIRMED THAT IT MEETS CITY OF ESSEXVILLE REQUIREMENTS
 PROPOSED FIXTURE WILL HAVE DARK SKY ASSOCIATION FIXTURE SEAL OF APPROVAL PRIOR TO
 INSTALLATION



PROPOSED PROJECT SUB 13-0002

SAP

Proposed Road Improvement



Place additional advanced warning signs for the stop ahead**

No widening proposed on Felicita Rd north of Hamilton Ln

Hamilton Ln

*All-Way Stop Control

Refer to Oak Creek Tentative Map for additional information



Radar-activated Speed Sign (Speed Check / Information Display)



- Road Widening
- Striping Modifications Only (No Widening)
- Future Stop Signs

**Additional Advanced Warning Signs



Conceptual Not to Scale Schematic

Figure 1

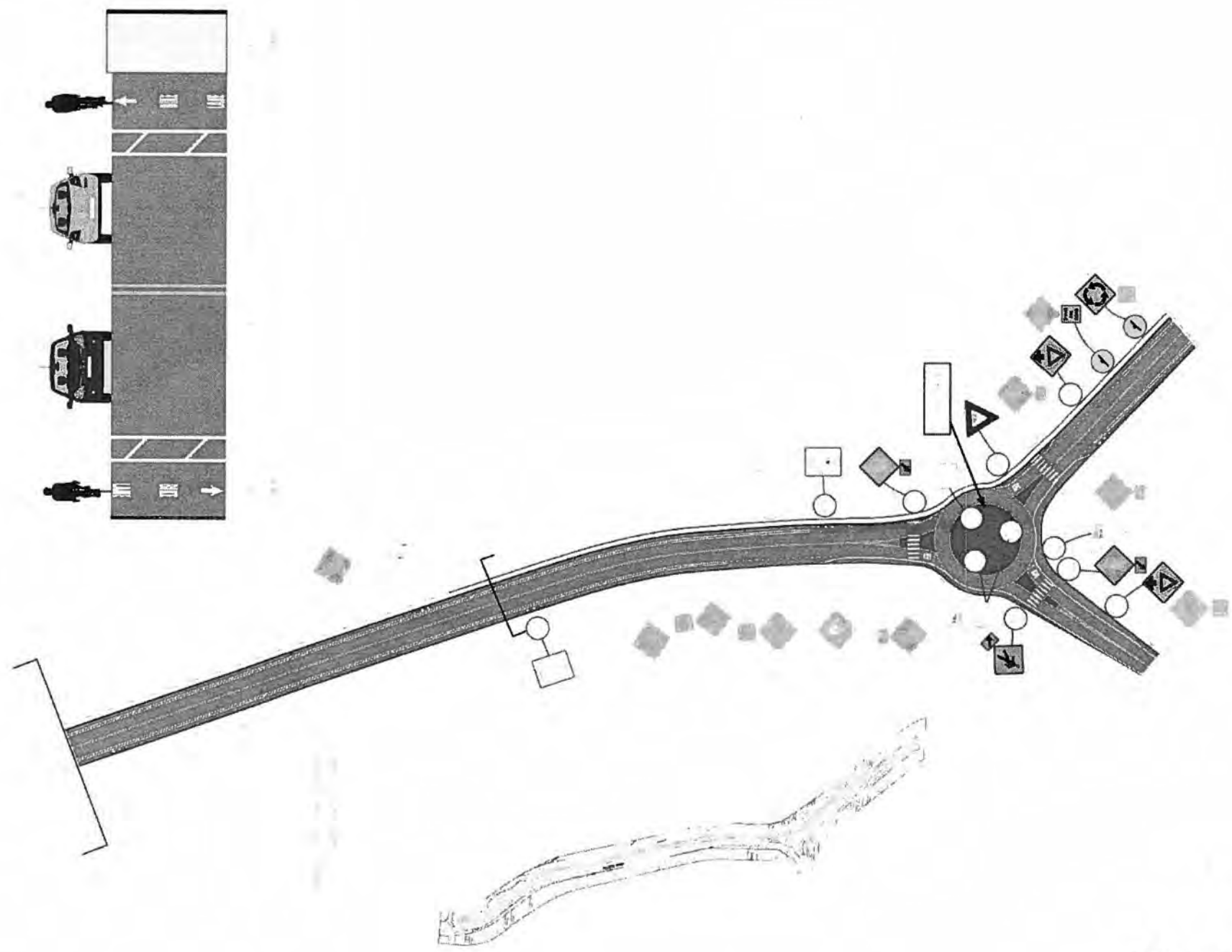
Section A

FELICITA ROAD TRAFFIC CALMING

**PROPOSED PROJECT
SUB 13-0002**



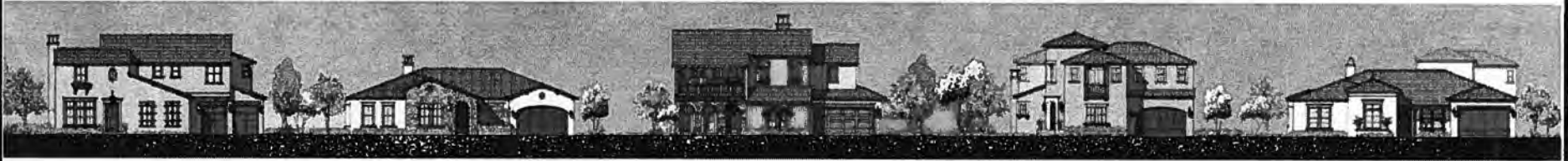
STREET SECTION

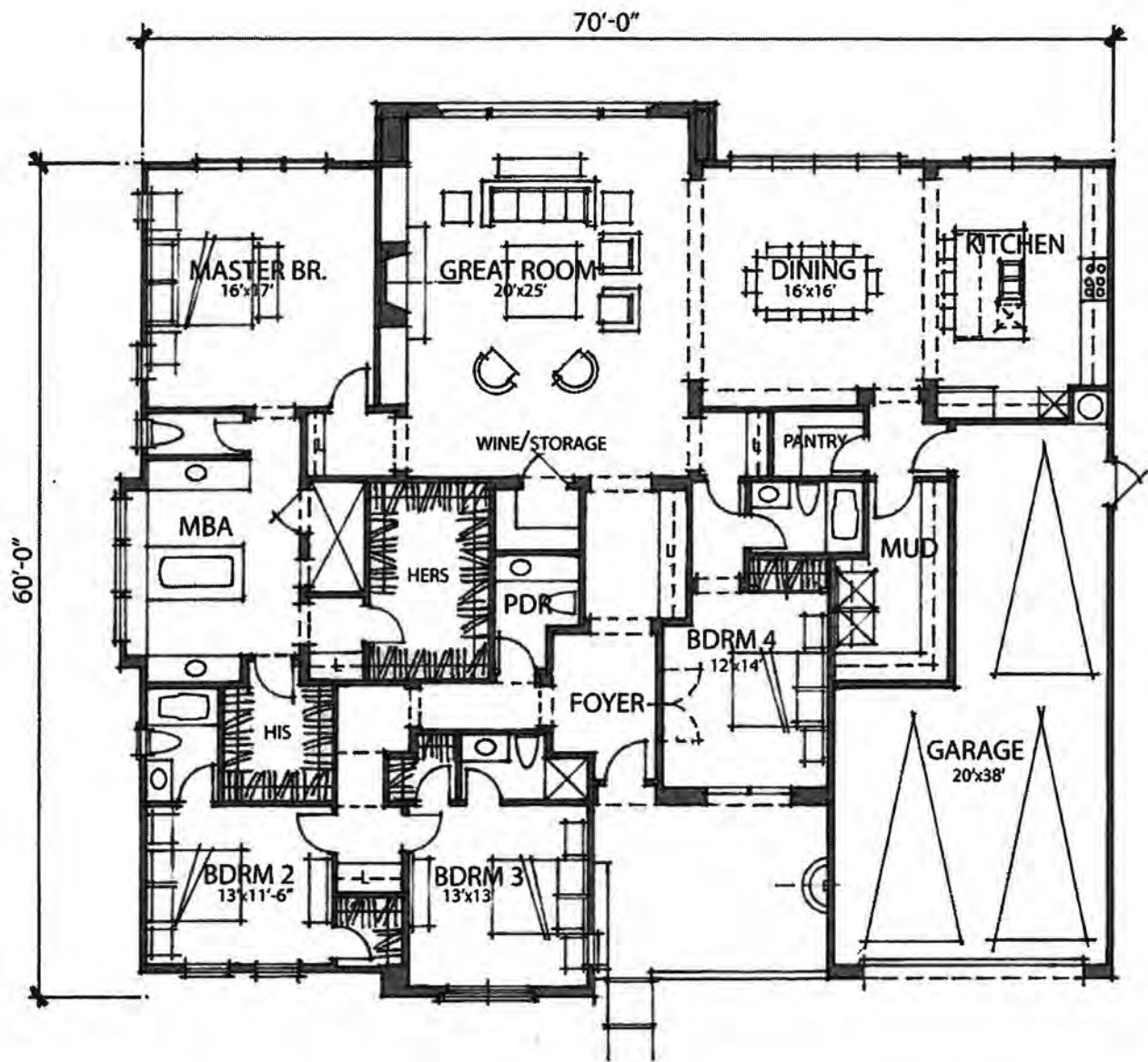


OAK CREEK

ESCONDIDO, CA

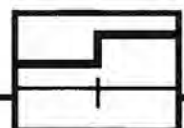
ARCHITECTURAL DESIGN REVIEW

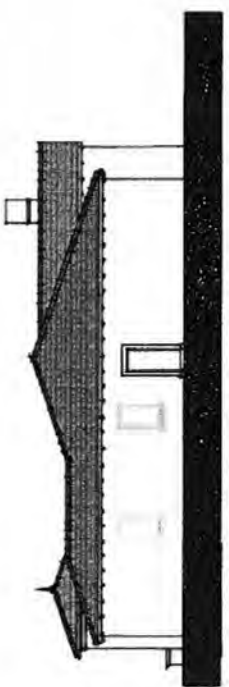
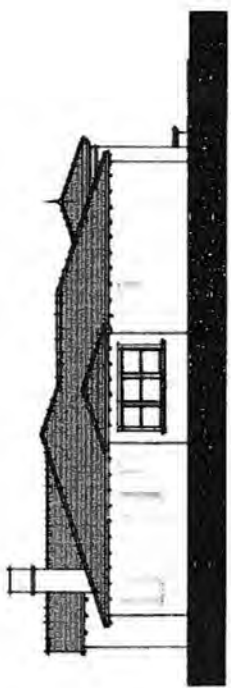
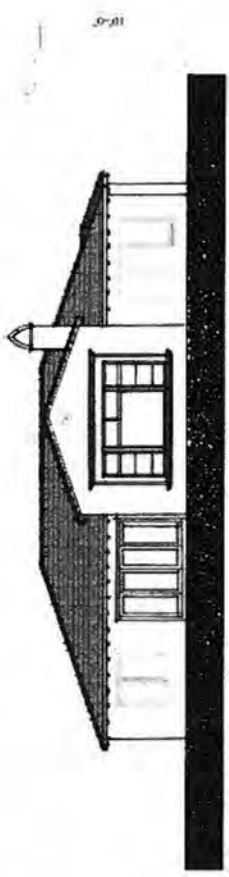
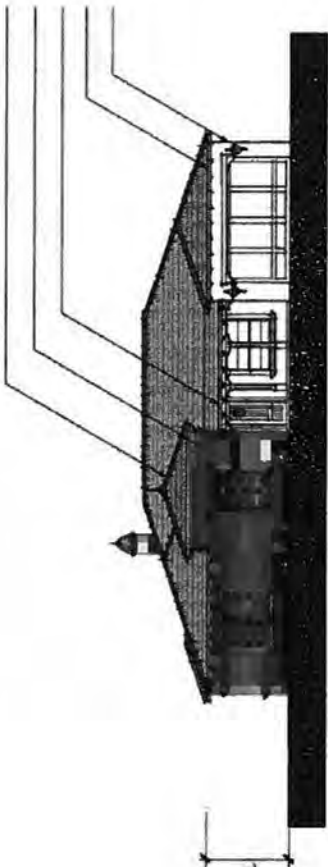




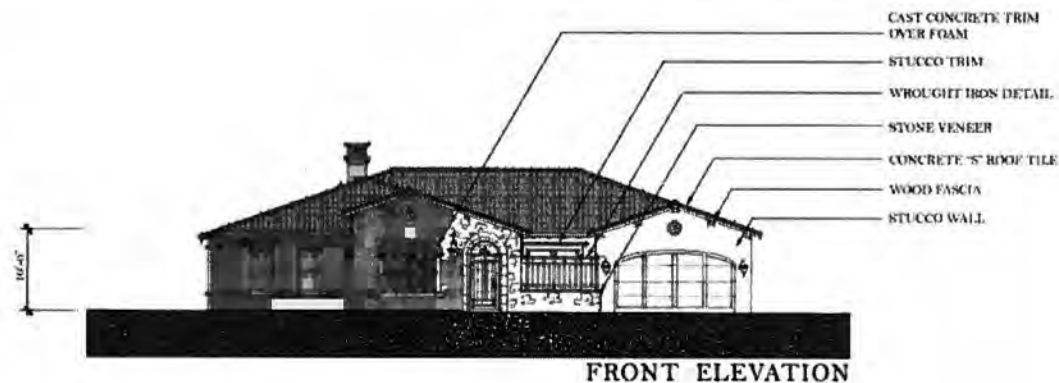
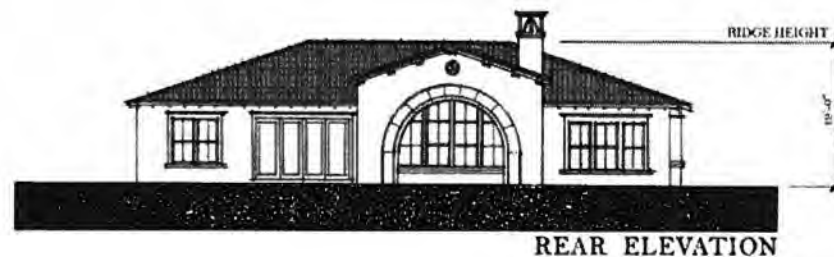
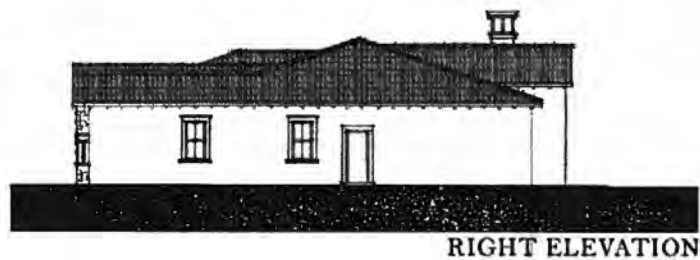
PLAN 1
3,334 SF TOTAL

PROPOSED PROJECT
SUB 13-0002



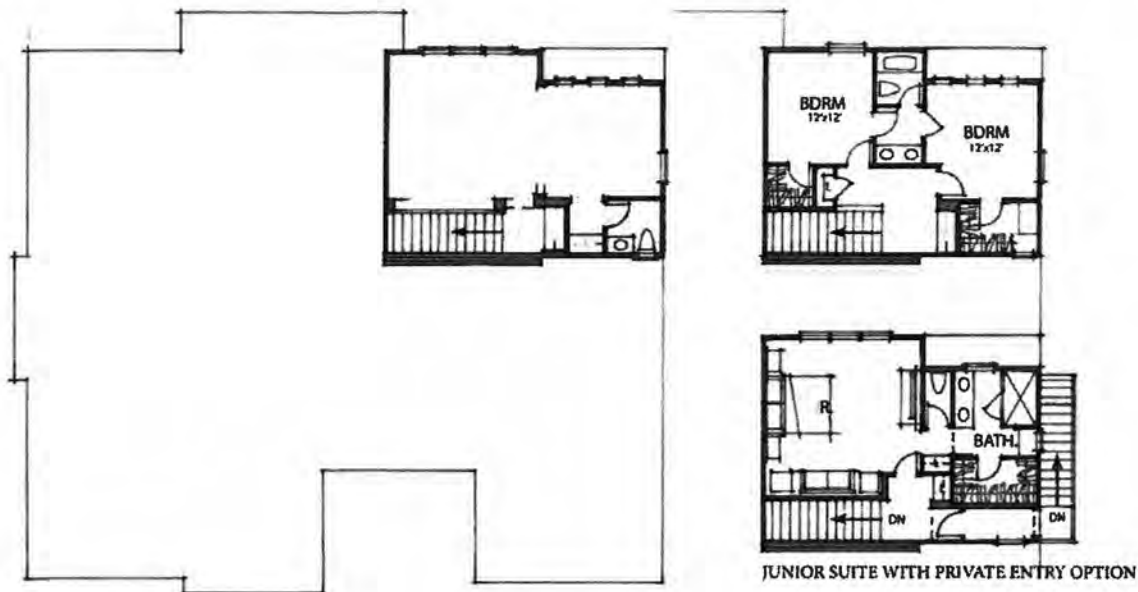


PROPOSED PROJECT
SUB 13-0002



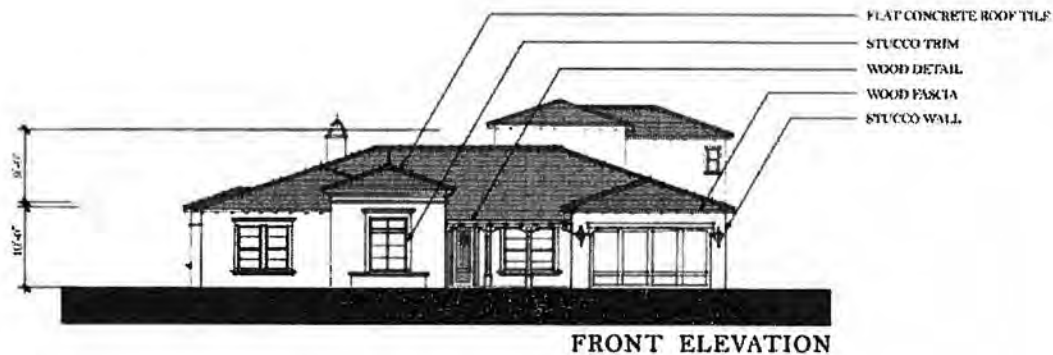
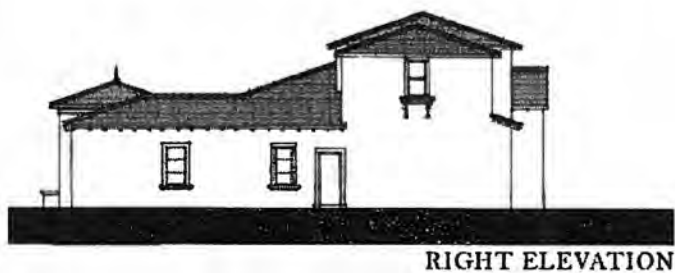
ELEVATIONS 1B





PROPOSED PROJECT
SUB 13-0002

76

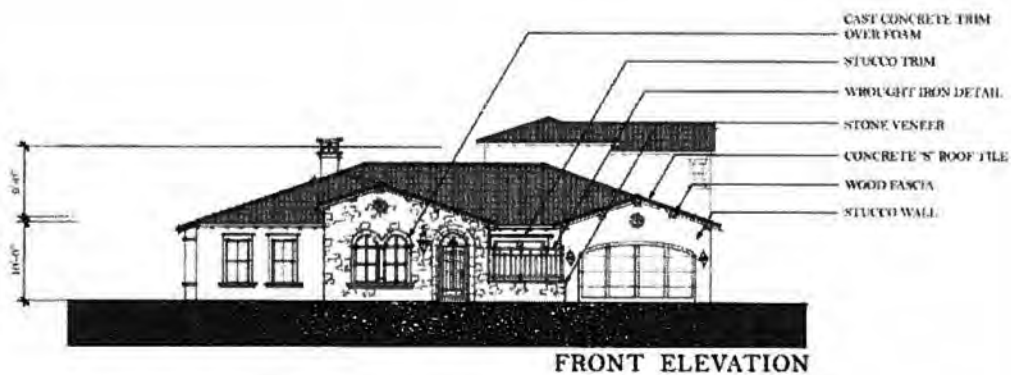


ELEVATIONS 1A-X

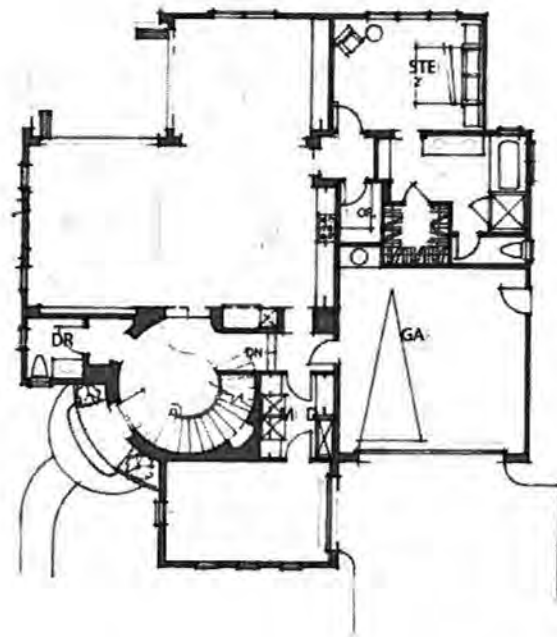
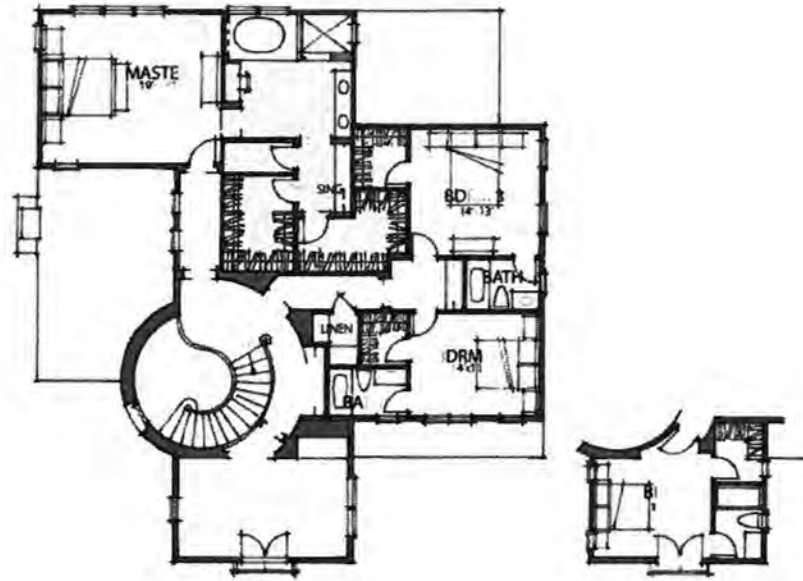
ELEVATIONS



PROPOSED PROJECT
SUB 13-0002



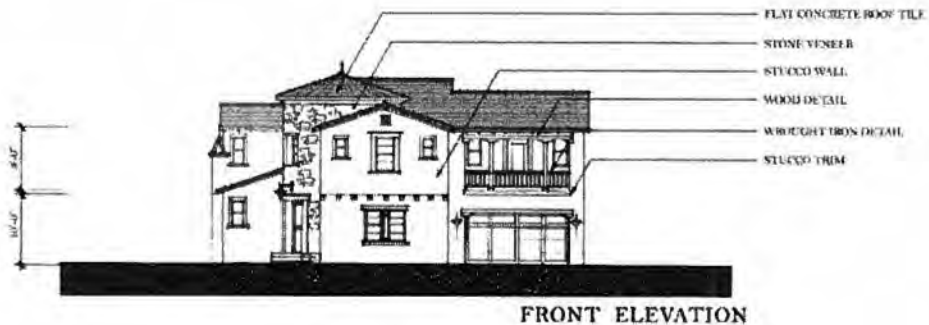
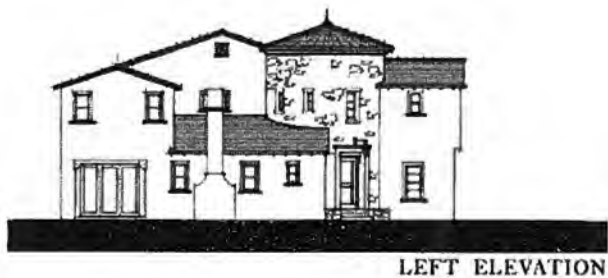
ELEVATIONS 1B-X



PROPOSED PROJECT
SUB 13-0002

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ELEVATIONS



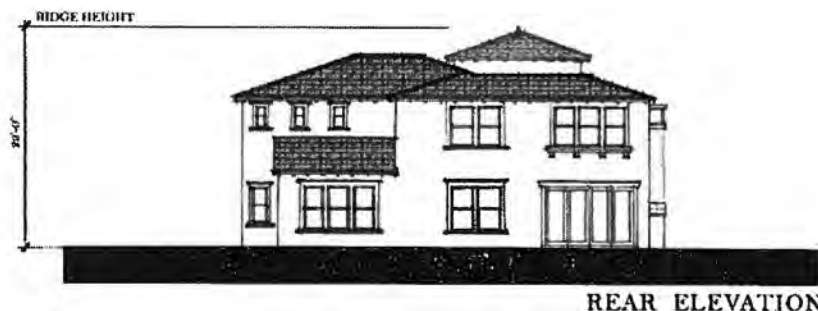
ELEVATIONS 2A

PROPOSED PROJECT
SUB 13-0002

88



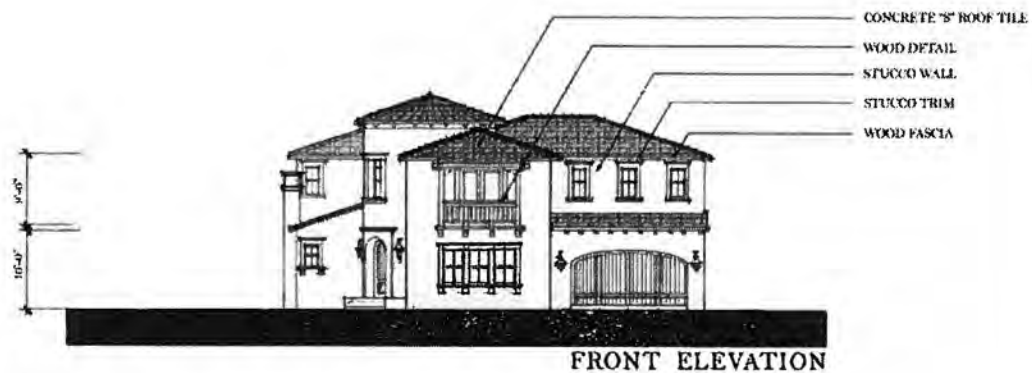
RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

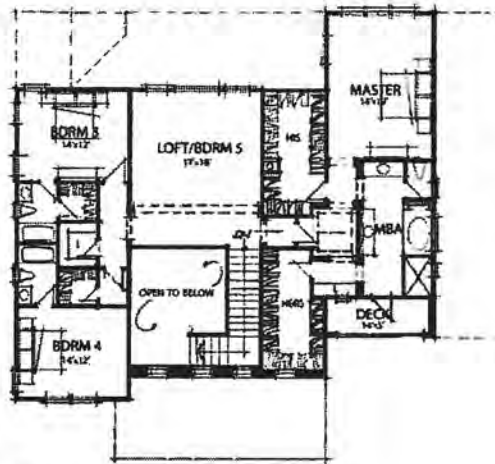


FRONT ELEVATION

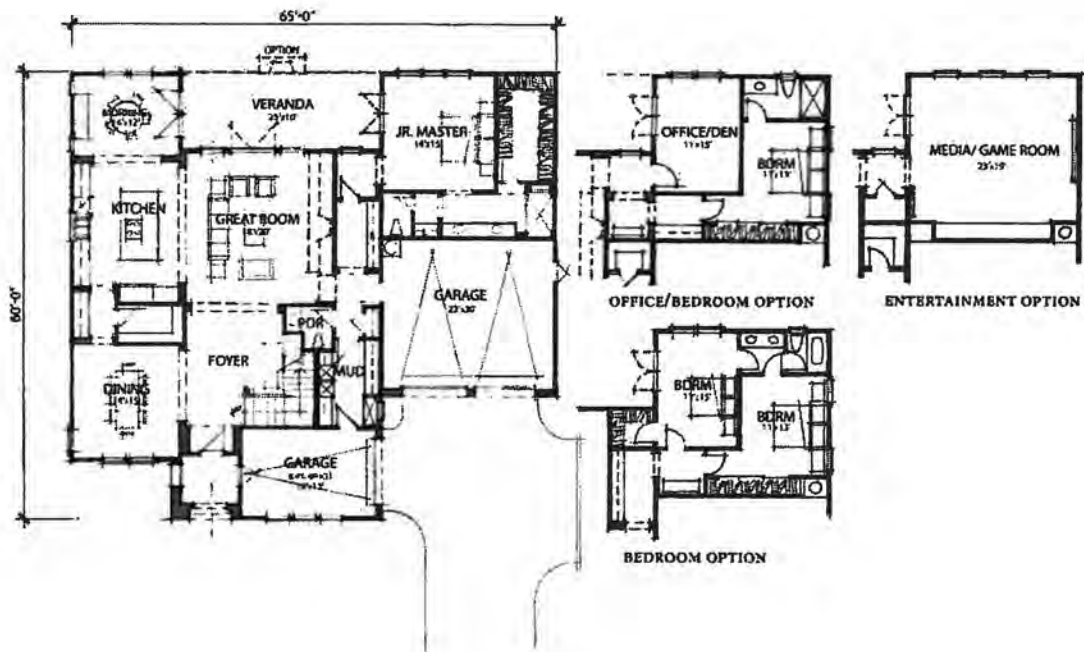
ELEVATIONS 2B

ELEVATIONS



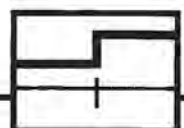


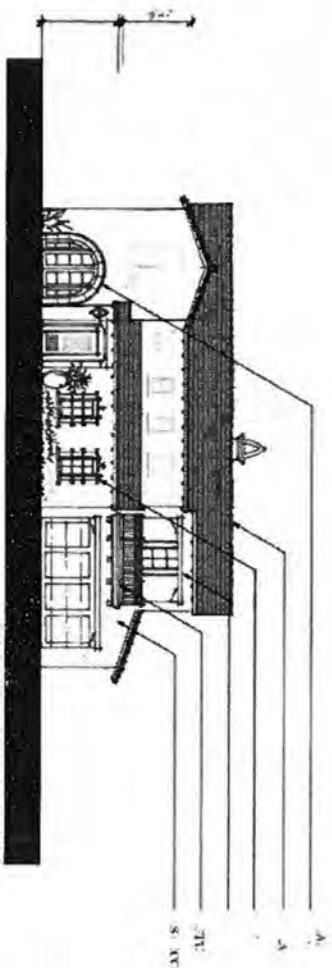
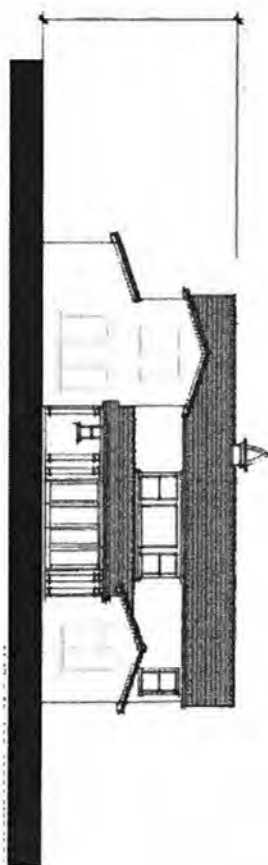
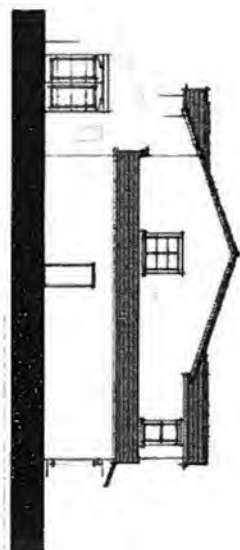
PLAN 3
UPPER LEVEL
1,885 SF



PLAN 3
LOWER LEVEL
2,313 SF
4,198 SF TOTAL

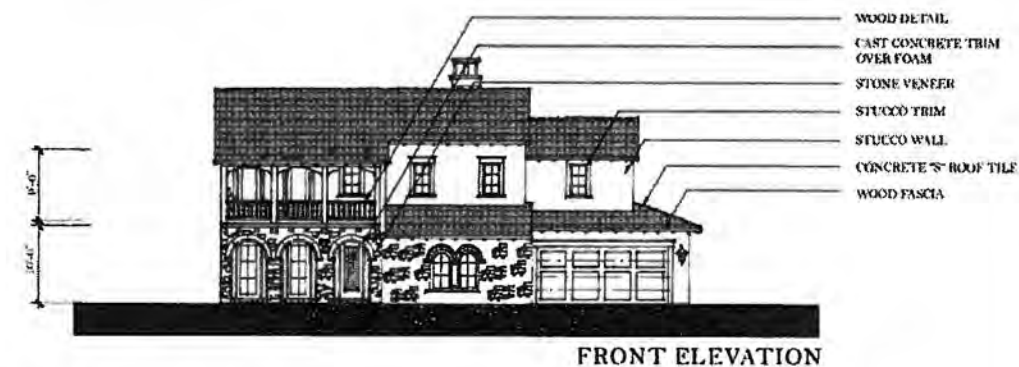
PROPOSED PROJECT
SUB 13-0002





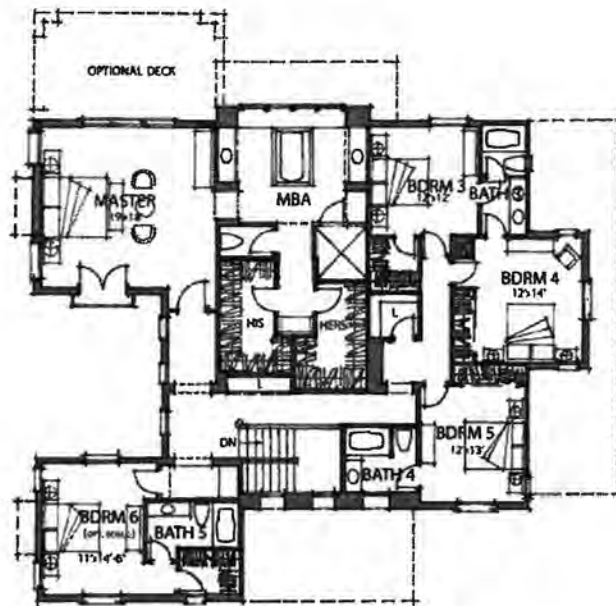
PROPOSED PROJECT
SUB 13-0002

83

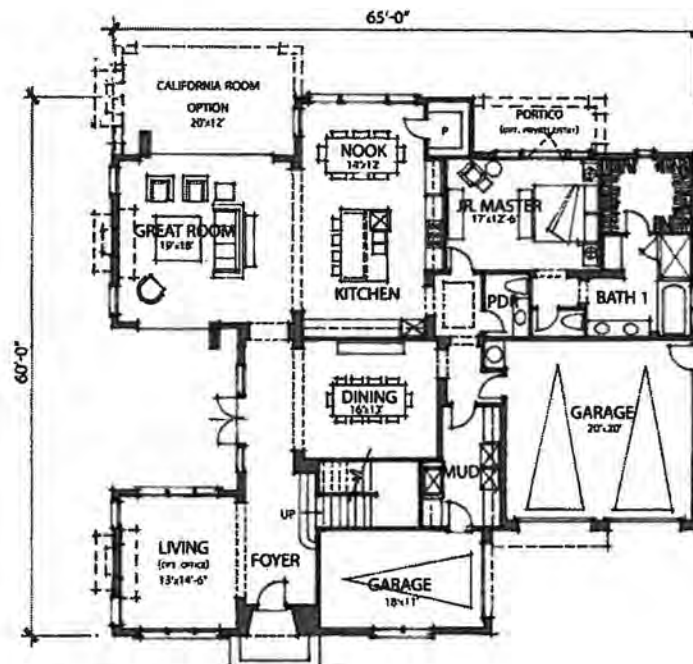


ELEVATIONS 3B



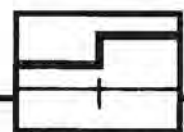


PLAN 4
UPPER LEVEL
2,337 SF



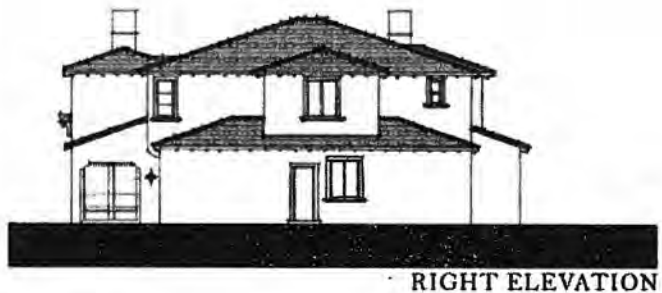
PLAN 4
LOWER LEVEL
2,380 SF
4,617 SF TOTAL

PROPOSED PROJECT
SUB 13-0002



PROPOSED PROJECT
SUB 13-0002

85



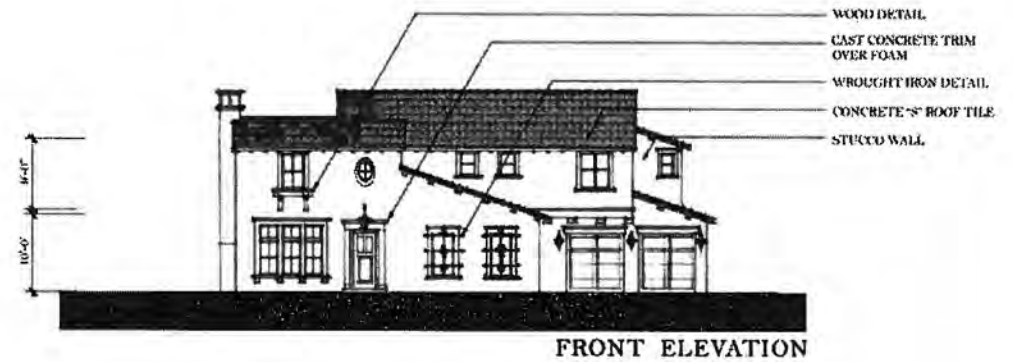
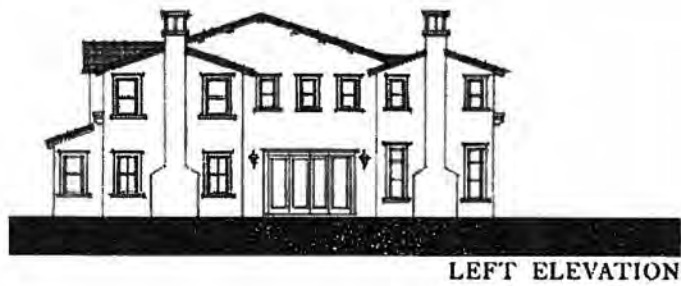
ELEVATIONS 4A

ELEVATIONS



PROPOSED PROJECT
SUB 13-0002

86

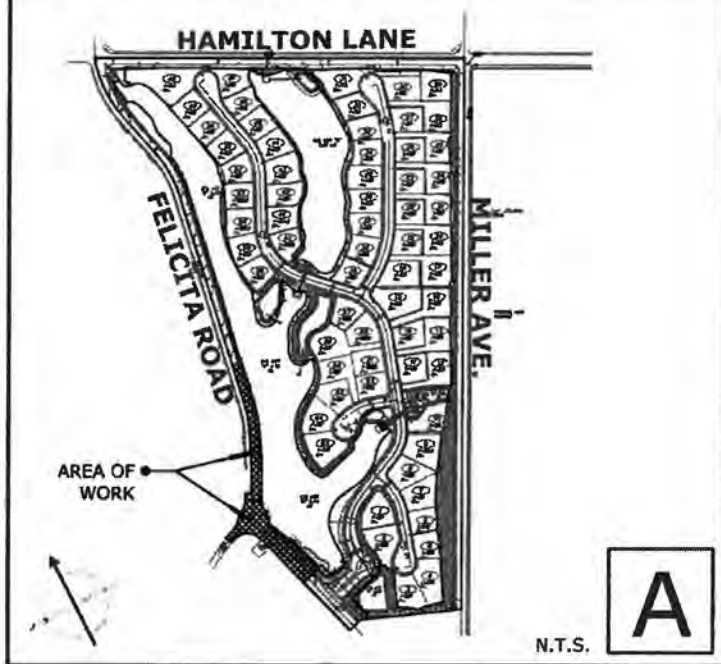


ELEVATIONS 4B

ELEVATIONS



KEY MAP



Plantable Wall

PERIMETER STREETS - SHRUB SCHEDULE

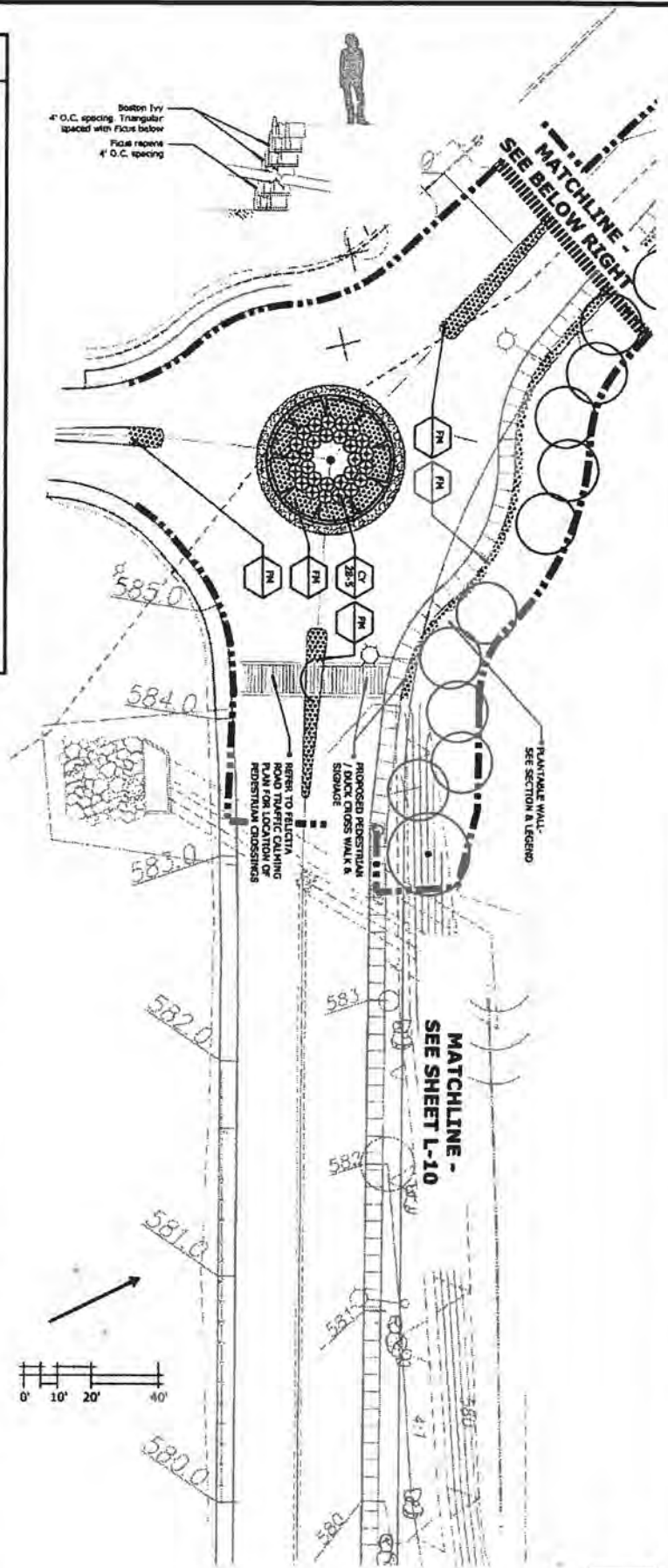
SYMB.	ABR.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS
—	AT	Agave attenuata	Fountain Agave	5 Gal	36" O.C.	L
—	AB	Anilopanthus f. 'Bush Gold'	Kangaroo Paw	5 Gal	30" O.C.	L
—	AUC	Arctostaphylos 'Compaz'	Dwarf Strawberry Tree	5 Gal	48" O.C.	L
—	CY	Ceanothus g.h. 'Yankee Plant'	California Lilac	5 Gal	5' O.C.	L
—	CP	Cistus x 'Purpureus'	Rockrose	5 Gal	36" O.C.	L
—	CS	Cistus salicifolius	Sageleaf Rockrose	1 Gal	30" O.C.	L
—	CA	Cassia argentea	Jade Plant	5 Gal	36" O.C.	L
—	EC	Encelia californica	California Brittlebush	1 Gal	36" O.C.	L
—	EP	Epilobium canum	California Puschia	1 Gal	36" O.C.	L
—	FM	Festuca mairei	Atlas Fescue	Liners	24" O.C.	M
—	FR	Festuca rubra	Red Fescue	Liners	10" O.C.	L
—	JP	Juncus patens	California Gray Rush	Liners	18" O.C.	M
—	DI	Iva neesiana	San Diego Marsh Elder	1 Gal	6' O.C.	L
—	SA	Sesleria autumnalis	Autumn Moor Grass	1 Gal	24" O.C.	M
—	HP	Hyoporum p. 'Redflum'	Creeping Hyoporum	1 Gal	6' O.C.	L
—	RC	Romneya coulteri	Matija Poppy	1 Gal	48" O.C.	L
—	SH	Senecio mandrafcasae	Blue Chasticks	4" Pots	18" O.C.	L
—	TL	Trichostema lanatum	Woolly Blue Curl	5 Gal	36" O.C.	M

FIRE PROTECTION NOTE: All plant material has been selected and arranged in compliance with Fire Protection Plan requirements as prescribed in report prepared by Dudek dated April 2013.

PLANTABLE WALL SCHEDULE

BOTANICAL NAME	COMMON NAME	SPACE.	SIZE	WUCOLS
Ficus repens	Creeping Fig	4' O.C.	1 Gal.	M
Parthenocissus tricuspidata	Boston Fig	4' O.C.	1 Gal.	M

NOTE: Refer to civil engineer's plans for plantable wall heights and locations. Refer to diagram on sheets 4 & 5 of this package.



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**PROPOSED PROJECT
SUB 13-0002**







Plantable Wall

PLANTABLE WALL SCHEDULE				
BOTANICAL NAME	COMMON NAME	SPACE	SIZE	WUCOLS
<i>Ficus repens</i>	Creeping Fig	4" O.C.	1 Gal.	H
<i>Parthenocissus tricuspidata</i>	Boston Fig	4" O.C.	1 Gal.	H

NOTE: Refer to civil engineer's plans for plantable wall heights and locations. Refer to diagram on sheets 4 & 5 of this package.

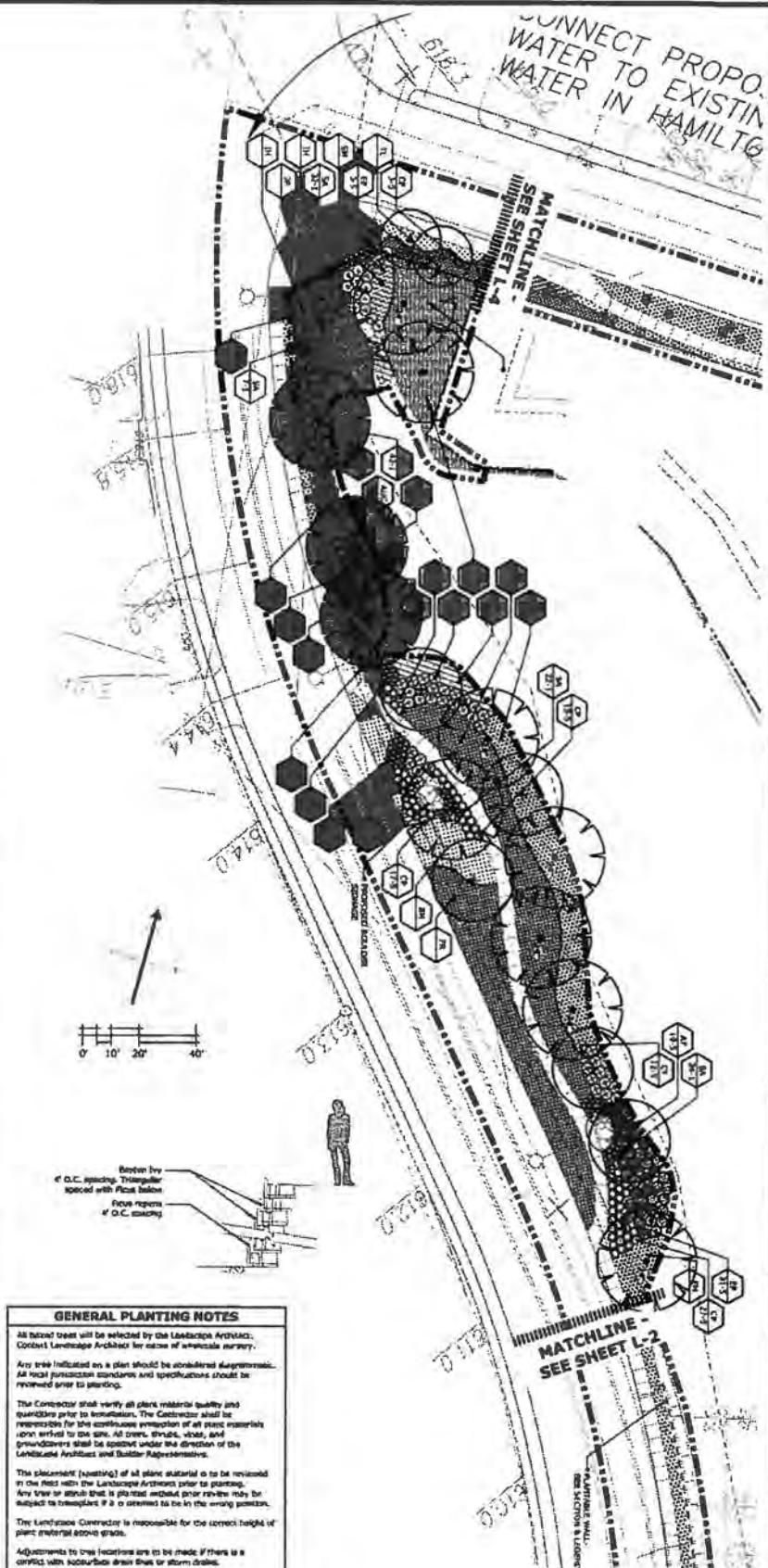
PERIMETER STREETS - TREE SCHEDULE					
SYMBOL	BOTANICAL NAME	COMMON NAME	TRUNK	SIZE	WUCOLS
	<i>Heteromeles arbutifolia</i>	Toyon	Mult	24" Box	L
	<i>Cercis occidentalis</i>	Western Redbud	Mult	24" Box	L
	<i>Platanus acerifolia</i>	London Plane Tree	Std.	24" Box	H
	<i>Platanus racemosa</i>	Western Sycamore	Std.	24" Box	H
	<i>Quercus agrifolia</i>	Coast Live Oak	Natural	24" Box 36" Box 48" Box	L
	<i>Quercus agrifolia</i>	Coast Live Oak	Natural	24" Box	L

FIRE PROTECTION NOTE:
All trees have been selected and arranged in compliance with Fire Protection Plan requirements as prescribed in report prepared by Dudek dated April 2013.

WUCOLS NOTE:
WUCOLS, Water Use Classification of Landscape Species, is a University of California Cooperative Extension publication and is a guide to the water needs of the landscape plants.

PERIMETER STREETS - SHRUB SCHEDULE						
SYMB.	ABR.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS
—	AT	<i>Agave attenuata</i>	Fountain Agave	5 Gal	36" O.C.	L
—	AB	<i>Antigonon leptopus</i> f. "Bush Gold"	Kangaroo Paw	5 Gal	30" O.C.	L
—	AUG	<i>Arbutus unedo</i> "Compacta"	Dwarf Strawberry Tree	5 Gal	48" O.C.	L
	CY	<i>Coronilla s.p.</i> "Yankee Plant"	California Lilac	5 Gal	5' O.C.	L
—	CP	<i>Quercus x "Purpurea"</i>	Rodgers	5 Gal	36" O.C.	L
	CS	<i>Quercus salicifolia</i>	Sageleaf Rodgers	1 Gal	30" O.C.	L
—	CA	<i>Ceanothus argenteus</i>	Jade Plant	5 Gal	36" O.C.	L
—	EC	<i>Encelia californica</i>	California Brittlebush	1 Gal	36" O.C.	L
—	EP	<i>Epilobium californicum</i>	California Fuchsia	1 Gal	36" O.C.	L
	FN	<i>Festuca nivalis</i>	Alps Fescue	Liters	24" O.C.	H
	FR	<i>Festuca rubra</i>	Red Fescue	Liters	10" O.C.	L
	JP	<i>Juncus plicatus</i>	California Grey Rush	Liters	18" O.C.	H
	JH	<i>Juncus roemerianus</i>	San Diego Marsh Elder	1 Gal	6' O.C.	L
	SA	<i>Sesleria autumnalis</i>	Auburn Moor Grass	1 Gal	24" O.C.	H
	MP	<i>Myoporum p. "radicatum"</i>	Creeping Myoporum	1 Gal	6' O.C.	L
—	RC	<i>Rodgersia cuneata</i>	Hardy Poppy	1 Gal	48" O.C.	L
	SH	<i>Scaevola taccada</i>	Blue Cholla	4" Pots	18" O.C.	L
	TL	<i>Trichostema lanatum</i>	Woody Blue Currant	5 Gal	36" O.C.	H

FIRE PROTECTION NOTE: All plant material has been selected and arranged in compliance with Fire Protection Plan requirements as prescribed in report prepared by Dudek dated April 2013.



GENERAL PLANTING NOTES

All trees and shrubs will be selected by the Landscape Architect. Content Landscape Architect for name of wholesale nursery.

Any tree indicated on a plan should be considered a specimen. All tree planting conditions and specifications should be reviewed prior to planting.

The Contractor shall verify all plant material quality and quantities prior to installation. The Contractor shall be responsible for the continuous protection of all plant materials until they are established. All trees, shrubs, and groundcovers shall be planted under the direction of the Landscape Architect and/or Landscape Representative.

The placement (spacing) of all plant material is to be reviewed in the field with the Landscape Architect prior to planting. Any tree or shrub that is planted without prior review may be subject to removal if it is determined to be in the wrong position.

The Landscape Contractor is responsible for the correct height of plant material above grade.

Adjustments to tree locations are to be made if there is a conflict with subsurface drains or storm drains.

All trees 24" or larger are to be balled and banded after planting. Review in field with Landscape Architect.

There (30) days after installation, all landscape areas shall be mulched with a commercial grade mulch or 16-8-8 or approved equal, applied at the rate of 6 lbs. per 1000 sq. ft. Fertilizer application shall be continuous throughout the growing season.

During the last 30 days of establishment, the Contractor is responsible for watering all plants, including shrubs and retaining shrubs from his Landscape Contractor. These copies are to be submitted to the owner or sub-irrigation and Maintenance Contractor.

PROPOSED PROJECT
SUB 13-0002



KEY MAP



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N.T.S.

PERIMETER STREETS - VINE SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS
	<i>Hardenbergia violacea</i>	Purple Vine Liliac	5 Gal.	L

WUCOLS NOTE:
WUCOLS: Water Use Classification of Landscape Species, is a University of California Cooperative Extension publication and is a guide to the water needs of the landscape plants.

PERIMETER STREETS - TREE SCHEDULE

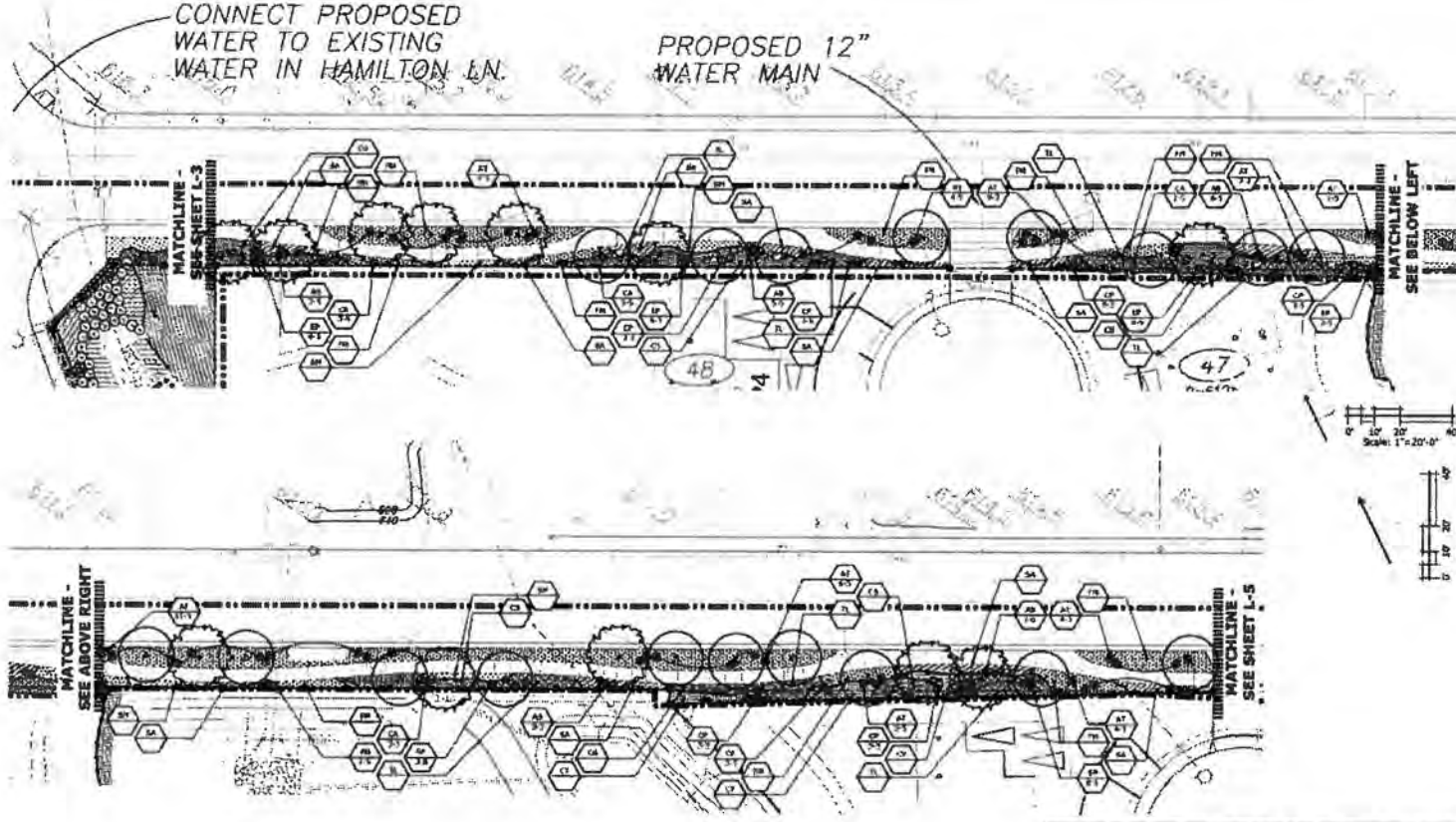
SYMBOL	BOTANICAL NAME	COMMON NAME	TRUNK	SIZE	WUCOLS
	<i>Malvaceae sp.</i>	Tree	1/2"	24" Dia.	L
	<i>Cercis canadensis</i>	Vegetarian Redbud	1/2"	24" Dia.	L
	<i>Platanus artemisia</i>	London Plane Tree	3/4"	24" Dia.	M
	<i>Platanus racemosa</i>	Western Sycamore	3/4"	24" Dia.	M
	<i>Quercus agrifolia</i>	Coast Live Oak	1/2"	24" Dia.	L
	<i>Quercus agrifolia</i>	Coast Live Oak	1/2"	24" Dia.	L

SCALE PROJECTION NOTE:
All trees have been selected and arranged in compliance with the Protection Plan requirements as prescribed in the WUCOLS: Water Use Classification of Landscape Species, is a University of California Cooperative Extension publication and is a guide to the water needs of the landscape plants.

PERIMETER STREETS - SHRUB SCHEDULE

SYMBOL	ABR.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS
	AT	<i>Agave attenuata</i>	Fountain Agave	3 Gal.	30" O.C.	L
	AB	<i>Ardisia cuneata</i>	Japanese Pear	5 Gal.	30" O.C.	L
	AK	<i>Ardisia cuneata</i>	Japanese Pear	5 Gal.	30" O.C.	L
	CT	<i>Ceanothus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CP	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CS	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CA	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CB	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CC	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CD	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CE	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CF	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CG	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CH	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CI	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CJ	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CK	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CL	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CM	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CN	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CO	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CP	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CQ	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CR	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CS	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CT	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CU	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CV	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CW	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CX	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CY	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L
	CZ	<i>Citrus s.p.</i>	California Lilac	5 Gal.	30" O.C.	L

SCALE PROJECTION NOTE: All plants material has been selected and arranged in compliance with the Protection Plan requirements as prescribed in report prepared by David dated April 2013.



L-4

PROPOSED PROJECT SUB 13-0002

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LANDSCAPE PLAN

KEY MAP

AREA OF
NOTES

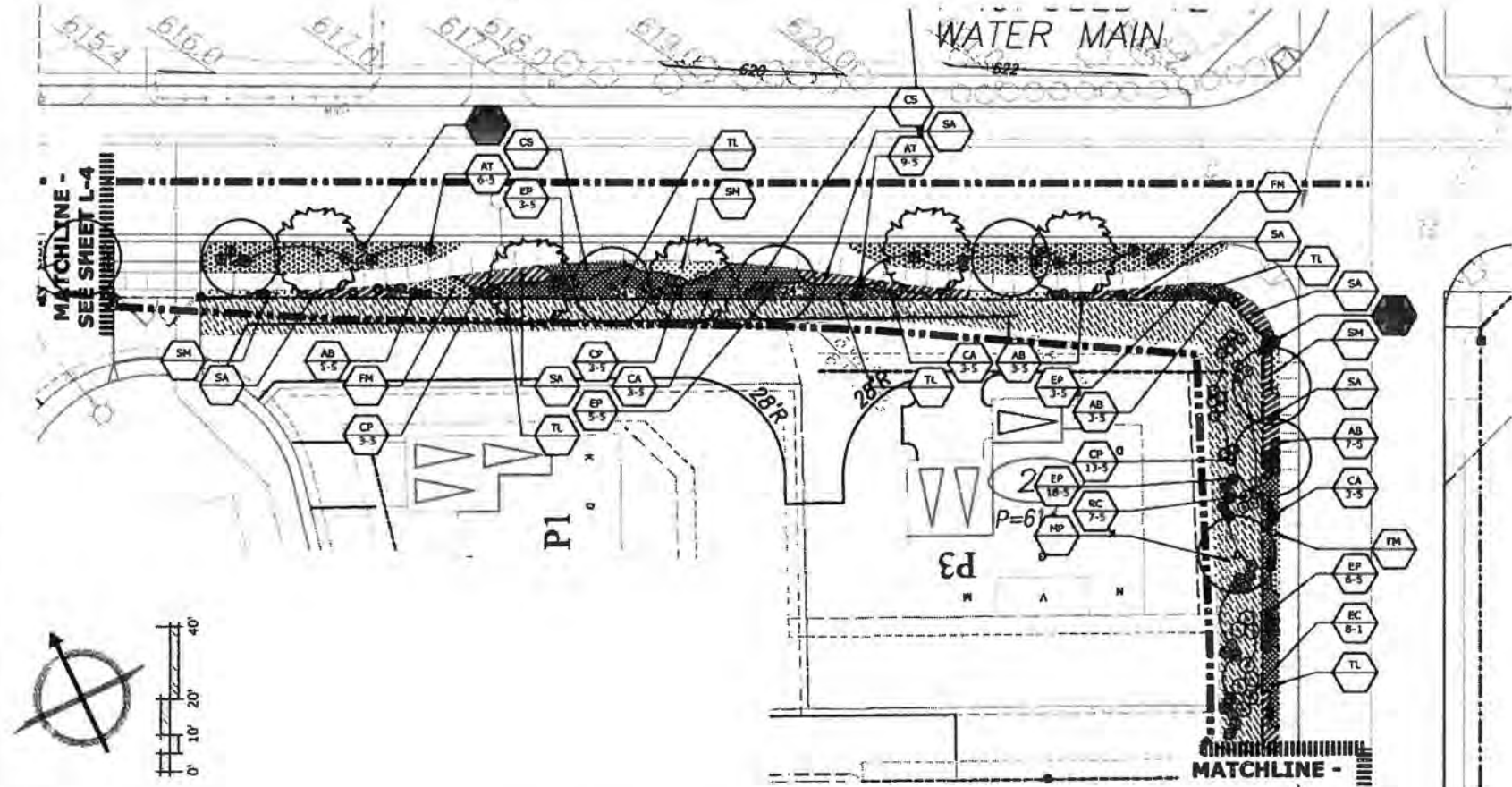
HAMILTON LANE

FELICIA ROAD

MILLER AVE.

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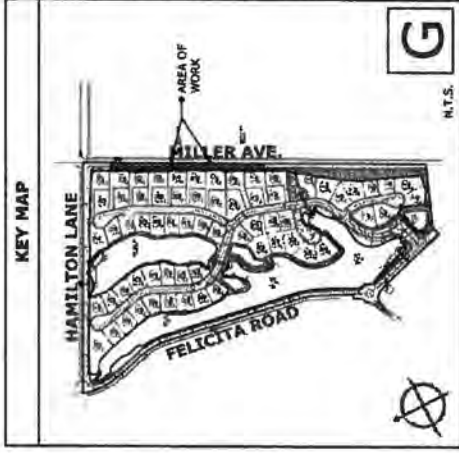
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PERIMETER STREETS - VINE SCHEDULE				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS
	Hardenbergia violacea	Purple Vine (Lilac)	5' dia.	1.

WUCOLS (NOTES):
 WUCOLS is the University of California Cooperative Extension publication and is made to the water needs of the landscape plants.

SEE SHEET L-7

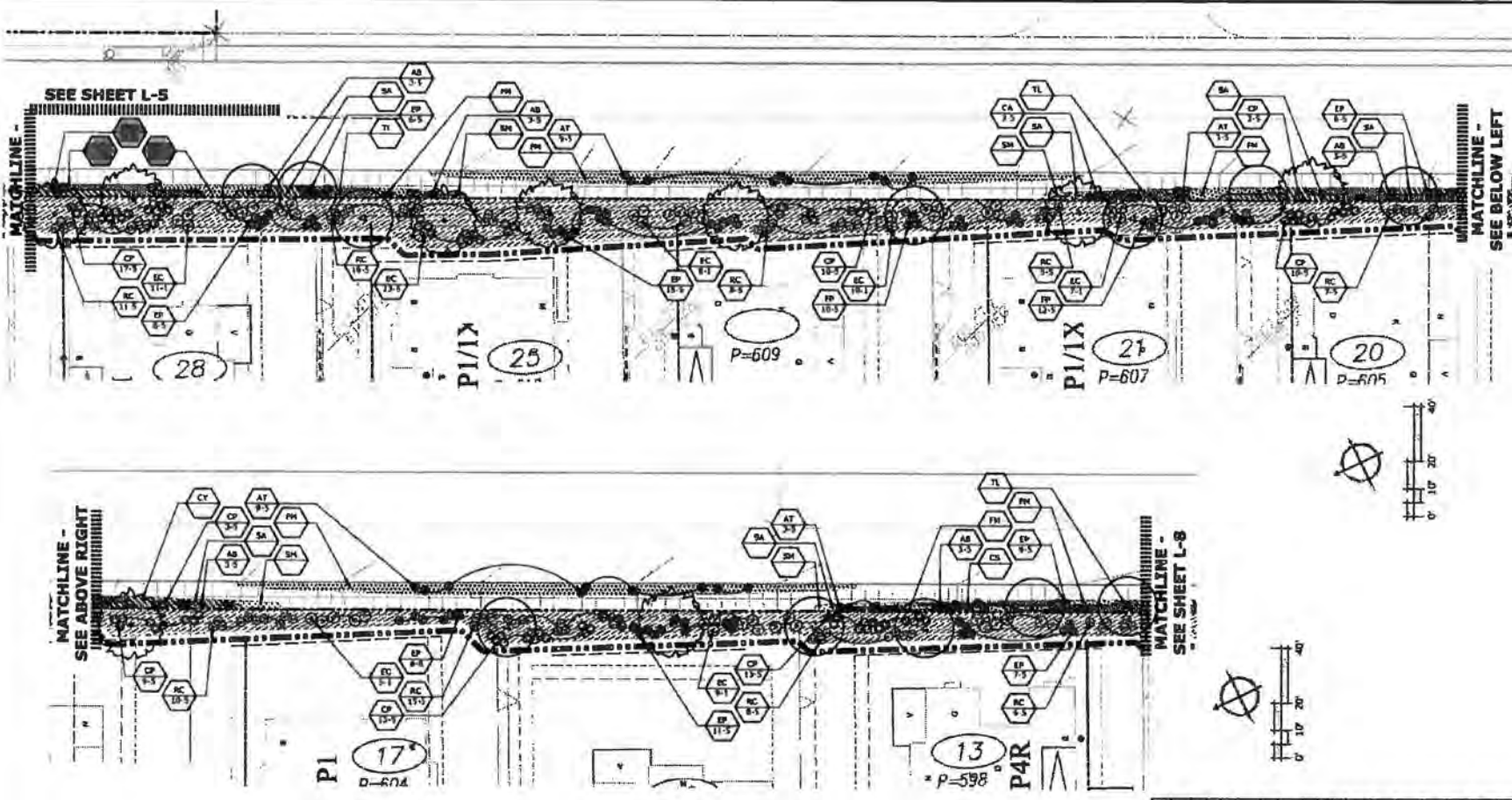


PERIMETER STREETS - VINE SCHEDULE				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WCOLS
	Nerium Oleandra	Purple Vine Liliac	5 Gal.	1

WCOLS' NOTE: The Classification of Landscape Species, Inc. is a University of California Cooperative Extension publication and is a guide to the better needs of the landscape architect.

PERMETER STREETS - TREE SCHEDULE				
SYMBOL	BOTANICAL NAME	COMMON NAME	TRUNK SIZE	WUCLS
	<i>Hedera helix</i>	Treyon	3-4" Dia	L
	<i>Corylus occidentalis</i>	Western Hallow	3-4" Dia	L
	<i>Platanus occidentalis</i>	London Plane Tree	2-4" Dia	M
	<i>Alnus incana</i>	Western Systema	3-4" Dia	M
	<i>Quercus agrifolia</i>	Coast Live Oak	2-4" Dia 3-4" Dia 4-6" Dia	L
	<i>Quercus agrifolia</i>	Coast Live Oak	3-4" Dia	L

PERMETER STREET TREES
 All trees shown on this schedule are approved in compliance with the Persepolis Plan requirements as prescribed in the City of San Francisco Planning Department's Urban Forestry Ordinance, Chapter 21A, Section 21A.01.
 The City of San Francisco Planning Department's Urban Forestry Ordinance, Chapter 21A, Section 21A.01, requires that all trees shown on this schedule be planted by the City of San Francisco Planning Department's Urban Forestry Department.
 The City of San Francisco Planning Department's Urban Forestry Department is a University of California Cooperative Extension partner and is a guide to the water needs of the landscape plants.

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KEY MAP



PERIMETER STREETS - VINE SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS
	<i>Hardenbergia violacea</i>	Purple Vine Liliac	5 Gal.	L

WUCOLS NOTE:

WUCOLS, Water Use Classification of Landscape Species, is a University of California Cooperative Extension publication and is a guide to the water needs of the landscape plants.

PERIMETER STREETS - TREE SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	TRUNK	SIZE	WUCOLS
	<i>Heteromeles arbutifolia</i>	Toyon	Medl	24" Box	L
	<i>Cercis occidentalis</i>	Western Redbud	Medl	24" Box	L
	<i>Platanus aconitifolia</i>	London Plane Tree	Std.	24" Box	H
	<i>Platanus racemosa</i>	Western Sycamore	Std.	24" Box	H
	<i>Quercus agrifolia</i>	Coast Live Oak	Natural	24" Box 30" Box 48" Box	L
	<i>Quercus agrifolia</i>	Coast Live Oak	Natural	24" Box	L

FIRE PROTECTION NOTE:

All trees have been selected and arranged in compliance with Fire Protection Plan requirements as prescribed in report prepared by Duda dated April 2013.

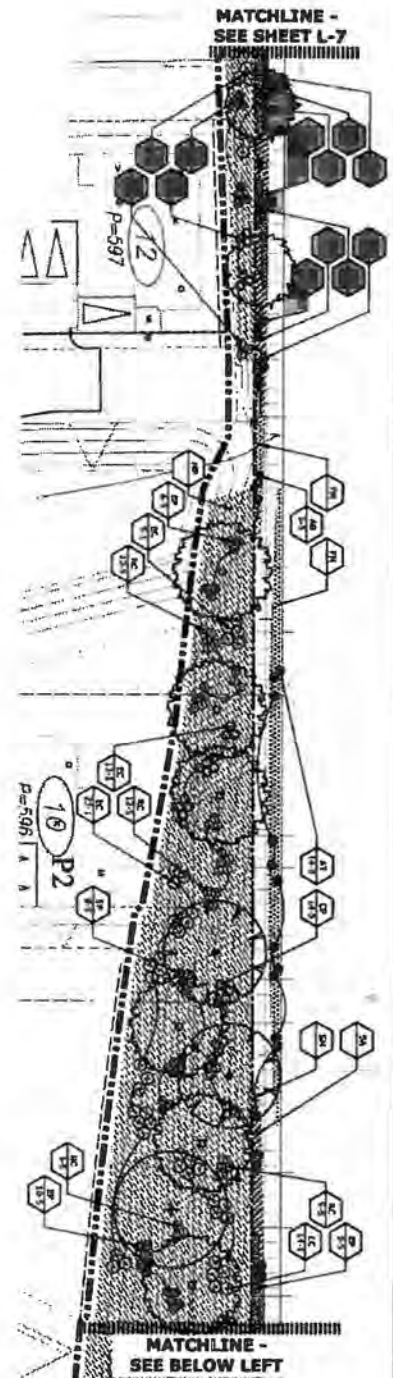
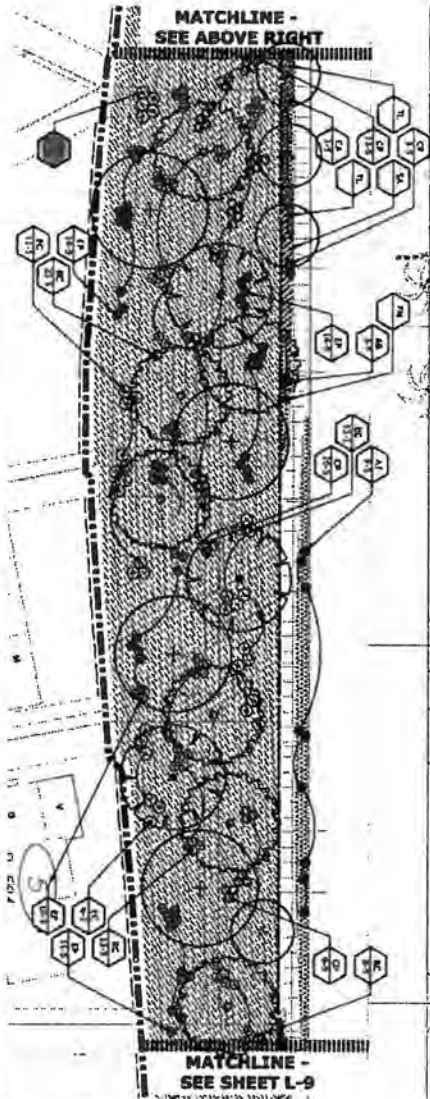
WUCOLS NOTE:

WUCOLS, Water Use Classification of Landscape Species, is a University of California Cooperative Extension publication and is a guide to the water needs of the landscape plants.

PERIMETER STREETS - SHRUB SCHEDULE

SYMB.	ABR.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS
—	AT	<i>Agave attenuata</i>	Foxtail Agave	5 Gal	36" O.C.	L
—	AB	<i>Argemone f. 'Bush Gold'</i>	Yucca Tree	5 Gal	36" O.C.	L
—	AUC	<i>Arctostaphylos 'Compacta'</i>	Dwarf Strawberry Tree	5 Gal	48" O.C.	L
	CY	<i>Ceanothus g.h. 'Variegata'</i>	California Lilac	5 Gal	5' O.C.	L
—	CP	<i>Cistus s. 'Purpureus'</i>	Rodentia	5 Gal	36" O.C.	L
	CS	<i>Cotoneaster salicifolius</i>	Sageleaf Rockrose	1 Gal	36" O.C.	L
—	CA	<i>Ceanothus argenteus</i>	Jade Plant	5 Gal	36" O.C.	L
—	BC	<i>Encelia californica</i>	California Brittonia	1 Gal	36" O.C.	L
—	EP	<i>Euphorbia corollata</i>	California Fuchsia	1 Gal	36" O.C.	L
	FR	<i>Festuca maritima</i>	Alas Fescue	Uners	24" O.C.	H
—	FR	<i>Festuca rubra</i>	Red Fescue	Uners	10" O.C.	L
—	JP	<i>Juniperus patens</i>	California Gray Rush	Uners	18" O.C.	H
—	TH	<i>Tea Harewood</i>	San Diego Marsh Elder	1 Gal	6" O.C.	L
—	SA	<i>Sesuvium autumnale</i>	Autumn Moor Grass	1 Gal	24" O.C.	H
—	NP	<i>Myoporum p. 'Thalium'</i>	Creeping Myoporum	1 Gal	6" O.C.	L
—	BC	<i>Boraginaceae confusa</i>	Medicinal Peppery	1 Gal	48" O.C.	L
—	SN	<i>Senecio mandraliscae</i>	Blue Chalksticks	4" Pot	18" O.C.	L
	TL	<i>Trichostema laetum</i>	Woolly Blue Curls	5 Gal	36" O.C.	H

FIRE PROTECTION NOTE: All plant material has been selected and arranged in compliance with Fire Protection Plan requirements as prescribed in report prepared by Duda dated April 2013.



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PROPOSED PROJECT
SUB 13-0002



KEY MAP

HAMILTON LANE

FELCITA ROAD

MILLER AVE.

AREA OF WORK

N.T.S.

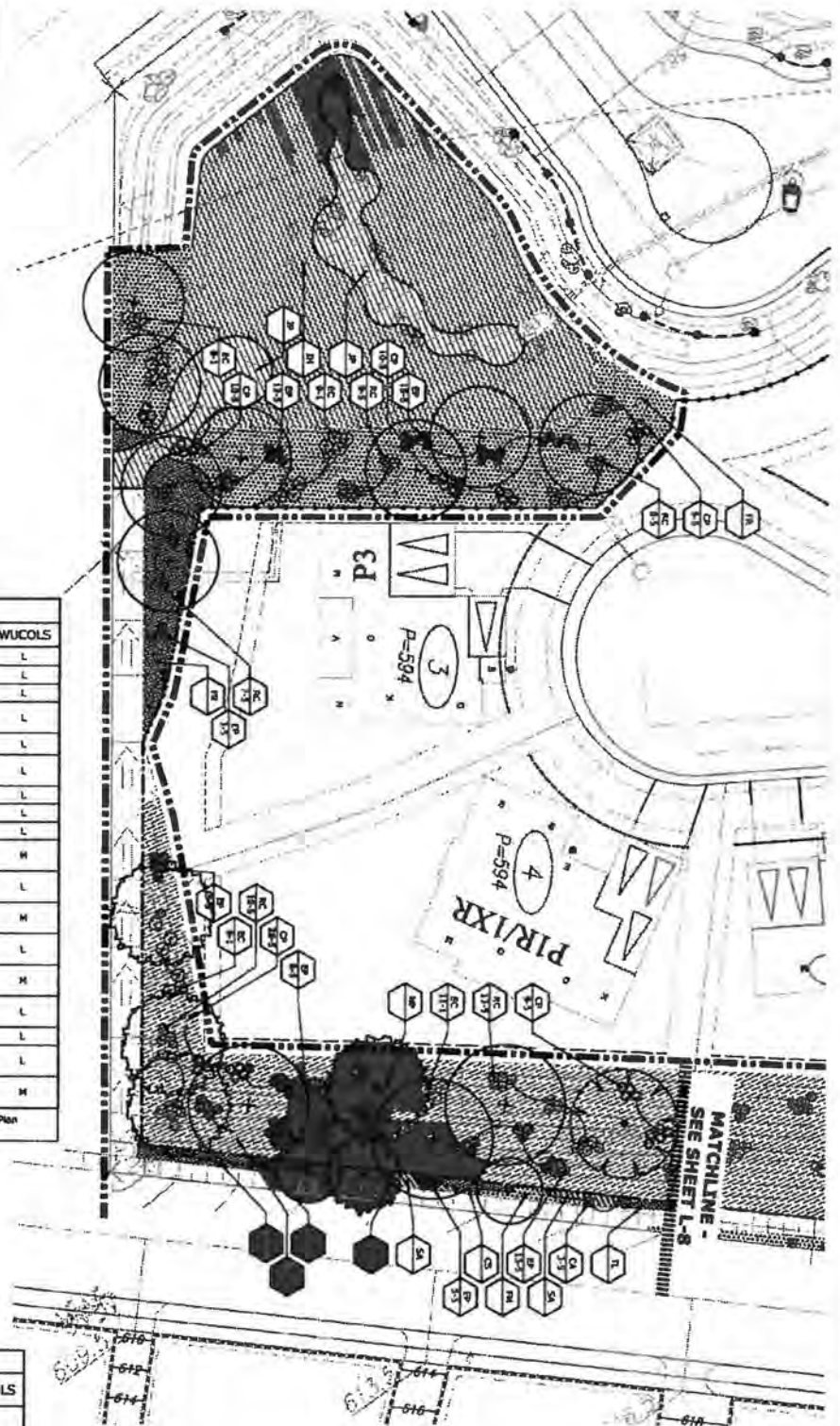
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FIRE PROTECTION NOTE: All plant material has been selected and arranged in compliance with Fire Protection Plan requirements as prescribed in report prepared by Dudaik dated April 2013.

WUCOLS NOTE:
WUCOLS, Water Use Classification of Landscape Species, is a University of California Cooperative Extension publication and is a guide to the water needs of the landscape plants.

FIRE PROTECTION NOTE:
All trees have been selected and arranged in compliance with Fire Protection Plan requirements as prescribed in report prepared by Oudek dated April 2013.

WUCOLS NOTE:
WUCOLS, Water Use Classification of Landscape Species, is a University of California Cooperative Extension publication and is a guide to the water needs of the landscape plants.

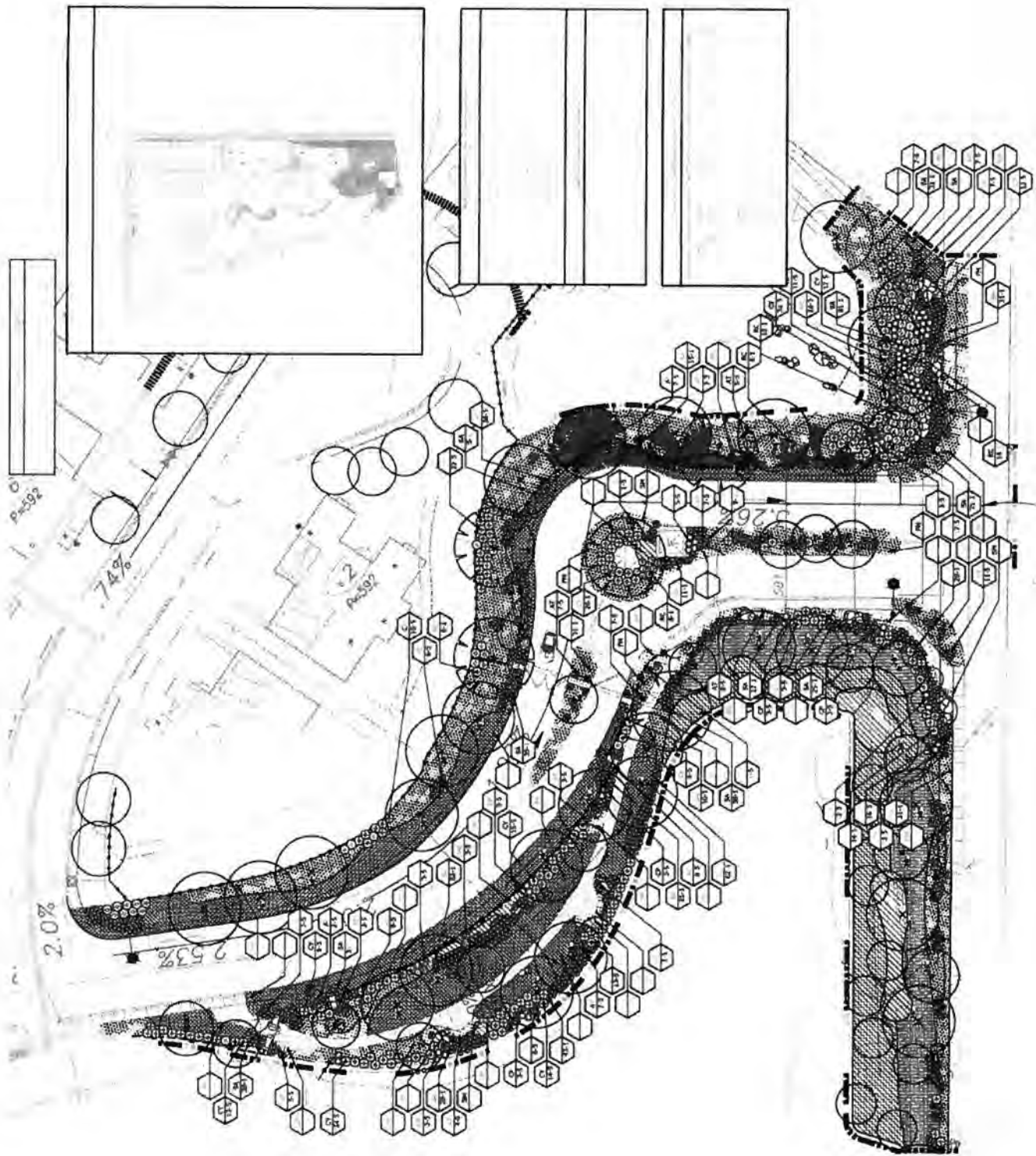


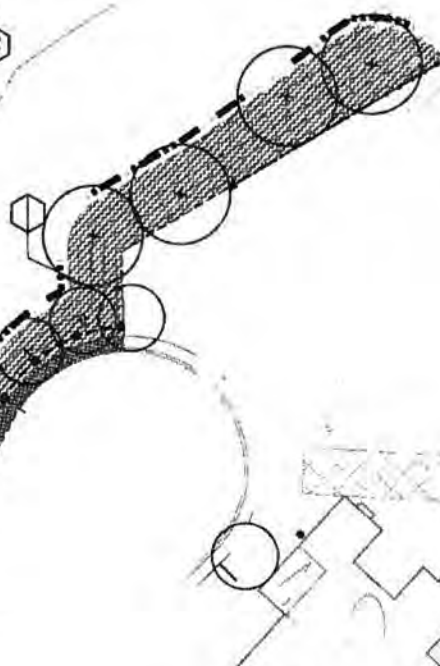
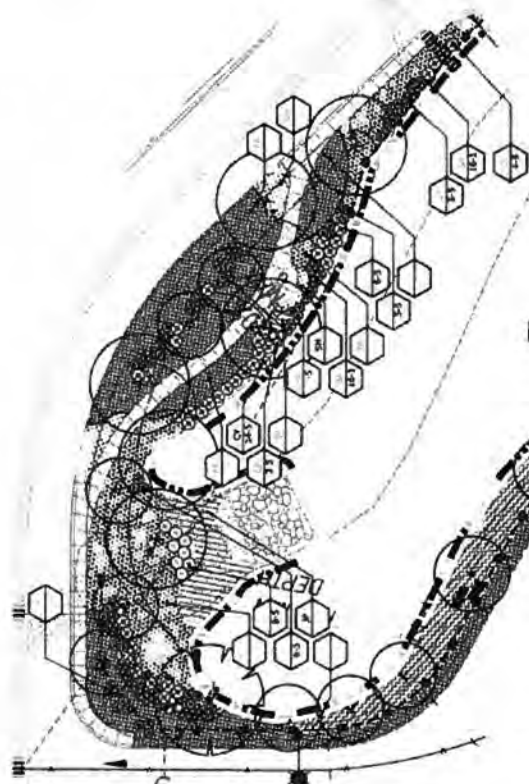
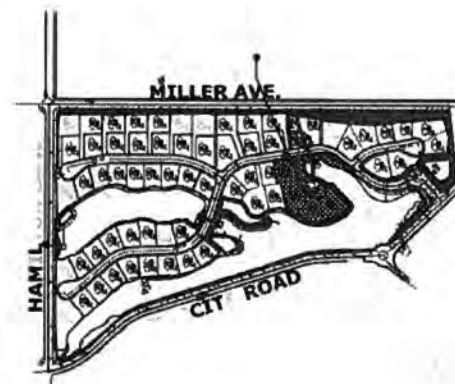
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05



LANDSCAPE PLAN



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INTERIOR STREETS - SHRUB SCHEDULE

SYMB.	ABBR.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS
—	AT	Agave attenuata	Foxtail Agave	5 Gal	36" O.C.	L
—	AL	Aloe arborescens	Torch Aloe	5 Gal	36" O.C.	L
—	CY	Ceanothus p.h. "Yankee Plant"	California Lilac	5 Gal	48" O.C.	L
—	CP	Cistus s. "Purpureus"	Rockrose	5 Gal	36" O.C.	L
—	EC	Eucalyptus californica	California Bottlebrush	1 Gal	36" O.C.	L
	FM	Festuca maritima	Atlas Fescue	1 Gal	24" O.C.	M
	FR	Festuca rubra	Red Fescue	5 Gal	10" O.C.	L
	JH	Iva hayesiana	San Diego Marsh Elder	1 Gal	6" O.C.	L
	JP	Juniper patens	California Gray Rush	5 Gal	24" O.C.	M
—	LL	Leonotis leionurus	Lion's Tail	5 Gal	48" O.C.	M
—	SA	Sesleria autumnalis	Autumn Moor Grass	1 Gal	24" O.C.	M
	MP	Myoporum p. "Pacificum"	Creeping Myoporum	1 Gal	6" O.C.	L
—	MC	Myrica californica	Pacific Wax Myrtle	5 Gal	30" O.C.	L
—	RC	Romneya coulteri	Madriga Poppy	1 Gal	48" O.C.	L
	RVS	Ribes viburnifolium "Spooner's Mess"	San Diego Evergreen Currant	1 Gal	48" O.C.	L
	SH	Senecio mandarinifolius	Blue Chalksticks	1 Gal	12" O.C.	L
—	TL	Tricostema lanatum	Woolly Blue Gums	5 Gal	26" O.C.	M

FIRE PROTECTION NOTE: All plant material has been selected and arranged in compliance with Fire Protection Plan requirements as prescribed in report prepared by Dudek dated April 2013.

INTERIOR STREETS - TREE SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	TRUNK	SIZE	WUCOLS
	Cercis occidentalis	Western Redbud	Multi	24" Box	L
	Platanus racemosa	Western Sycamore	Std.	24" Box 36" Box	M
	Quercus agrifolia	Coast Live Oak	Natural	24" Box 36" Box 48" Box	L
	Quercus agrifolia	Coast Live Oak	Natural	24" Box	L
	Quercus ilex	Holly Oak	Std.	24" Box 36" Box	L

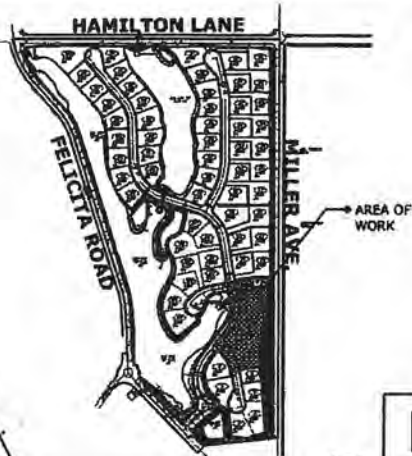
FIRE PROTECTION NOTE: All trees have been selected and arranged in compliance with Fire Protection Plan requirements as prescribed in report prepared by Dudek dated April 2013.

WUCOLS NOTE: Water Use Classification of Landscape Species

TREE MITIGATION LEGEND

Total Mitigation Trees : 460
Total Trees 24" Box or Larger Provided : 465
Total Mitigation Trees 24" Box or larger on this sheet : 21

KEY MAP



N.T.S.

L

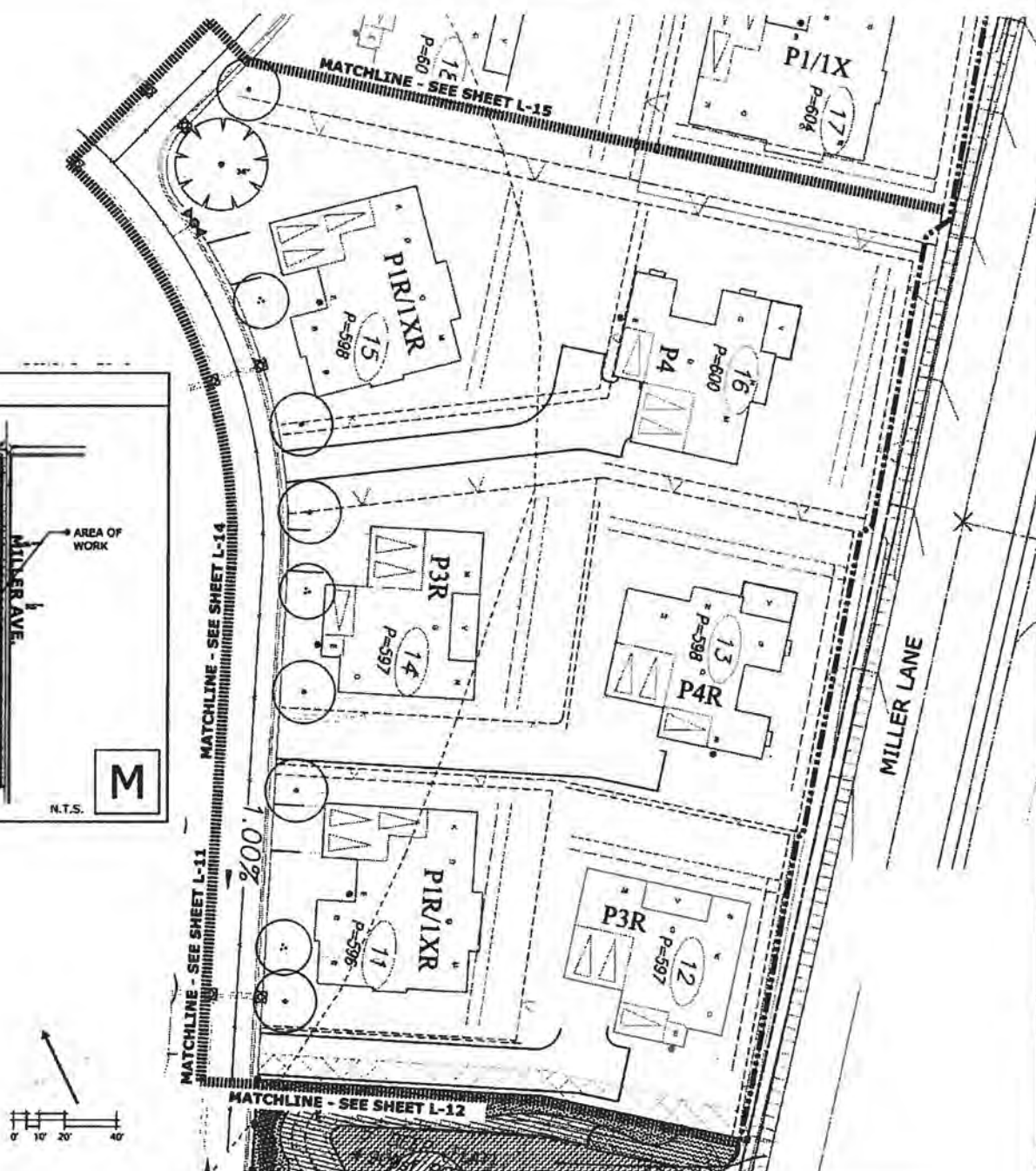
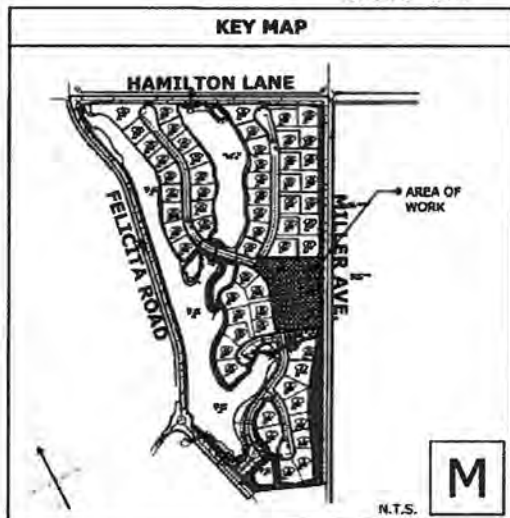
PROPOSED PROJECT
SUB 13-0002

98



LANDSCAPE PLAN

L-12



INTERIOR STREETS - TREE SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	TRUNK	SIZE	WUCOLS
	<i>Cercis occidentalis</i>	Western Redbud	Multi	24" Box	L
	<i>Platanus racemosa</i>	Western Sycamore	Std.	24" Box 36" Box	M
	<i>Quercus agrifolia</i>	Coast Live Oak	Natural	24" Box 36" Box 48" Box	L
	<i>Quercus agrifolia</i>	Coast Live Oak	Natural	24" Box	L
	<i>Quercus ilex</i>	Holly Oak	Std.	24" Box 36" Box	L

FIRE PROTECTION NOTE:

All trees have been selected and arranged in compliance with Fire Protection Plan requirements as prescribed in report prepared by Dudek dated April 2013.

WUCOLS NOTE: Water Use Classification of Landscape Species

TREE MITIGATION LEGEND

Total Mitigation Trees : 460
Total Trees 24" Box or Larger Provided : 465
Total Mitigation Trees 24" Box or larger on this sheet : 10

PLANTING SCHEDULE NOTE

RRCer to sheet L-12 for ISAerlor Street - Shrub Schedule.

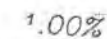
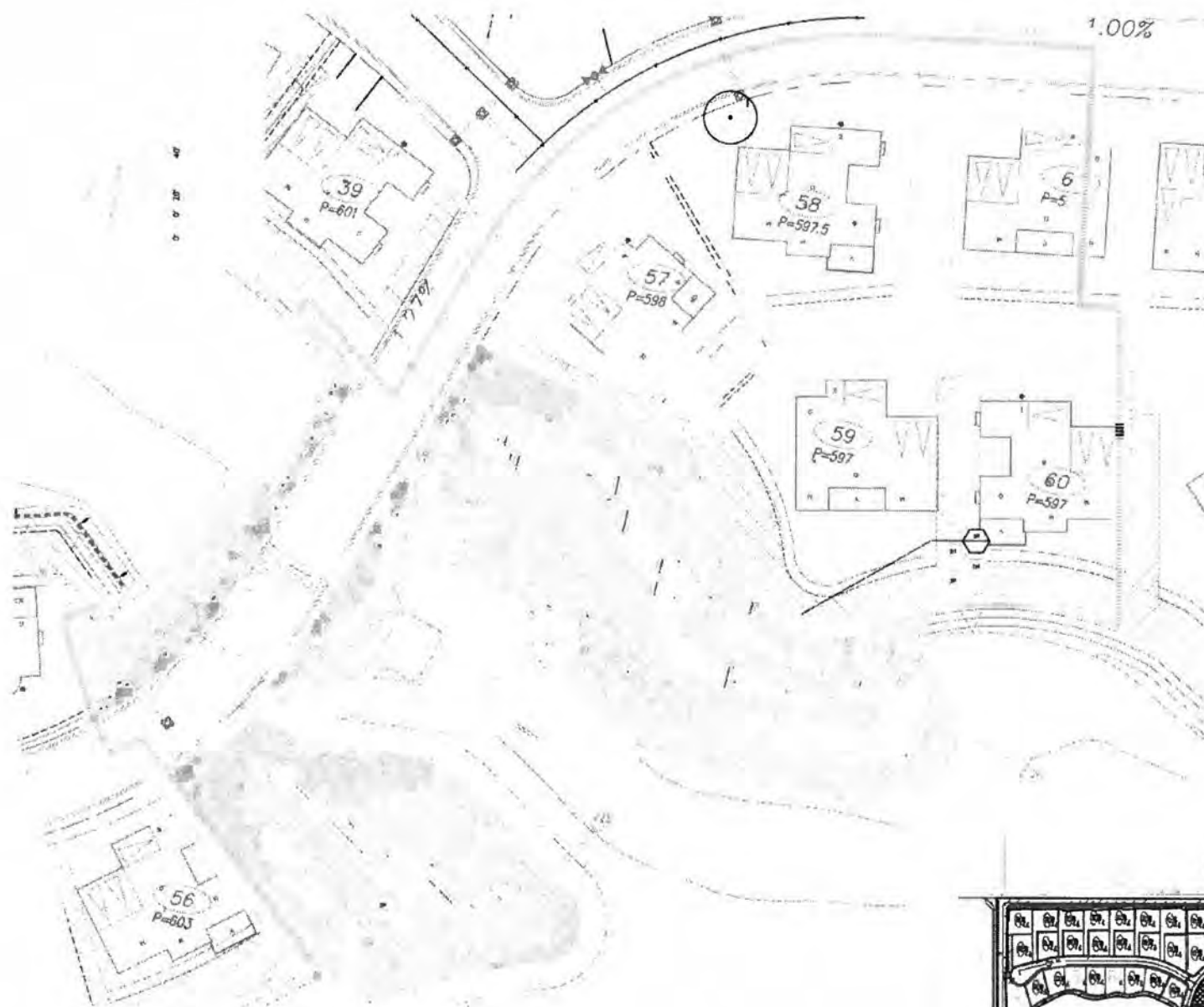
L-13

**PROPOSED PROJECT
SUB 13-0002**

99



LANDSCAPE PLAN



INTERIOR STREETS - TREE SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	TRUNK	SIZE	WUCOLS
	<i>Cercis occidentalis</i>	Western Redbud	Multi	24" Box	L
	<i>Platanus racemosa</i>	Western Sycamore	Std.	24" Box 36" Box	M
	<i>Quercus agrifolia</i>	Coast Live Oak	Natural	24" Box 36" Box 48" Box	L
	<i>Quercus agrifolia</i>	Coast Live Oak	Natural	24" Box	L
	<i>Quercus ilex</i>	Holly Oak	Std.	24" Box 36" Box	L

FIRE PROTECTION NOTE

All trees have been selected and arranged in compliance with Fire Protection Plan requirements as prescribed in report prepared by Dudek dated April 2013.

WUCOLS NOTE: Water Use Classification of Landscape Species

PLANTING SCHEDULE NOTE

RRCer to sheet L-12 for ISAerial Street - Shrub Schedule.

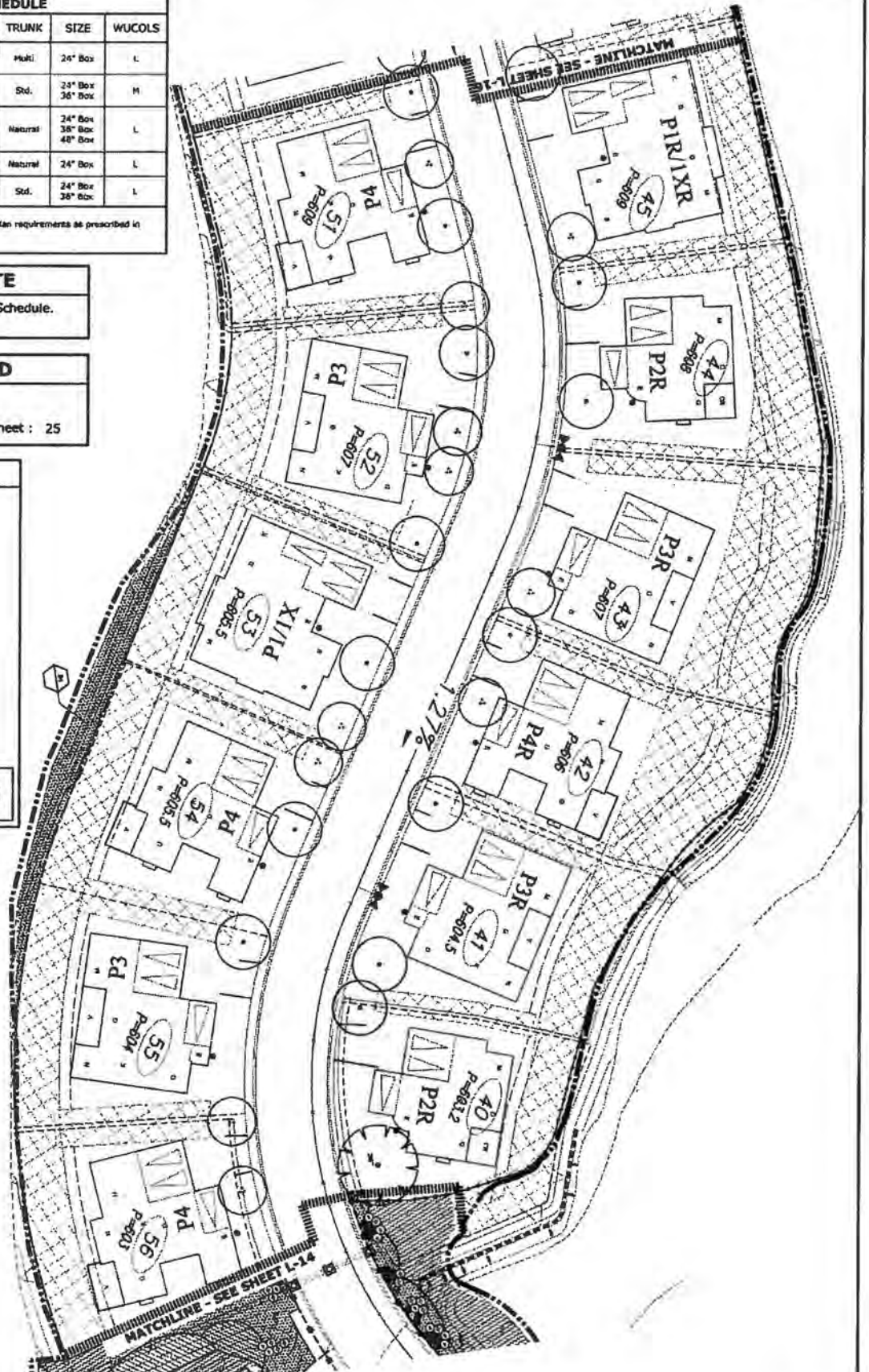
TREE MITIGATION LEGEND

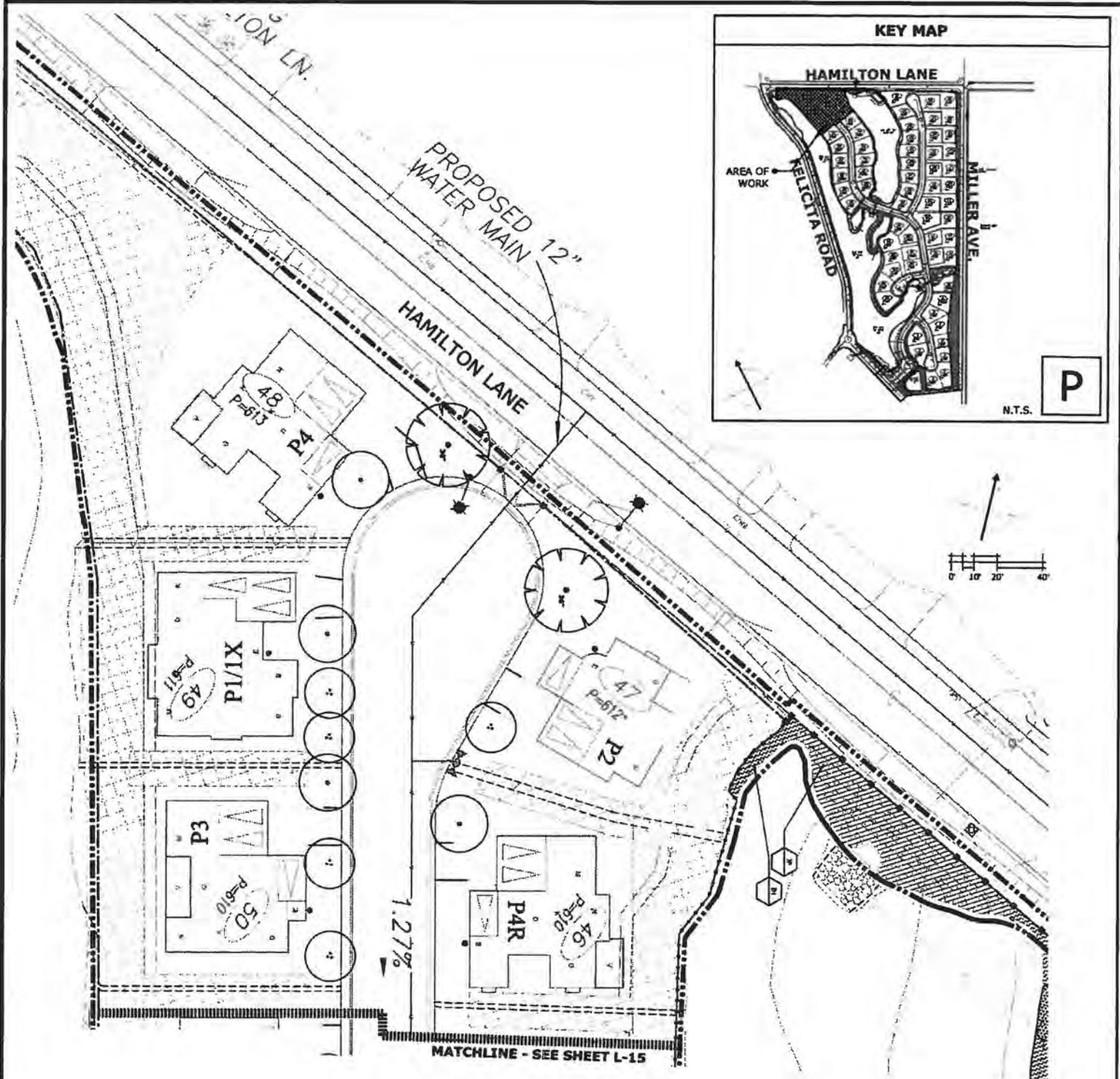
Total Mitigation Trees : 460

Total Trees 24" Box or Larger Provided : 465

Total Mitigation Trees 24" Box or larger on this sheet : 25

KEY MAP





INTERIOR STREETS - TREE SCHEDULE					
SYMBOL	BOTANICAL NAME	COMMON NAME	TRUNK	SIZE	WUCOLS
	<i>Cercis occidentalis</i>	Western Redbud	Multi	24" Box	L
	<i>Platanus racemosa</i>	Western Sycamore	Slit.	24" Box 36" Box	M
	<i>Quercus agrifolia</i>	Coast Live Oak	Natural	24" Box 36" Box 48" Box	L
	<i>Quercus agrifolia</i>	Coast Live Oak	Natural	24" Box	L
	<i>Quercus ilex</i>	Holly Oak	Slit.	24" Box 36" Box	L

FIRE PROTECTION NOTE:
All trees have been selected and arranged in compliance with Fire Protection Plan requirements as prescribed in report prepared by Dutak dated April 2013.

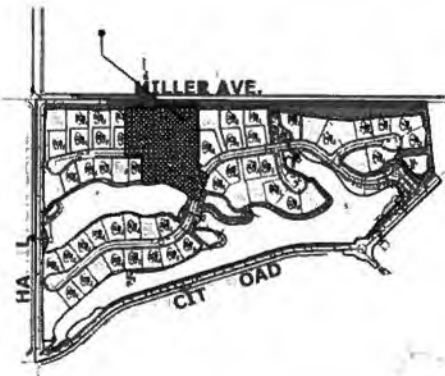
WUCOLS NOTE: Water Use Classification of Landscape Species

PLANTING SCHEDULE NOTE
RRCer to sheet L-12 for ISAerial Street - Shrub Schedule.
TREE MITIGATION LEGEND
Total Mitigation Trees : 460
Total Trees 24" Box or Larger Provided : 465
Total Mitigation Trees 24" Box or larger on this sheet : 11

L-16

PROPOSED PROJECT
SUB 13-0002





HAMILTON LANE

TREE MITIGATION LEGEND

Total Mitigation Trees : 460
Total Trees 24" Box or Larger Provided : 465
Total Mitigation Trees 24" Box or larger on this sheet : 26

PLANTING SCHEDULE NOTE

RRCer to sheet L-12 for 15Aerlor Street - Shrub Schedule.

INTERIOR STREETS - TREE SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	TRUNK	SIZE	WUCOLS
	<i>Cercis occidentalis</i>	Western Redbud	Multi	24" Box	L
	<i>Platanus racemosa</i>	Western Sycamore	Std.	24" Box 36" Box	M
	<i>Quercus agrifolia</i>	Coast Live Oak	Natural	24" Box 36" Box 48" Box	L
	<i>Quercus agrifolia</i>	Coast Live Oak	Natural	24" Box	L
	<i>Quercus ilex</i>	Holly Oak	Std.	24" Box 36" Box	L

FIRE PROTECTION NOTE:

All trees have been selected and arranged in compliance with Fire Protection Plan requirements as prescribed in report prepared by Dudek dated April 2013.

WUCOLS NOTE: Water Use Classification of Landscape Species

KEY MAP



MATCHLINE - SEE SHEET L-1:

L-18

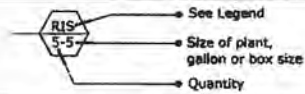
PROPOSED PROJECT
SUB 13-0002



PLANTING LEGEND

ESP.	Espaliered
GAL.	Gallon Container
G.C.	Ground Cover
HT.	Height
L.A.	Landscape Architect
O.C.	On Center
SPEC.	Specimen
STD.	Standard

PLANTING KEY



TYPICAL FRONT - SHRUB SCHEDULE

SYMB.	ABL.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS
AT		Agave attenuata	Fountain Agave	5 Gal	36" O.C.	L
CT		Carex lasiocarpa	Foothill Sedge	1 Gal	12" O.C.	L
CV		Ceanothus s.p. "Yankee Point"	California Lilac	1 Gal	48" O.C.	L
CP		Cistus s. "Purpureus"	Rockrose	5 Gal	36" O.C.	L
OC		Opuntia basilaris "King Alfred"	Blue Flax Lily	1 Gal	24" O.C.	L
FM		Festuca maritima	Adel's Fescue	1 Gal	36" O.C.	H
PC		Photinia neriifolia	Japanese Blueberry	15 Gal	As Shown	H
RC		Rhamnus californica	Coffinberry	5 Gal	36" O.C.	L
SA		Sesleria autumnalis	Autumn Floor Grass	1 Gal	24" O.C.	H
SM		Senecio mandarinica	Box Chelidonium	4" Pot	12" O.C.	L
WF		Wisteria frutescens	Coast Rosemary	5 Gal	36" O.C.	L

FIRE PROTECTION NOTE: All plant material has been selected and arranged in compliance with Fire Protection Plan requirements as prescribed in report prepared by Durbak dated April 2013.

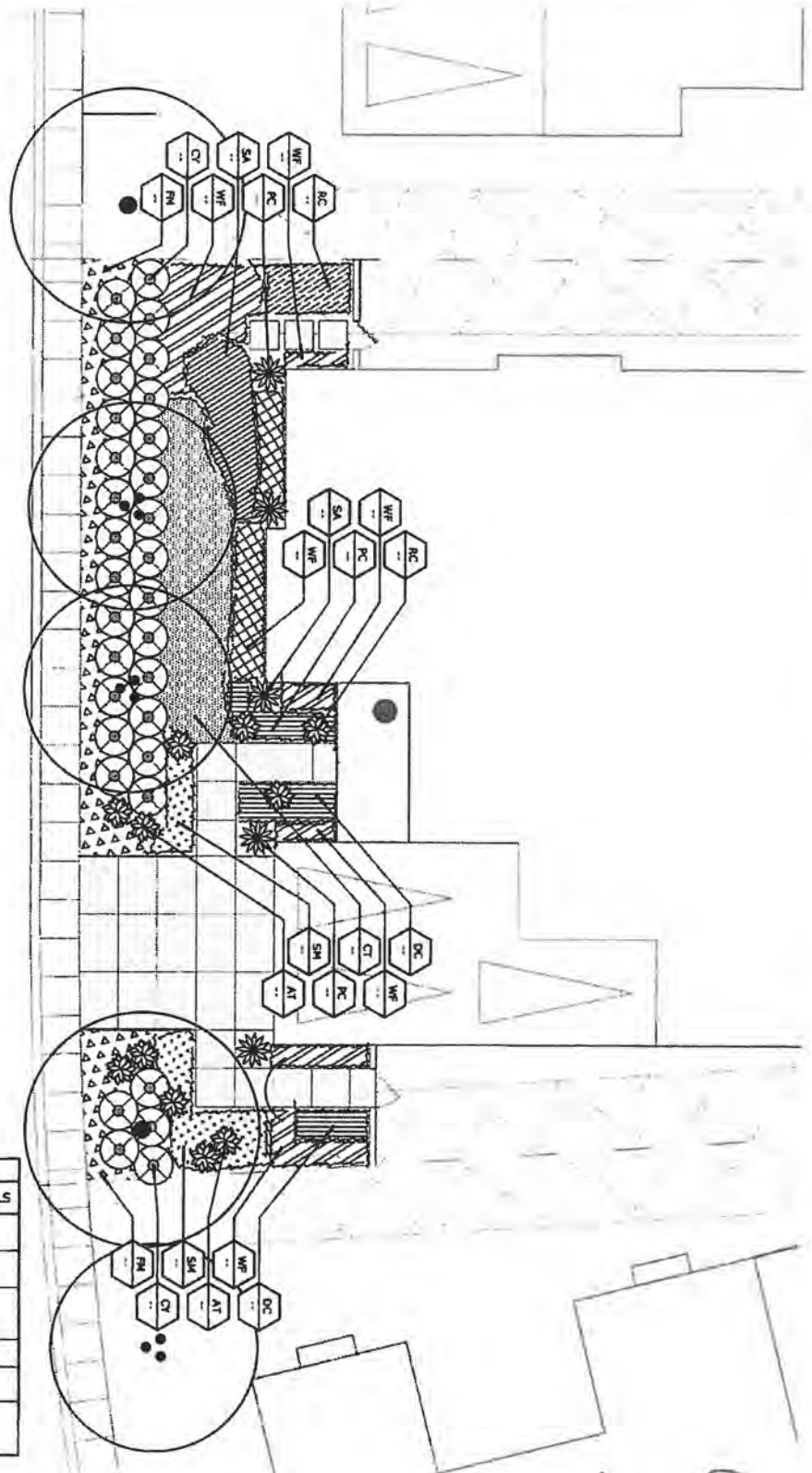
INTERIOR STREETS - TREE SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	TRUNK	SIZE	WUCOLS
A	Cercis occidentalis	Western Redbud	Multi	24" Box	L
B	Platanus racemosa	Western Sycamore	Std.	24" Box 36" Box	H
C	Quercus agrifolia	Coast Live Oak	Natural	24" Box 36" Box 48" Box	L
D	Quercus agrifolia	Coast Live Oak	Natural	24" Box	L
E	Quercus ilex	Holly Oak	Std.	24" Box 36" Box	L

FIRE PROTECTION NOTE:

All trees have been selected and arranged in compliance with Fire Protection Plan requirements as prescribed in report prepared by Durbak dated April 2013.

WUCOLS NOTE: Water Use Classification of Landscape Species



NOTE:

This exhibit is intended only to provide guidance and does not reflect final landscaping decisions made by homeowners in accordance with deed restrictions and CC&R's.

Mitigation Monitoring and Reporting Program for the Oak Creek Project Reduced Residential Footprint Alternative

City File: SUB 13-0002, PHG 13-0017, ENV 13-0006

SCH # 2014041092

January 6, 2015

Mitigation Monitoring and Reporting Program

Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Agency/Party	Verification Date
AIR QUALITY					
Air-1 Construction Dust Control Measures. The on-site construction superintendent shall ensure implementation of standard best management practices to reduce the emissions of fugitive dust during all grading and site preparation activities including, but not limited to, the following actions: 1. Water any exposed soil areas a minimum of twice per day, or as allowed under any imposed drought restrictions. On windy days or when fugitive dust can be observed leaving the construction site, additional water shall be applied at a frequency to be determined by the on-site construction superintendent. 2. Temporary hydroseeding with irrigation shall be implemented on all graded areas on slopes, and areas of cleared vegetation shall be revegetated as soon as possible following grading activities in areas that will remain in a disturbed condition (but will not be subject to further construction activities) for a period greater than three months during the construction phase. 3. Operate all vehicles on the construction site at speeds less than 15 miles per hour. 4. Cover all stockpiles that will not be utilized within three days with plastic or equivalent material, to be determined by the on-site construction superintendent, or spray them with a non-toxic chemical stabilizer. 5. If a street sweeper is used to remove any track-out/carry-out, only PM₁₀-efficient street sweepers certified to meet the most current South Coast Air Quality Management District Rule 1186 requirements shall be used. The use of blowers for removal of track-out/carry-out is prohibited under any circumstances. 6. Grading shall be terminated when winds exceed 25 mph. 7. Sweepers, wheel washers and water trucks shall be used to control dust and debris at public street access points. 8. Internal construction-roadways will be stabilized by paving, chip sealing or chemicals after rough grading. 9. Non-toxic soil stabilizers shall be applied according to manufacturer's specification to all inactive construction areas.	Require that the specified measures be implemented during grading activities for future development projects.	Plan check and Site inspection	Prior to the issuance of any grading or building permit and At site inspection	City of Escondido Engineering Services-Field Engineering Section	



Mitigation Monitoring and Reporting Program

Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Agency/Party	Verification Date
Bio-5 The Project applicant shall be required to obtain wetland permits and approvals for impacts to USACE and California Department of Fish and Wildlife (CDFW) jurisdictional areas. See Table 5.4-9 for a summary of mitigation requirements for jurisdictional areas. Impacts to southern willow riparian forest, southern coast live oak riparian forest, and coast live oak woodland jurisdictional habitats are anticipated to require a 3:1 mitigation ratio through creation and/or restoration and/or enhancement of riparian or oak woodland habitat on site. Impacts to CDFW eucalyptus woodland and non-wetland Waters of the U.S./CDFW streambeds shall be mitigated through creation/restoration at a 1:1 ratio. This will require creation/restoration of approximately 0.07 acre of drainages, of which a minimum of 0.07 acre must be USACE jurisdictional. Wetland mitigation is proposed to occur within the 9.8 acres of open space along existing on-site drainages, with final mitigation requirements to be determined by the resource agencies through the permitting process. On-site mitigation is proposed to consist of recontouring a portion of the stream channel, removal of non-native species, and seeding/planting with a mix of native shrubs and trees. A detailed restoration, maintenance and monitoring plan shall be prepared by a qualified restoration ecologist/biologist and shall be approved by the City prior to issuance of a grading permit. More detail information regarding the performance standards that will be used in the implementation of this mitigation measure is provided in the Riparian Habitat Mitigation Plan for the Oak Creek Project found in Appendix G of the Biological Technical Report, which is Appendix F in the Final EIR. The biological open space lots would be preserved in their natural state within a permanent conservation easement and mechanism for privately funded on-going maintenance managed in perpetuity for biological resource values by the HOA. Conserved areas on site would be placed in an open space easement and managed through funding provided by the Project's Homeowners Association (HOA), with management overseen by a qualified biologist/resource manager.	Require that the specified measures be implemented prior to, and during grading activities for future development projects.	Plan check and Site inspection	Prior to the issuance of any grading or building permit and At site inspection	City of Escondido Engineering Services-Field Engineering Section	

Mitigation Monitoring and Reporting Program

Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Agency/Party	Verification Date																																														
Table 5.4-9 <table border="1"> <thead> <tr> <th rowspan="2">Jurisdictional Area</th><th rowspan="2">Ratio</th><th colspan="2">USACE ¹</th><th colspan="2">CDFW</th></tr> <tr> <th>Impacts</th><th>Mitigation</th><th>Impacts</th><th>Mitigation</th></tr> </thead> <tbody> <tr> <td>Southern willow riparian forest</td><td>3:1</td><td>0.05</td><td>0.15</td><td>0.23</td><td>0.69</td></tr> <tr> <td>Southern coast live oak riparian forest</td><td>3:1</td><td>--</td><td>--</td><td>0.04</td><td>0.12</td></tr> <tr> <td>Coast live oak woodland</td><td>3:1</td><td>--</td><td>--</td><td>0.27</td><td>0.81</td></tr> <tr> <td>Eucalyptus woodland</td><td>1:1</td><td>--</td><td>--</td><td>0.02</td><td>0.02</td></tr> <tr> <td>Non-wetland Waters of the U.S / Streambed</td><td>1:1</td><td>0.07</td><td>0.07</td><td>0.04</td><td>0.04</td></tr> <tr> <td>Total</td><td>--</td><td>0.12</td><td>0.22</td><td>0.60</td><td>1.68</td></tr> </tbody> </table> Note: Areas are presented in acre(s) rounded to the nearest 0.01. ¹ USACE is a subset of the CDFW jurisdiction. Source: Helix Environmental 2014						Jurisdictional Area	Ratio	USACE ¹		CDFW		Impacts	Mitigation	Impacts	Mitigation	Southern willow riparian forest	3:1	0.05	0.15	0.23	0.69	Southern coast live oak riparian forest	3:1	--	--	0.04	0.12	Coast live oak woodland	3:1	--	--	0.27	0.81	Eucalyptus woodland	1:1	--	--	0.02	0.02	Non-wetland Waters of the U.S / Streambed	1:1	0.07	0.07	0.04	0.04	Total	--	0.12	0.22	0.60	1.68
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Total	--	0.12	0.22	0.60	1.68																																														
Bio-6 Prior to the issuance of grading permits, the Project applicant shall submit a Conceptual Habitat Restoration Plan (CHRP) to the City Community Development Department for review and approval. The CHRP, which is described more fully in Appendix C Tree Management and Preservation Plan, shall be a cohesive restoration and monitoring plan that addresses site-wide restoration/mitigation efforts and includes a tree planting, canopy cover goal, and monitoring component. The CHRP shall specify native oak, willow, sycamore, and cottonwood tree planting details, locations, and long-term maintenance and monitoring for the mitigation of trees. The CHRP shall be used to prepare bidding construction documents for site preparation, tree installation, and maintenance. The CHRP shall require that a knowledgeable arborist or biologist be retained to monitor mitigation tree plantings for a period of five years. The CHRP also shall outline reporting protocols and standards for mitigation tree replacement, should it be necessary if canopy cover goals are not being achieved. Table 5.4-13, Landscape Tree Replacement Calculation, identifies the total number of plantings required to meet the intent	Require that the specified measures be implemented prior to grading activities for future development projects.	Plan check and Site inspection	Prior to the issuance of any grading or building permit and At site inspection	City of Escondido Engineering Services-Field Engineering Section																																															

Mitigation Monitoring and Reporting Program

Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Agency/Party	Verification Date
of the City's tree protection and replacement requirements. Upon approval of the CHRP, the Project applicant shall implement the plan. Implementation of the CHRP shall achieve at a minimum 2:1 replacement of trees at the end of five years.					

Table 5.4-13

Impacted Tree Type	Grading Related	Replacement Ratio	Replacement Species ¹	Total Number Replacement Trees ²
<i>Cedrus deodora</i>	1	1:1	--	1
<i>Eucalyptus camaldulensis</i>	38	1:1	--	38
<i>Eucalyptus cinerea</i>	2	1:1	--	2
<i>Eucalyptus cladocylax</i>	2	1:1	--	2
<i>Fraxinus uhdei</i>	2	1:1	--	2
<i>Olea eurpea</i>	37	1:1	--	37
<i>Phoenix canariensis</i>	2	1:1	--	2
<i>Pinus elderica</i>	3	1:1	--	3
<i>Quercus agrifolia</i> (protected)	97	2:1	--	194
<i>Q. agrifolia</i> (mature)	98	1:1	--	98
<i>Q. engelmannii</i> (protected)	3	2:1	--	6
<i>Q. engelmannii</i> (mature)	3	1:1	--	3
<i>Salix goodingii</i>	18	1:1	--	18
<i>Salix lasiolepis</i>	11	1:1	--	11
<i>Schinus molle</i>	2	1:1	--	2
<i>S. terebenthifolius</i>	7	1:1	--	7
<i>Ulmus parvifolia</i>		1:1	--	3
<i>Washingtonia robusta</i>	24	1:1	--	24
Minimum Required Escondido Mitigation Tree Plantings				453
Minimum Proposed Landscape Plantings				453
Minimum Proposed Habitat Area Tree Plantings				1,500 to 2,000

¹ Replacement species will be a combination of native oak, sycamore, willow, and cottonwood in the riparian areas and native oak and other landscape trees within the urbanized area of the Project.

² Total replacement trees include coast live oak and other suitable native or ornamental species that would be planted to comply with Section 33-1069 of the City's Municipal Code, as well as trees that would be provided to mitigate habitat impacts as required in mitigation measures Bio-4 and Bio-5.

Source: Dudek 2014

Mitigation Monitoring and Reporting Program

Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Agency/Party	Verification Date
CULTURAL RESOURCES					
Cul-1 The following mitigation monitoring program shall be implemented to address potential impacts to undiscovered buried archaeological resources within the project site and off site. This program shall include, but not be limited to, the following actions: 1. Prior to issuance of a grading permit, the applicant shall provide written verification to the City that a qualified archaeologist has been retained to implement the monitoring program. This verification shall be presented in a letter from the Project archaeologist to the lead agency. The City, prior to any pre-construction meeting, shall approve all persons involved in the monitoring program, including a qualified Native American monitor. 2. The qualified archaeologist shall attend the pre-grading meeting with the contractors to explain and coordinate the requirements of the monitoring program. 3. During the original cutting of previously undisturbed deposits, the archaeological monitor(s) shall be on site full-time to perform periodic inspections of the excavations. The frequency of inspections shall depend on the rate of excavation, the materials excavated, and the presence and abundance of artifacts and features. 4. A Native American monitor shall accompany the archaeologist monitor during all times that the archaeological monitor(s) is on site. 5. Isolates and clearly non-significant deposits shall be minimally documented in the field so the monitored grading can proceed. 6. In the event that previously unidentified cultural resources are discovered, the archaeologist shall have the authority to divert or temporarily halt ground disturbance operation in the area of discovery to allow for the evaluation of potentially significant cultural resources. The archaeologist shall contact the City's Project manager at the time of discovery of previously unidentified cultural resources within the project site. The archaeologist, in consultation with the City's Project manager, shall determine the significance of the discovered resources. The City must concur with the evaluation before construction activities will be allowed to resume in the affected area. For significant cultural resources, a Research Design and Data Recovery Program to mitigate impacts shall be prepared by the consulting archaeologist and approved by the lead agency, then carried out using professional archaeological methods. The archaeologist shall contact the County DPR Resource Management Division and County Archaeologist at the time of discovery of previously unidentified cultural resources within off-site construction areas.	Require that the specified measures be implemented prior to, and during grading activities for future development projects.	Department review and approval	Prior to project approval	City of Escondido Community Development Department – Planning Division	Require that the significant archaeological resources be preserved or adequately mitigated.







Mitigation Monitoring and Reporting Program

Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Agency/Party	Verification Date
2. Prior to issuance of a grading permit for the selected remedial method (options 1, 2, or 3), any areas proposed for disturbance on the project site where previous hazardous materials releases have occurred must be mitigated in accordance with the requirements of the overseeing regulatory agency (DTSC, RWQCB or CDFW, as appropriate) for the proposed residential use of the site. All proposed groundbreaking activities within areas of identified or suspected contamination shall be conducted according to a site-specific health and safety plan, prepared by a licensed professional in accordance with California Division of Occupational Safety and Health (Cal OSHA) regulations (contained in Title 8 of the California Code of Regulations) to protect the public and all workers in the construction area prior to the commencement of groundbreaking. 3. Following completion of the selected remedial method, the project applicant shall seek and obtain written regulatory closure letter from the DTSC specifying that no further action is necessary in regard to the TPH- and arsenic-impacted soil. <u>Overseeing Agencies:</u> DTSC, along with CDFW and RWQCB for portions of the project site near the creek. 4. The transportation of the exported soil is included as part of the grading activities associated with the Project and is described in Section 4.3.3, Site and Infrastructure Improvements and is addressed in Sections 5.3 Air Quality, 5.11 Noise and 5.14 Transportation and Traffic.					

Mitigation Monitoring and Reporting Program

Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Agency/Party	Verification Date
5. Regarding potential dust migration impacts associated with the excavation, loading and transport of contaminated soils, all trucks transporting soil or waste shall comply with 22 California Code of Regulations (CCR) Part 66263.16, Standards Applicable to Transporters of Hazardous Waste. The following mitigation measures that will be implemented include but are not limited to: a. Dust monitoring shall be conducted during loading of contaminated soil in conformance with the procedures and standards described below under mitigation measure Haz-4. b. Water shall be used for dust suppression, if necessary. c. Transport trucks shall have the contaminated soils loads covered with a retractable during transportation; d. Transport trucks shall have at a minimum one foot of freeboard with the truck is loaded to prevent spillage. e. Standard SWPPP procedures described in Section 5.9.3.1 Issue 1: Water Quality Standards and Requirements shall be implemented to prevent the migration of contaminated soil from the project site, such as installation of devices specially designed to clear tires of sediment and hold it for later cleanout. 6. Potential human health risk mitigation measures would include the installation of soil vapor barriers beneath proposed building structures to prevent soil vapor intrusion if the vapor levels exceed regulatory standards. Additionally, the pockets of soil impacted by petroleum hydrocarbons and/or by heavy metals at concentrations above regional background levels will be mitigated through a removal action with either on-site strategic placement to eliminate the exposure pathway or off-site disposal at a suitable landfill. 7. The truck haul route for the export of contaminated soils will head north from the project site along Felicita Road to Gamble Lane and then to Interstate 15. The return route would follow the same roadways.					
Haz-4 This measure addresses potential health impacts from exposure to contaminated dust during construction, both for workers at the Project and for residents around the Project during construction. This measure would take place during grading activities associated with remediating the contaminated soils on site and it would be monitored by a qualified hazardous materials specialist. The features of the measure are as follows.					

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Mitigation Monitoring and Reporting Program

Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Agency/Party	Verification Date
5. If, during the excavation activities, monitoring results indicate contaminant levels that are 75 percent or more of the lowest identified fugitive dust health-based air action level derived (as specified above), the following dust mitigation measures will be employed: a. Water (or another non-hazardous agent) will be applied to exposed soil to prevent dust migration from arising during earth movement activities (e.g., excavation and/or grading); b. Water will be applied to stockpiled soil, which will also be covered with plastic sheeting to prevent dust migration; and During periods of high wind (i.e., instantaneous wind speeds exceeding 25 miles per hour as measured by an anemometer), earth movement activities will be discontinued until wind speeds decrease to speeds less than 25 miles per hour. The 25 mile per hour standard is set forth at page 403-3 of the South Coast Air Quality District (SCAQMD) Rule 403 and was selected as the nearest applicable standard (because San Diego County does not have published standards regarding maximum wind speeds). SCAQMD Rule 403 is available at the following address: http://www.aqmd.gov/search?q=Rule 403.					
Haz-4a As required by the DTSC, the applicant will include a deed restriction on the title for the Project that prohibits the use of groundwater at the project site for any purpose including, without limitation, any extraction of groundwater.	Require that the specified measures be implemented during grading activities for future development projects.	Plan check	Prior to the issuance of any grading or building permit	City of Escondido Engineering Services Department	
Haz-5 Prior to the start of construction, the construction contractor shall notify the Escondido Police Department of the location, timing and duration of any lane closure(s) on Felicita Road, or any other road in the project area, due to project construction activities. If determined necessary by the Police Department, local emergency services, including the Escondido Fire Department and appropriate ambulance services, shall also be notified of the lane closure(s).	Require that the specified measures be implemented during grading activities for future development projects.	Plan check and Site inspection	Prior to the issuance of any grading or building permit and At site inspection	City of Escondido Engineering Services Department – Field Engineering Section	

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Mitigation Monitoring and Reporting Program

Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Agency/Party	Verification Date
HYDROLOGY AND WATER QUALITY					
Hydro-1 A Letter of Map Revision (LOMR) certifying that all houses within the Project been elevated above the base flood level of the 100-year floodplain is required from the Federal Emergency Management Agency. The Project is required to model stormwater flow through the channel system as part of final Project engineering to meet FEMA requirements.	Require that the specified measures be implemented during grading activities for future development projects.	Plan check and Site inspection	Prior to the issuance of any grading or building permit	City of Escondido Engineering Services Department – Field Engineering Section	
Hydro-2 Impervious Cover on Homeowners Lots - The sizing for the on-site bioretention/detention basins have been calculated based on 50% impervious surface for each lot and 100% impervious for streets and fire access. The actual impervious area installed by the builder on each lot has been calculated to be an average of approximately 34%, leaving 2,053 square feet available to each homeowner to install additional impervious hardscape or impervious structural improvements on their property. The builder will be required to provide a disclosure to all homebuyers informing purchasers of this limitation. Prior to issuance of grading or building permits for improvements by a future homeowner, the landscape or architectural consultant to the HOA shall provide an area calculation of all impervious surfaces (excluding water surface area in pools) that have been installed on the property since the initial purchase date from the builder plus the additional impervious area proposed by the homeowner. This calculation shall be provided to the City of Escondido Planning Division with the plans at the time of permit application for their approval to ensure consistency with this mitigation measure and the project conditions of approval.	Require that the specified measures be implemented as part of future HOA or homeowner permitted development projects.	Plan check and Site inspection	Prior to the issuance of any grading or building permit	City of Escondido Engineering Services Department – Field Engineering Section and Planning Department	

Mitigation Monitoring and Reporting Program

Mitigation Measures	Implementation Action	Method of Verification	Timing of Verification	Responsible Agency/Party	Verification Date
NOISE					
Noi-1 Limit Vibration-generating Equipment. The construction contractor shall not operate a vibratory roller, or equipment with the potential to result in an equivalent level of vibration, within 75 feet of any residence.	Require that the specified measures be implemented, as applicable, during construction activities for future development projects.	Plan check and Site inspection	Prior to the issuance of any grading or building permit and At site inspection	Plan Check: City of Escondido Community Development Department – Building Division Inspection: City of Escondido Engineering Services Department – Field Engineering Section	
Noi-2 The construction contractor shall implement a noise mitigation plan to ensure that construction noise levels will not exceed an hourly average noise level of 75 dBA at any residence. The plan shall be verified by a qualified acoustical engineer and be subject to approval by the City Engineer. Measures to be included in the plan shall include the following, as necessary, to achieve compliance with the City's noise ordinance for construction within 140 feet of an off-site residential lot: 1. Equipment and trucks used for Project construction shall use the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake silencers, ducts, engine enclosures and acoustically attenuating shields or shrouds). 2. Construction contractors shall use "quiet" gasoline-powered compressors or other electric-powered compressors, and use electric rather than gasoline or diesel powered forklifts for small lifting. 3. Stationary noise sources, such as temporary generators, shall be located as far from nearby receptors as possible, and they shall be muffled and enclosed within temporary sheds, incorporate insulation barriers, or other measures to the extent feasible. 4. Temporary plywood noise barriers eight feet in height shall be installed as needed around the construction site to minimize construction noise to 75 dBA as measured at the applicable property lines of the adjacent uses, unless an acoustical engineer submits documentation that confirms that the barriers are not necessary to achieve the attenuation levels.	Require that the specified measures be implemented, as applicable, during construction activities for future development projects.	Plan check and Site inspection	Prior to the issuance of any grading or building permit and At site inspection	Plan Check: City of Escondido Community Development Department – Building Division Inspection: City of Escondido Engineering Services Department – Field Engineering Section	

Mitigation Measures: The project includes the following mitigation measures which would mitigate potentially significant impacts associated with these facilities to below a level of significance:

Air-1 Construction Dust Control Measures. The on-site construction superintendent shall ensure implementation of standard best management practices to reduce the emissions of fugitive dust during all grading and site preparation activities including, but not limited to, the following actions:

1. Water any exposed soil areas a minimum of twice per day, or as allowed under any imposed drought restrictions. On windy days or when fugitive dust can be observed leaving the construction site, additional water shall be applied at a frequency to be determined by the on-site construction superintendent.
2. Temporary hydroseeding with irrigation shall be implemented on all graded areas on slopes, and areas of cleared vegetation shall be revegetated as soon as possible following grading activities in areas that will remain in a disturbed condition (but will not be subject to further construction activities) for a period greater than three months during the construction phase.
3. Operate all vehicles on the construction site at speeds less than 15 miles per hour.
4. Cover all stockpiles that will not be utilized within three days with plastic or equivalent material, to be determined by the on-site construction superintendent, or spray them with a non-toxic chemical stabilizer.
5. If a street sweeper is used to remove any track-out/carry-out, only PM₁₀-efficient street sweepers certified to meet the most current South Coast Air Quality Management District Rule 1186 requirements shall be used. The use of blowers for removal of track-out/carry-out is prohibited under any circumstances.
6. Grading shall be terminated when winds exceed 25 mph.
7. Sweepers, wheel washers and water trucks shall be used to control dust and debris at public street access points.
8. Internal construction-roadways will be stabilized by paving, chip sealing or chemicals after rough grading.
9. Non-toxic soil stabilizers shall be applied according to manufacturer's specification to all inactive construction areas.

Finding

The City finds that Mitigation Measure Air-1 is incorporated into the proposed Project, is feasible, and will reduce potentially significant impacts on air quality resources to less than significant levels, thereby avoiding any significant effects as identified in the Final EIR.

Facts in Support of Finding:

The construction-related criteria pollutant emissions for each phase shows that the VOC, NO_x, CO, PM₁₀, and PM_{2.5} project construction emissions would not exceed the pound per day CEQA thresholds adopted by the City of Escondido (Municipal Code section 33-924) and are below the County of San Diego's CEQA screening thresholds and the South Coast Air Quality

4. All construction and security lighting associated with the Project shall be shielded or directed away from the open space.
5. After construction is complete, Project landscaping shall not include any California Invasive Plant Council (Cal-IPC) List A species.
6. A homeowner education program shall be implemented to alert homeowners of the need to keep pets outside of the on-site open space areas. The homeowners association shall be responsible for implementing rules related to resident's pets.
7. A management plan shall be provided for the on-site open space that will include all stewardship measures, such as upkeep of fencing and signs, restricting trespassing, and removing debris. The management plan will be implemented by the HOA. All fuel modification zones in open space lots will be maintained by the HOA. The HOA will be responsible for all vegetation management throughout the common areas of the project site, in compliance with the requirements. The HOA will be responsible for ensuring long-term funding and ongoing compliance with all provisions of the Project's Fire Protection Plan, including vegetation planting, fuel modification, vegetation management, and maintenance requirements throughout the private portions of the project site. Individual property owners will be responsible for maintaining zones on their property.

Bio-3 All brush removal, grading, and clearing of vegetation on the project site shall take place outside of the bird breeding season (February 15 [January 1 for tree dwelling raptors] through September 15). If construction activities are proposed to occur during the breeding season, a pre-construction survey shall be conducted by a qualified biologist no longer than seven days prior to the start of construction to determine if nesting birds are present on site. No construction activities shall occur within 300 feet of burrowing owl burrows, tree dwelling raptor nests, or least Bell's vireo, or within 800 feet of ground dwelling raptor nests, until a qualified biologist has determined that they are no longer active or that noise levels will not exceed 60 dB(A) Equivalent Energy Level (L_{eq}) at the nest site. Alternatively, noise minimization measures such as noise barriers shall be constructed to bring noise levels to below 60 dB(A) L_{eq} , which will reduce the impact to below a level of significance.

Bio-4 The Project would cause direct impacts to 1.1 acre of coast live oak woodland (0.9 acre of which is outside of CDFW jurisdiction), 0.1 acre of Diegan coastal sage scrub, and 3.1 acres of non-native grassland. Impacts to 0.9 acre of coast live oak woodland shall be mitigated at a 3:1 ratio through acquisition of 2.7 acres of credit from the Daley Ranch Mitigation Bank. The remaining 0.27 acre of coast live oak woodland within CDFW jurisdiction is addressed in mitigation measure Bio-5 below. Impacts to 0.1 acre of Diegan coastal sage scrub shall be mitigated at a 2:1 ratio through acquisition of 0.2 acre of credits from the Daley Ranch Mitigation Bank, while impacts to non-native grassland shall be mitigated at a 0.5:1 ratio through acquisition of 1.6 acres of credits from the Daley Ranch Mitigation Bank. See Table 5.4-8 for a summary of mitigation requirements.



existing on-site drainages, with final mitigation requirements to be determined by the resource agencies through the permitting process. On-site mitigation is proposed to consist of recontouring a portion of the stream channel, removal of non-native species, and seeding/planting with a mix of native shrubs and trees. A detailed restoration, maintenance and monitoring plan shall be prepared by a qualified restoration ecologist/biologist and shall be approved by the City prior to issuance of a grading permit. More detail information regarding the performance standards that will be used in the implementation of this mitigation measure is provided in the Riparian Habitat Mitigation Plan for the Oak Creek Project found in Appendix G of the Biological Technical Report, which is Appendix F in the Final EIR.

The biological open space lots would be preserved in their natural state within a permanent conservation easement and mechanism for privately funded on-going maintenance managed in perpetuity for biological resource values by the HOA. Conserved areas on site would be placed in an open space easement and managed through funding provided by the Project's Homeowners Association (HOA), with management overseen by a qualified biologist/resource manager.

Table 5.4-9

Jurisdictional Area	Ratio	USACE ¹		CDFW	
		Impacts	Mitigation	Impacts	Mitigation
Southern willow riparian forest	3:1	0.05	0.15	0.23	0.69
Southern coast live oak riparian forest	3:1	--	--	0.04	0.12
Coast live oak woodland	3:1	--	--	0.27	0.81
Eucalyptus woodland	1:1	--	--	0.02	0.02
Non-wetland Waters of the U.S / Streambed	1:1	0.07	0.07	0.04	0.04
Total	--	0.12	0.22	0.60	1.68

Note: Areas are presented in acre(s) rounded to the nearest 0.01.

¹ USACE is a subset of the CDFW jurisdiction.

Source: Helix Environmental 2014

CHRP shall be used to prepare bidding construction documents for site preparation, tree installation, and maintenance. The CHRP shall require that a knowledgeable arborist or biologist be retained to monitor mitigation tree plantings for a period of five years. The CHRP also shall outline reporting protocols and standards for mitigation tree replacement, should it be necessary if canopy cover goals are not being achieved. Table 5.4-13, Landscape Tree Replacement Calculation, identifies the total number of plantings required to meet the intent of the City's tree protection and replacement requirements. Upon approval of the CHRP, the Project applicant shall implement the plan. Implementation of the CHRP shall achieve at a minimum 2:1 replacement of trees at the end of five years.

Table 5.4-13

Impacted Tree Type	Grading Related	Replacement Ratio	Replacement Species¹	Total Number Replacement Trees²
<i>Cedrus deodora</i>	1	1:01	--	1
<i>Eucalyptus camaldulensis</i>	38	1:01	--	38
<i>Eucalyptus cinerea</i>	2	1:01	--	2
<i>Eucalyptus cladocylax</i>	2	1:01	--	2
<i>Fraxinus uhdei</i>	2	1:01	--	2
<i>Olea eurpea</i>	37	1:01	--	37
<i>Phoenix canariensis</i>	2	1:01	--	2
<i>Pinus elderica</i>	3	1:01	--	3
<i>Quercus agrifolia</i> (protected)	97	2:01	--	194
<i>Q. agrifolia</i> (mature)	98	1:01	--	98
<i>Q. englemannii</i> (protected)	3	2:01	--	6
<i>Q. englemannii</i> (mature)	3	1:01	--	3
<i>Salix goodingii</i>	18	1:01	--	18
<i>Salix lasiolepis</i>	11	1:01	--	11

- agency. The City, prior to any pre-construction meeting, shall approve all persons involved in the monitoring program, including a qualified Native American monitor.
2. The qualified archaeologist shall attend the pre-grading meeting with the contractors to explain and coordinate the requirements of the monitoring program.
 3. During the original cutting of previously undisturbed deposits, the archaeological monitor(s) shall be on site full-time to perform periodic inspections of the excavations. The frequency of inspections shall depend on the rate of excavation, the materials excavated, and the presence and abundance of artifacts and features.
 4. A Native American monitor shall accompany the archaeologist monitor during all times that the archaeological monitor(s) is on site.
 5. Isolates and clearly non-significant deposits shall be minimally documented in the field so the monitored grading can proceed.
 6. In the event that previously unidentified cultural resources are discovered, the archaeologist shall have the authority to divert or temporarily halt ground disturbance operation in the area of discovery to allow for the evaluation of potentially significant cultural resources. The archaeologist shall contact the City's Project manager at the time of discovery of previously unidentified cultural resources within the project site. The archaeologist, in consultation with the City's Project manager, shall determine the significance of the discovered resources. The City must concur with the evaluation before construction activities will be allowed to resume in the affected area. For significant cultural resources, a Research Design and Data Recovery Program to mitigate impacts shall be prepared by the consulting archaeologist and approved by the lead agency, then carried out using professional archaeological methods. The archaeologist shall contact the County DPR Resource Management Division and County Archaeologist at the time of discovery of previously unidentified cultural resources within off-site construction areas.
 7. If any human bones are discovered, the County Coroner and City shall be contacted. In the event that the remains are determined to be of Native American origin, the Most Likely Descendant, as identified by the Native American Heritage Commission (NAHC), shall be contacted in order to determine proper treatment and disposition of the remains.
 8. Before construction activities are allowed to resume in the affected area, the artifacts shall be recovered and features recorded using professional archaeological methods. The archaeological monitor(s) shall determine the amount of material to be recovered for an adequate artifact sample for analysis.
 9. All cultural material collected during the grading monitoring program shall be processed and curated according to the current professional repository standards. The collections and associated records shall be transferred, including title, to an appropriate curation facility meeting the standards of Title 36 CFR, Part 79, and located within San Diego County, to be accompanied by payment of the fees necessary for permanent curation.
 10. A report documenting the field and analysis results and interpreting the artifact and research data within the research context shall be completed and submitted to the satisfaction of the City prior to the issuance of any building permits. The report will include California Department of Parks and Recreation (DPR) Primary and Archaeological Site Forms.

GEOLOGY and SOILS

Based on the information and analysis set forth in the Final EIR and the record of proceedings, the Project may result in unstable soil conditions because of unsuitable soils and improperly backfilled excavations. Soil stability on the Project site may also be impacted by saturated soils resulting from groundwater seepage.

Mitigation Measures: The project includes the following mitigation measures which would mitigate potentially significant impacts associated with unstable soil conditions to below a level of significance:

Geo-1 All recommendations contained in the geotechnical feasibility review (Appendix D) shall be incorporated into the Project during construction. These recommendations include the following:

1. Transition lots shall be undercut at least 3 feet and at least one-third the maximum fill thickness on any lot, such that the ratio of 3:1 (maximum:minimum) fill thickness, or flatter is attained. Cut lots shall also be undercut to mitigate perched water conditions. All undercuts shall be sloped to drain away from the building area.
2. The fill cap shall extend to at least one foot below the lowest utility invert in street areas to facilitate trenching operations.
3. For fill slopes descending to property lines, removals shall be completed above a 1:1 projection beginning at the property line, or a point located at least 5 feet laterally from any adjacent street, or any nearby utility. Relatively deep removals adjacent to property line at Lots 3, 4, 43, 44, and Open Space Lot C may necessitate the use of structural setbacks within the building area, or possibly deepened foundations.

4. Any planned import soil shall be very low to low expansive.

Finding

The City finds that Mitigation Measure Geo-1 is incorporated into the proposed Project, is feasible, and will reduce potentially significant impacts on unstable soils to less than significant levels, thereby avoiding any significant effects as identified in the Final EIR.

Facts in Support of Finding:

The Project would involve site grading, excavations, backfill, and creation of slopes. Unsuitable soils, including fill material, and improperly backfilled excavations could potentially result in unstable soil conditions. Implementation of mitigation measure Geo-1 will reduce these impacts to a less than significant level, and requires compliance with the geotechnical feasibility review recommendations, including, proper placement and compaction of backfill, adherence to the Uniform Building Code and California Building Code guidelines would minimize the risk of unstable soil conditions at the Project site. In addition, the Project will require a grading exemption discretionary permit in accordance with the City of Escondido Municipal Code, Article 55, Grading and Erosion Control, Section 33- 1066, Design Criteria because the Project proposes cut slopes greater than 20 feet in height and fill slopes greater than 10 feet in height.

HAZARDS and HAZARDOUS MATERIALS

Based on the information and analysis set forth in the Final EIR and the record of proceedings, the Project may have potentially significant impacts during construction with the accidental release of hazardous materials, on-site because of existing hazardous materials, and with the implementation of the traffic calming feature on Felicita Road which is part of the emergency response and evacuation plans.

Mitigation Measures: The project includes the following mitigation measures which would mitigate potentially significant impacts to below a level of significance:

Haz-1 At least 10 days prior to demolition or removal of existing on-site structures, the project applicant shall submit an **Asbestos Demolition or Renovation Operational Plan** (*Notice of Intention*) to the City Community Development Department. This Plan shall be prepared by an asbestos consultant licensed with the California State Licensing Board and certified by the California Occupational Safety and Health Administration to conduct an asbestos inspection in compliance with Asbestos *National Emission Standard for Hazardous Air Pollutants* (NESHAP) requirements. The Asbestos NESHAP, as specified under Rule 40, CFR 61, Subpart M, (enforced locally by the San Diego Air Pollution Control District, under authority, per Regulation XI, Subpart M - Rule 361.145), requires the owner of an establishment set for demolition to submit an **Asbestos Demolition or Renovation Operational Plan** at least 10

working days before **any** asbestos stripping or removal work begins (such as site preparation that would break up, dislodge or similarly disturb **asbestos containing material**.)

Removal of all asbestos-containing material or potential asbestos-containing material on the project site shall be monitored by the certified asbestos consultant and shall be performed in accordance with all applicable laws, including California Code of Regulations, Title 8, Section 1529, Asbestos; OSHA standards; and the San Diego County Air Pollution Control District Rule 361.145, Standard for Demolition and Renovation.

Haz-2 Demolition or removal of existing on-site structures constructed pre-1979 shall be performed by a Certified Lead Inspector/Assessor, as defined in Title 17, CCR Section 35005, and in accordance with all applicable laws pertaining to the handling and disposal of lead-based paint. Lead-based materials exposure is regulated by Cal OSHA. Title 8 CCR Section 1532.1 requires testing, monitoring, containment, and disposal of lead-based materials such that exposure levels do not exceed Cal OSHA standards.

Haz-3 The following mitigation measure addresses contaminated soils and their export off-site.

1. Prior to issuance of a grading permit the applicant shall prepare a Response Plan in conformance with DTSC standards to address risks associated with the detected concentrations of TPH-DRO and arsenic on the project site. The Response Plan shall be approved by DTSC and submitted to the City prior to the issuance of a grading permit. The Response Plan will include one of the following three remedial methods to reduce impacts to a less than significant level. Remedial Method Options 1, 2 and 3 would require a small amount of soil export amounting to up to approximately 1,353 cubic yards of soil.

Remedial Method Option 1

- a) Remedial Method: Excavation and off-site disposal of TPH-impacted soil, approximately 20 cubic yards; and arsenic-impacted soil (AIS), approximately 1,333 cubic yards.
- b) Overseeing Agencies: California DTSC, along with California Department of Fish and Wildlife (CDFW) and RWQCB for portions of the project site near the creek.

Remedial Method Option 2

- c) Remedial Method: Excavation and off-site disposal of TPH-impacted soil, approximately 20 cubic yards; and excavation and on-site burial of AIS, approximately 1,333 cubic yards.
- d) Overseeing Agencies: DTSC, along with CDFW and RWQCB for portions of the project site near the creek.

Remedial Method Option 3

- e) Remedial Method: Excavation and off-site disposal of TPH-impacted soil, approximately 20 cubic yards; and capping of AIS with 800 cubic yards of soils (therefore, no excavation and off-site disposal of AIS is required).
Capping is a process used to cover contaminated soils to prevent the migration of pollutants and is a reliable technology for sealing off contamination from the above-ground environment and significantly reducing underground migration of pollutants away from the site. The cap shall be made of soil native to the site.
 - f) Overseeing Agencies: DTSC, along with CDFW and RWQCB for portions of the project site near the creek.
2. Prior to issuance of a grading permit for the selected remedial method (options 1, 2, or 3), any areas proposed for disturbance on the project site where previous hazardous materials releases have occurred must be mitigated in accordance with the requirements of the overseeing regulatory agency (DTSC, RWQCB or CDFW, as appropriate) for the proposed residential use of the site. All proposed groundbreaking activities within areas of identified or suspected contamination shall be conducted according to a site-specific health and safety plan, prepared by a licensed professional in accordance with California Division of Occupational Safety and Health (Cal OSHA) regulations (contained in Title 8 of the California Code of Regulations) to protect the public and all workers in the construction area prior to the commencement of groundbreaking.
 3. Following completion of the selected remedial method, the project applicant shall seek and obtain written regulatory closure letter from the DTSC specifying that no further action is necessary in regard to the TPH- and arsenic-impacted soil. Overseeing Agencies: DTSC, along with CDFW and RWQCB for portions of the project site near the creek.
 4. The transportation of the exported soil is included as part of the grading activities associated with the Project and is described in Section 4.3.3, Site and Infrastructure Improvements and is addressed in Sections 5.3 Air Quality, 5.11 Noise and 5.14 Transportation and Traffic.
 5. Regarding potential dust migration impacts associated with the excavation, loading and transport of contaminated soils, all trucks transporting soil or waste shall comply with 22 California Code of Regulations (CCR) Part 66263.16, Standards Applicable to Transporters of Hazardous Waste. The following mitigation measures that will be implemented include but are not limited to:
 - a. Dust monitoring shall be conducted during loading of contaminated soil in conformance with the procedures and standards described below under mitigation measure Haz-4.
 - b. Water shall be used for dust suppression, if necessary.

3. In the event the results of ongoing air monitoring indicate contaminant concentrations at least 75 percent of the established Action Levels, developed using the PELs for arsenic and TCE, exposure risks will be controlled through the use of personal protective equipment by workers at the Project to prevent their exposure to these contaminants, which equipment is designed to minimize the risk of exposure of contaminants by the on-site workers;
4. In addition to the air monitoring performed during earth movement activities within the areas in which on-site workers may inhale airborne dust, air monitoring will also be performed downwind of the earth movement activities – at the boundaries of the Project. The monitoring results will be compared to exposure limits and site-specific health-based air action levels developed in consideration of the characteristics of the soils that will be disturbed at the Project (see Mitigation Report attached to the Final EIR as Appendix I-3 at pp. 2-3 and Tables 1-2), in order to determine whether mitigation measures (set forth in section (5), immediately below) are warranted; and
5. If, during the excavation activities, monitoring results indicate contaminant levels that are 75 percent or more of the lowest identified fugitive dust health-based air action level derived (as specified above), the following dust mitigation measures will be employed:
 - a. Water (or another non-hazardous agent) will be applied to exposed soil to prevent dust migration from arising during earth movement activities (e.g., excavation and/or grading);
 - b. Water will be applied to stockpiled soil, which will also be covered with plastic sheeting to prevent dust migration; and

During periods of high wind (i.e., instantaneous wind speeds exceeding 25 miles per hour as measured by an anemometer), earth movement activities will be discontinued until wind speeds decrease to speeds less than 25 miles per hour. The 25 mile per hour standard is set forth at page 403-3 of the South Coast Air Quality District (SCAQMD) Rule 403 and was selected as the nearest applicable standard (because San Diego County does not have published standards regarding maximum wind speeds). SCAQMD Rule 403 is available at the following address: <http://www.aqmd.gov/search?q=Rule 403>.

Haz-4a As required by the DTSC, the applicant will include a deed restriction on the title for the Project that prohibits the use of groundwater at the project site for any purpose including, without limitation, any extraction of groundwater.

Haz-5 Prior to the start of construction, the construction contractor shall notify the Escondido Police Department of the location, timing and duration of any lane closure(s) on Felicita Road, or any other road in the project area, due to project construction activities. If determined necessary by the Police Department, local emergency services, including the Escondido Fire Department and appropriate ambulance services, shall also be notified of the lane closure(s).

Finding

The City finds that Mitigation Measures Haz-1 through Haz-5 are incorporated into the proposed Project, are feasible, and will reduce potentially significant impacts through accidental release of hazardous materials during construction, the release of TPH-DRO and arsenic on the project site, and, interference with an adopted emergency plan or emergency evacuation plan to less than significant levels, thereby avoiding any significant effects as identified in the Final EIR.

Facts in Support of Finding:

Accidental leaks or spills of hazardous materials may occur during construction of the proposed project, or through improper removal of existing structures. Mitigation measures Haz-1 and Haz-2 require that a demolition and renovation plan be prepared by an asbestos consultant licensed and certified by the state, prior to grading activities, and that demolition and removal be performed by a Certified Lead Inspector/ Assessor which will reduce the potential impacts to less than significant.

The Chatham Brothers Barrel Yard site was identified as a nearby source of contamination potentially affecting groundwater beneath the Project. The potential environmental and human health risks posed by the Chatham Brothers Barrel Yard relate to (1) hazardous substances in groundwater, including volatile organic compounds (“VOCs”) such as tetrachloroethylene (or “PCE”) and trichloroethylene (or “TCE”), and (2) volatilization of hazardous substances from the groundwater into soil vapor migrating upwards. Groundwater at the Project is not impacted at levels exceeding applicable human health risk-protective regulatory thresholds (see Final EIR Appendix __ Site Assessment Report: SVGW, paragraph 2). Therefore, DTSC has required no remediation specific to groundwater beneath the Project. Further, no contaminants were detected in soil vapor at levels exceeding applicable human health risk-protective regulatory thresholds at the areas where residential construction will occur (see Final EIR Appendix __ Site Assessment Report: SVGW, Section 3.1, page 3-1). At a single location outside of the development footprint (i.e., TtSV-1), VOCs were detected at levels above Regional Screening Levels (see Final EIR Appendix __ Site Assessment Report: SVGW, page 3-1, paragraph 5). Because residential development is not going to occur above this area, however, DTSC has required no further investigation of this area (see Final EIR Appendix __ Site Assessment Report: SVGW, page 3-2, first paragraph). With respect to soil, existing impacts to soil at the Project will be remediated under DTSC oversight. With respect to groundwater, Haz-4a prohibits construction or use of wells on the Project site and prohibits future property owners from using the groundwater for any purpose.

Existing, on-site concentrations of hazardous materials may cause a significant impact to the public or the environment. Implementation of mitigation measure Haz-3 and Haz-4, which requires the implementation of one of three remedial measures, the applicant seek a written regulatory closure letter from the DTSC or DEH specifying that residual human health risks on

the project site are within acceptable standards, and on-site air monitoring during construction at the areas where soil will be disturbed, downwind of the earth movement activities, and at the boundaries of the project site to monitor potential risks to personnel and off-site receptors. If the monitoring indicated heavy metal concentration in the dust, mitigation measure Haz-4 requires dust mitigation measures to reduce the impact.

The proposed project includes the installation of traffic calming features on Felicita Road, an identified evacuation route, which may require a temporary closure of one or both lanes of traffic. Mitigation measure Haz-5 requires that prior to the start of construction, the construction contractor notifies the Escondido Police Department of the location, timing and duration of any lane closure on any roads in the project area. If necessary, the construction contractor may be required to also notify local emergency services include the fire department and ambulance services, to mitigate the impact to less than significant.

HYDROLOGY and WATER QUALITY

Based on the information and analysis set forth in the Final EIR and the record of proceedings, the project would result in housing within a 100-year flood hazard area and flows within the 100-year flood hazard area would potentially be impeded and redirected by placement of fill.

Mitigation Measures: The project includes the following mitigation measures which would mitigate potentially significant impacts associated with these facilities to below a level of significance:

Hydro-1 A Letter of Map Revision (LOMR) certifying that all houses within the Project been elevated above the base flood level of the 100-year floodplain is required from the Federal Emergency Management Agency (FEMA). The Project is required to model stormwater flow through the channel system as part of final Project engineering to meet FEMA requirements.

Hydro-2 Impervious Cover on Homeowners Lots - The sizing for the on-site bioretention/detention basins have been calculated based on 50% impervious surface for each lot and 100% impervious for streets and fire access. The actual impervious area installed by the builder on each lot has been calculated to be an average of approximately 34%, leaving 2,053 square feet available to each homeowner to install additional impervious hardscape or impervious structural improvements on their property. The builder will be required to provide a disclosure to all homebuyers informing purchasers of this limitation. Prior to issuance of grading or building permits for improvements by a future homeowner, the landscape or architectural consultant to the HOA shall provide an area calculation of all impervious surfaces (excluding water surface area in pools) that have been installed on the property since the initial purchase date from the builder plus the additional impervious area proposed by the homeowner. This calculation shall be provided to the City of Escondido Planning Division with the plans at the time of permit application for their approval to ensure consistency with this mitigation measure and the project conditions of approval.

Finding

The City finds that Mitigation Measures Hydro-1 and Hydro 2 are incorporated into the proposed Project, are feasible, and will reduce potentially significant impacts on locating housing within a 100-year floodplain, the potential for the project impeding or redirecting flow within the 100-year floodplain, the potential to violate water quality standards, and the potential for causing erosion or siltation, thereby avoiding any significant effects as identified in the Final EIR.

Facts in Support of Finding:

The proposed Project including housing placed within a 100-year flood hazard area. The Project proposes to place fill in the proposed development areas to raise the pads out of the floodplain. Per Federal Emergency Management Agency (FEMA) requirements, the development grading and culverts at the existing and proposed road crossings would be designed to protect all pads and structures from the one percent annual chance flood event. Therefore, with implementation of mitigation measure Hydro-1 and Hydro-2, impacts to placing housing within a 100-year flood hazard area and impacts to flow within the flood hazard area would be reduced to a less than significant level. The Project includes construction of a storm drain system and flood attenuation/bioretention basins to safely convey runoff and to mitigate any increase in peak flow from the Project, and would collectively reduce the runoff from the 100-year peak storm event to equal to or less than pre-Project conditions. With the implementation of mitigation measure Hydro-2, potential impacts to water quality and the potential for causing erosion and siltation would be reduced to a less than significant level.

NOISE

Based on the information and analysis set forth in the Final EIR and the record of proceedings, construction activities would be generally significant, temporary groundborne vibration and noise that could expose nearby noise-sensitive receptors to elevated levels that may disrupt communication and routine activities.

Mitigation Measures: The project includes the following mitigation measures which would mitigate potentially significant impacts associated with these facilities to below a level of significance:

Noi-1 Limit Vibration-generating Equipment. The construction contractor shall not operate a vibratory roller, or equipment with the potential to result in an equivalent level of vibration, within 75 feet of any residence.

Noi-2 The construction contractor shall implement a noise mitigation plan to ensure that construction noise levels will not exceed an hourly average noise level of 75 dBA at any residence. The plan shall be verified by a qualified acoustical engineer and be subject to approval by the City Engineer. Measures to be included in the plan shall include the following, as

necessary, to achieve compliance with the City's noise ordinance for construction within 140 feet of an off-site residential lot:

1. Equipment and trucks used for Project construction shall use the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake silencers, ducts, engine enclosures and acoustically attenuating shields or shrouds).
2. Construction contractors shall use "quiet" gasoline-powered compressors or other electric-powered compressors, and use electric rather than gasoline or diesel powered forklifts for small lifting.
3. Stationary noise sources, such as temporary generators, shall be located as far from nearby receptors as possible, and they shall be muffled and enclosed within temporary sheds, incorporate insulation barriers, or other measures to the extent feasible.
4. Temporary plywood noise barriers eight feet in height shall be installed as needed around the construction site to minimize construction noise to 75 dBA as measured at the applicable property lines of the adjacent uses, unless an acoustical engineer submits documentation that confirms that the barriers are not necessary to achieve the attenuation levels.

Finding

The City finds that Mitigation Measures Noi-1 and Noi-2 are incorporated into the proposed Project, are feasible, and will reduce potentially significant impacts from excessive groundborne vibration and construction activities to less than significant levels, thereby avoiding any significant effects as identified in the Final EIR.

Facts in Support of Finding:

Construction of the Project would generate temporary groundborne vibration and groundborne noise caused by construction activities and equipment. The project site is generally separated from surrounding land uses by Felicita Road, Miller Avenue, and Hamilton Lane; however, homes along these roadways are still located within 135 feet of the edges of the project site. Additionally, Lots 60 through 65 are located adjacent to (approximately 50 feet) the existing religious facility and residences along Miller Avenue and Hamilton Lane. Therefore, Project construction activities would have the potential to exceed the vibration impact criteria and result in a temporary significant impact. Implementation of mitigation measure Noi-1 would reduce the temporary impact to a less than significant level, by limiting the use of vibratory rollers and equivalent equipment within 75 feet of residences.

Construction of the Project would generate noise that could expose nearby noise-sensitive receptors to elevated noise levels that may disrupt communication and routine activities. The magnitude of the impact would depend on the type of construction activity, equipment, duration of the construction phase, distance between the noise source and receiver, and intervening structures. Implementation mitigation measures Noi-1 and Noi-2, which requires the

implementation of a noise mitigation plan to ensure that construction noise levels do not exceed an hourly average noise level of 75 dBA at any residence, would minimize noise from construction activities and ensure that noise levels would not exceed Noise Ordinance thresholds, and impacts would be less than significant. The noise mitigation plan shall include measures, as necessary, to achieve compliance with the City's noise ordinance for construction within 140 feet of an off-site residential lot.

SECTION II FINDINGS REGARDING PROJECT ALTERNATIVES

The CEQA Guidelines direct lead agencies that the "range of potential alternatives to the proposed Project shall include those that could feasibly accomplish most of the basic objectives of the Project and could avoid or substantially lessen one or more of the significant effects" (Section 15126.6[c]). The Final EIR evaluated a reasonable range of alternatives to the proposed Project. These alternatives are:

- No Project Alternative
- Less Dense Alternative (Without Annexation/ Public Sewers [20 Units])
- Reduced Jurisdictional Habitat Impact Alternative (62 Units)
- Reduced Residential Footprint Alternative (65 Units)

Where a lead agency has determined that, even after the adoption of all feasible mitigation measures, a project as proposed will still cause one or more significant environmental effects that cannot be substantially lessened or avoided, the agency, prior to approving the project as mitigated, must first determine whether, with respect to such impacts, there remain any project alternatives that are both environmentally superior and feasible within the meaning of CEQA. An alternative may be "infeasible" if it fails to fully promote the lead agency's underlying goals and objectives with respect to the project. In considering alternatives, a number of factors, including the objectives of the proposed Project were considered, as described in the EIR. The objectives for the proposed Project are as follows:

1. Annex the property consistent with the San Diego Local Agency Formation Commission's adopted sphere of influence for the City of Escondido and the long-range planning policies of the County of San Diego and City of Escondido.
2. Propose an overall residential density that is less than the applicable General Plan land use designations of the City of Escondido (Estate II, 2.0 du/ac, maximum yield of 80 units based on site-specific slope conditions) and County of San Diego (Village Residential, VR-2.9 du/ac, maximum yield of 122 dwelling units).
3. Permanently preserve approximately one-third of the site as open space.
4. Cluster housing to protect environmental resources identified in technical constraints studies.
5. Restore, enhance, and maintain the existing seasonal pond as an amenity which is accessible to the public.
6. Minimize impacts to jurisdictional wetland areas to less than one acre.

Three vehicle access points would be available to the development: one from Hamilton Lane, one from Miller Avenue across from Twilight View Terrace, and one from Felicita Road south of Park Drive. An emergency access gate would be provided from Hamilton Lane, east of the Hamilton Lane entrance. This gate would be for emergency vehicle use only and would not be used for day-to-day resident vehicular access.

Felicita Road would be built to County General Plan standards and traffic calming features would not be proposed in this alternative. Some proposed homes fronting on Miller Ave and Hamilton Lane would take access off the two streets rather than a single controlled access on Felicita Road, (which is part of the Project's proposed circulation system).

Project utilities construction would include the extension of gas and electric transmission facilities, water pipelines, and communications facilities. Development would rely on individual septic tanks rather than a public sewer system. Water service would be provided by Rincon Water.

The project site for this alternative would be graded similar to that of the Project. Runoff from the residential lots would drain to the streets within the subdivision and the site would be graded to generally maintain drainage patterns toward the western and southern boundaries. On-site drainage improvements would include a storm drain system and flood attenuation/bio-retention basins to safely convey runoff and handle peak flows through the Project. On-site bio-retention facilities would be constructed throughout the site, adjacent to the drainage management area that they are designed to treat.

The lot layout for this alternative could result in homes being located 100 feet from the existing creek.

Construction of the Less Dense Alternative (Without Annexation/Public Sewers) is anticipated to occur over a similar period as that estimated for the Project.

Feasibility of Alternative

Compared to the propose Project, the Less Dense Alternative (Without Annexation/ Public Sewers; 20 units) would have less of an impact on air quality; soil erosion, stability, and expansive soils; greenhouse gas emissions; emergency response and evacuation plans; excessive groundborne vibration, permanent and temporary ambient noise levels; public services; traffic and level of service standards, road safety and emergency access; and, utility and service systems. This alternative would have similar impacts on aesthetics, agricultural resources, biological resources, cultural, exposure to seismic hazards; hazards and hazardous materials; hydrology and water quality; land use; noise levels, exposure from a public or private airport; air traffic patterns and alternative transportation. This alternative would have greater impacts on wastewater disposal systems.

The Less Dense Alternative (Without Annexation/Public Sewers) would meet Project objectives except objectives 1, 8, 9, 10, and 15. This alternative would not result in the annexation to the City of Escondido, nor would it implement traffic calming features or habitat restoration.

REDUCED JURISDICTIONAL HABITAT IMPACT ALTERNATIVE (62 UNITS)

Under the Reduced Jurisdictional Habitat Impact Alternative the proposed development would be re-configured to avoid on-site jurisdictional habitat impacts that would result in 62 dwelling units with lot sizes similar to those of the Project. Development would no longer be contiguous because of modifications to the circulation system to avoid crossing a jurisdictional area within the project site. The panhandle area east of Miller Avenue would be the same as that proposed for the Project, with six lots. Four vehicular entrance/exit points would provide access to the homes on the project site west of Miller Avenue. Hamilton Lane would have two access points: one to a cul-de-sac in the west that ends at the sensitive habitat, and one to the east. A third access point would be constructed on Miller Avenue across from Twilight View Terrace, and a fourth access would be from Felicita Road south of Park Drive.

The architectural style, color scheme of the homes, and street lighting would be similar to that proposed for the Project. This alternative would conserve an additional 0.4 acre of open space when compared to the Project. As with the Project, the open space areas would be primarily in drainage basins in the north-central and western portions of the project site and would be preserved in their natural state, encompassing a number of sensitive natural communities. Public pedestrian access to the pond would be allowed. Avoidance of jurisdictional habitat would result in a minor amount of additional open space.

Improvements to Felicita Road would be similar to those of the Project, including the traffic calming features.

Project utilities construction would include the extension of gas and electric transmission facilities, water pipelines, wastewater pipelines, and communications facilities. The project site and Chalice Unitarian Universalist Congregation would be annexed to the City and excluded from County Service Area No. 135.

The project site for this alternative would be graded similar to that of the Project except that the jurisdictional habitat on site would be avoided. Runoff from the residential lots would drain to the streets within the subdivision, and the site would be graded to generally maintain drainage patterns toward the western and southern boundaries. On-site drainage improvements would include a storm drain system and flood attenuation / bioretention basins to safely convey runoff and to mitigate any increase in peak flow from the development. On-site bioretention facilities would be constructed throughout the site, adjacent to the drainage management areas that they are designed to treat.

Construction of the Reduced Jurisdictional Habitat Alternative is anticipated to occur over a similar period as that estimated for the Project.

Feasibility of Alternative

Compared to the propose Project, the Reduced Jurisdictional Habitat Impact Alternative (62 units) would have less of an impact on special status plant and wildlife, sensitive natural

communities and federally protected wetlands. This alternative would have similar impacts on aesthetics, agricultural resources, air quality, wildlife corridors, local policies and ordinances, habitat conservation, cultural, geology and soils, greenhouse gas emissions, hazards and hazardous materials; hydrology and water quality; land use; noise, public services, transportation and traffic, and utility and service systems.

The Reduced Jurisdictional Habitat Impact Alternative would meet all Project objectives with the exception of Objectives 2 and 10. Objective 2, which calls for development of 65 units in an overall residential density that is less than the applicable General Plan land use designation of the City, would not be met because this alternative would not develop 65 units. Objective 10, which calls for limited non-emergency vehicular access to the Project, would not be met by The Reduced Jurisdictional Habitat Impact Alternative since there would have four points of access (two on Hamilton Lane, one on Miller Avenue, and one on Felicita Road).

REDUCED RESIDENTIAL FOOTPRINT ALTERNATIVE (65 UNITS)

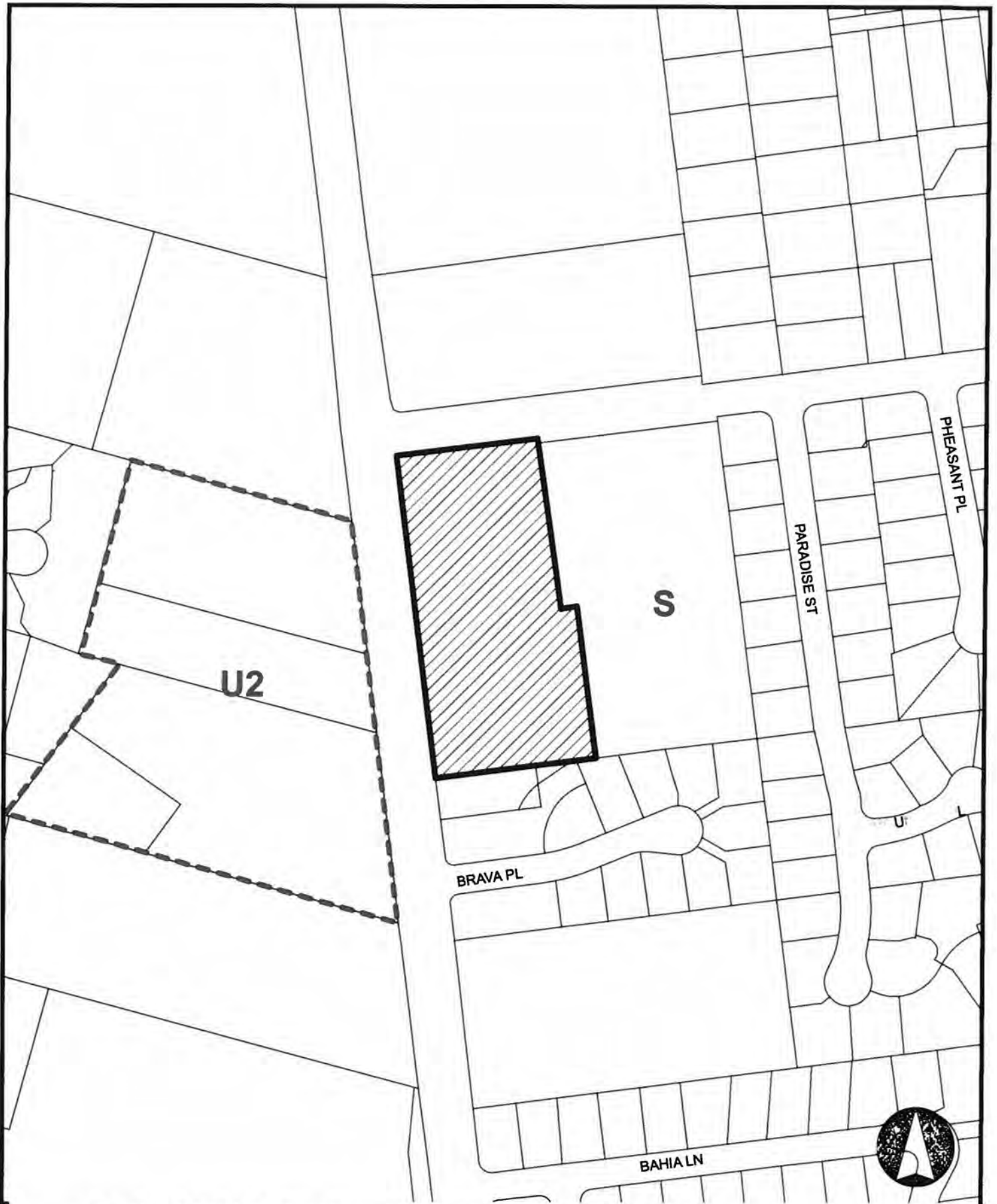
This alternative would develop the Project, as proposed, except it would eliminate the six units located east of Miller Avenue along Hamilton Lane and develop 65 units in the area bounded by Hamilton Lane, Felicita Road, and Miller Avenue. Although no residences are proposed on the two remainder lots located east of Miller Avenue, these lots would be included in the annexation to the City of Escondido and would be rezoned Residential Estate 20 (RE-20). This zoning category is consistent with both the existing County of San Diego A-70 zone and the City of Escondido General Plan Estate II designation on the property. The panhandle area would be designated as remainder lots on the Tentative Map and removed from the Preliminary Development Plan, Master Development Plan, and Precise Development Plan. As demonstrated in Figure 7-1 of the Final EIR, lot sizes would be slightly reduced in order to accommodate all 65 units within the reduced footprint. The residential development proposed under this alternative would occupy approximately 18.68 acres (compared to 22.44 acres for the Project). The Reduced Residential Footprint Alternative would develop an average residential lot size of 12,520 SF and an overall density of 1.76 du/ac (compared to 15,041 SF and 1.61 du/ac for the Project, respectively). As with the Project, a combination of single- and two-story homes with attached garages would be provided; however, it is expected that this alternative would provide a larger percentage of two-story homes when compared to the Project, including the possibility of all units constructed as multi-story residences. Landscaping for the Reduced Residential Footprint Alternative would be similar to that proposed for the Project. The Planting Plan for this alternative (Appendix P) illustrates the perimeter, entry, and interior landscape plans. Figure 7-2, Fence and Wall Plan, Reduced Residential Footprint Alternative, illustrates the location and type of fences and walls for this alternative.

impacts on aesthetics, agricultural resources, air quality, biological resources, cultural resources, the remaining geology and soils impacts, greenhouse gas emissions, hazards and hazardous materials; hydrology and water quality; land use; noise, public services, transportation and traffic, and utility and service systems. The Reduced Residential Footprint Alternative (65 Units) achieves all Project objectives and removes development in the panhandle area.



LAN





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VISTA AVENUE

EXISTING PARKING
AREA TO REMAIN

EXISTING
NEW WORK

NEW SANCTUARY
PHASE 1

NEW CLASSROOM
BUILDING
PHASE 3

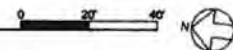
FUTURE MULTI-
PURPOSE
BUILDING
PHASE 4

EXISTING
CLASSROOM
BUILDING

EXISTING
ASSEMBLY HALL
INTERIOR
REMODEL
PHASE 2

NORTH BROADWAY

Escondido United Reformed Church Site Plan



SITE PLAN

PROPOSED PROJECT
PHG 14-0021

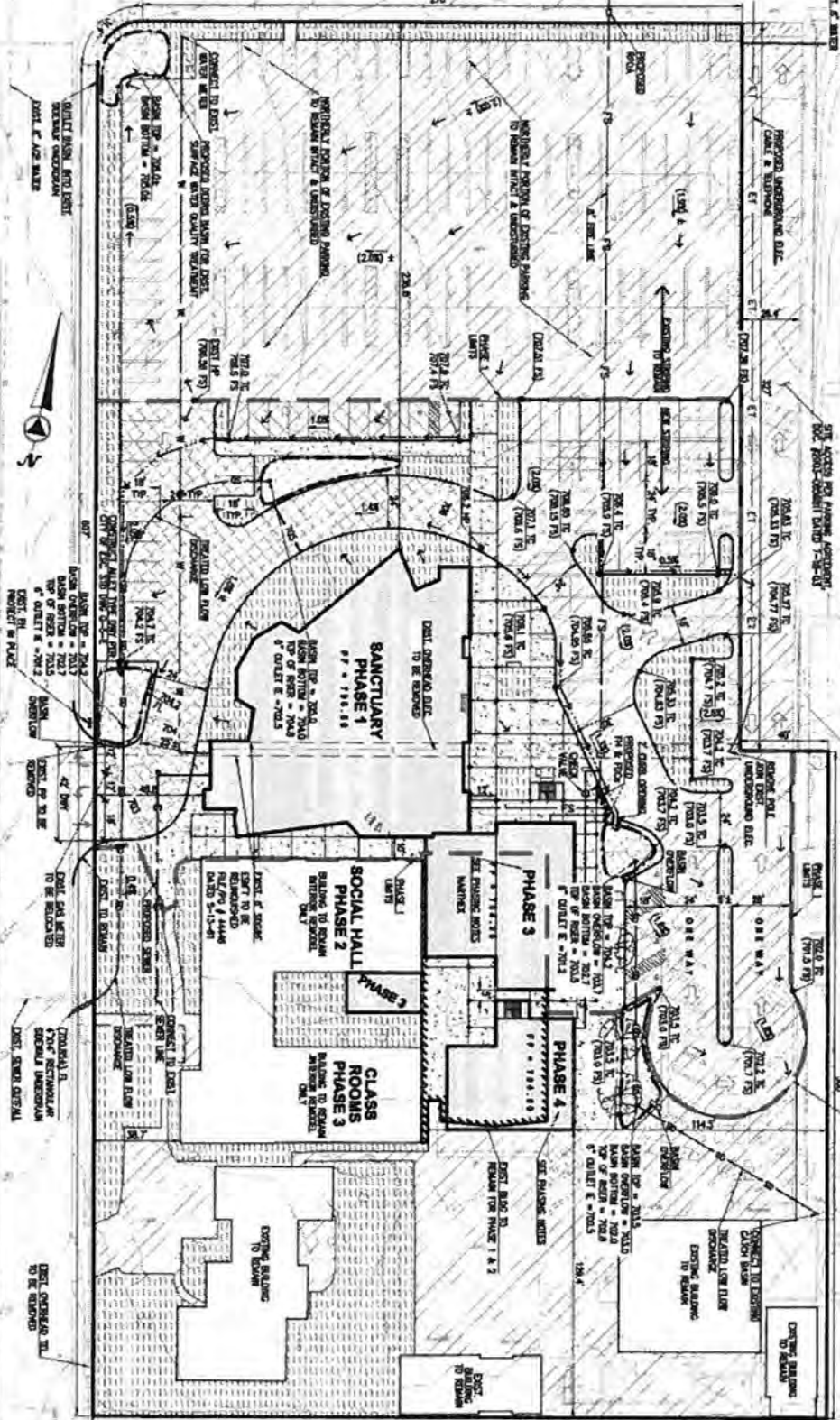
CONCEPTUAL GRADING/UTILITY PLAN

NORTH BROADWAY

VISTA AVENUE

BALL FIELD

CALVIN CHRISTIAN SCHOOL PROPERTY

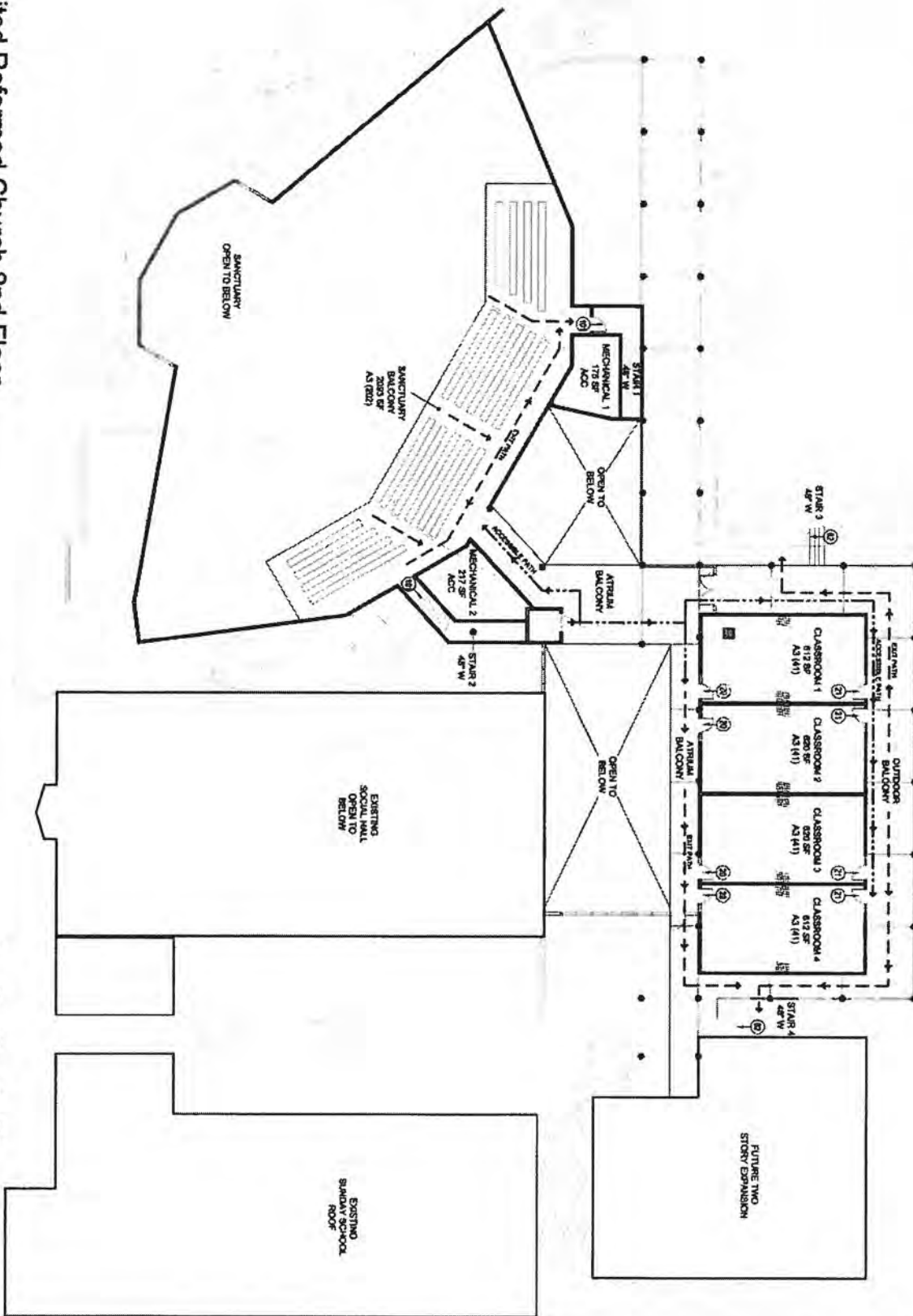


PROPOSED PROJECT
PHG 14-0021

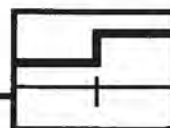


GRADING PLAN

Escondido United Reformed Church 2nd Floor



**PROPOSED PROJECT
PHG 14-0021**



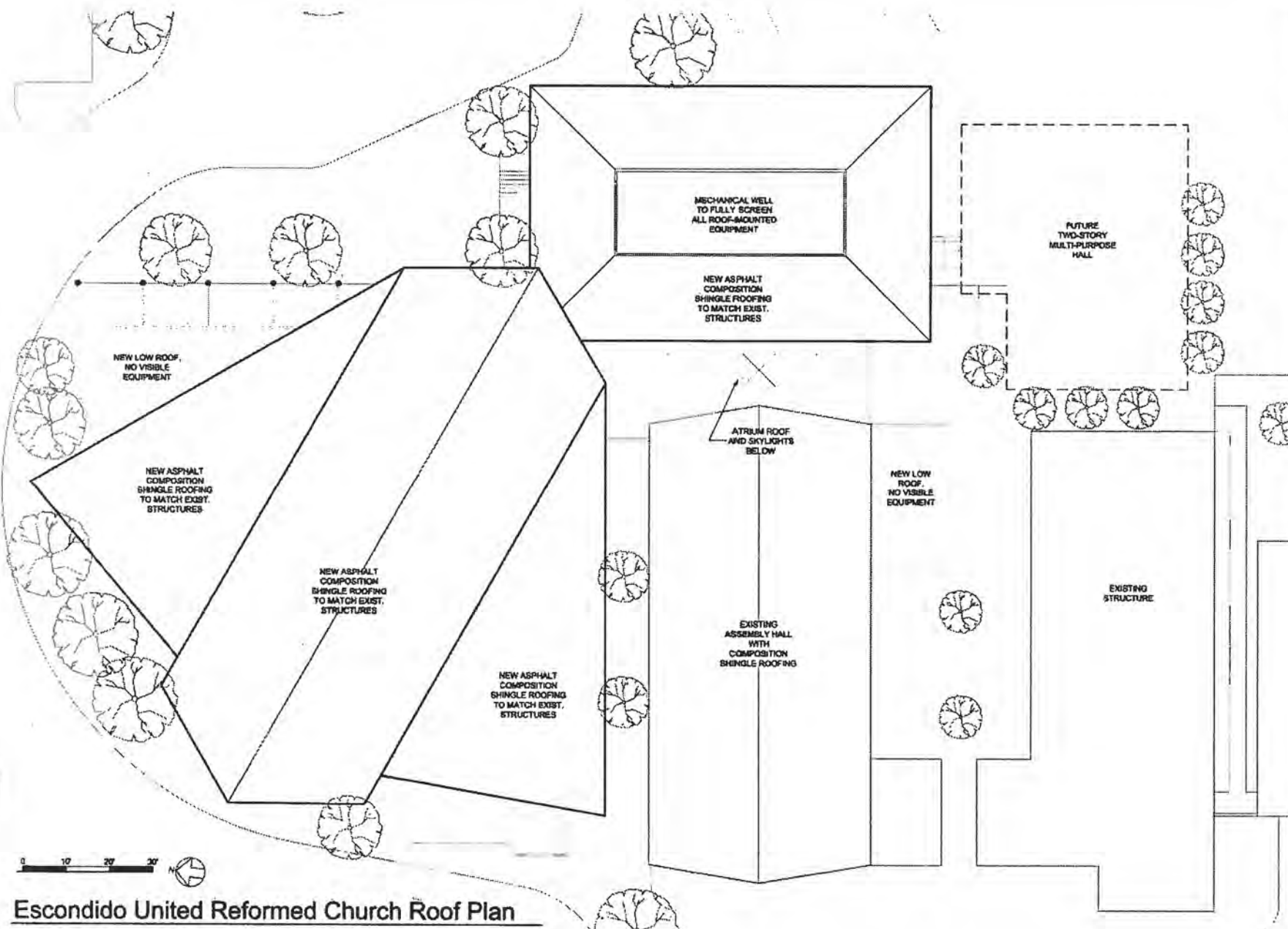
FLOOR PLAN



ROOF PLAN

**PROPOSED PROJECT
PHG 14-0021**

8





West Elevation Rendering (Broadway)

NOT TO SCALE



East Elevation Rendering

NOT TO SCALE



West Aerial Rendering (Broadway)

NOT TO SCALE



PROPOSED PROJECT
PHG 14-0021

ASPHALT COMPOSITION SHINGLE
ROOFING TO MATCH EXISTING

BRICK, FINISH TO COMPLEMENT
EXISTING BRICK AT ASSEMBLY HALL

CEMENT PLASTER, COLOR TO MATCH
EXISTING ASSEMBLY HALL

EXISTING ASPHALT COMPOSITION
SHINGLE ROOFING

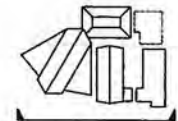
EXISTING ASSEMBLY HALL

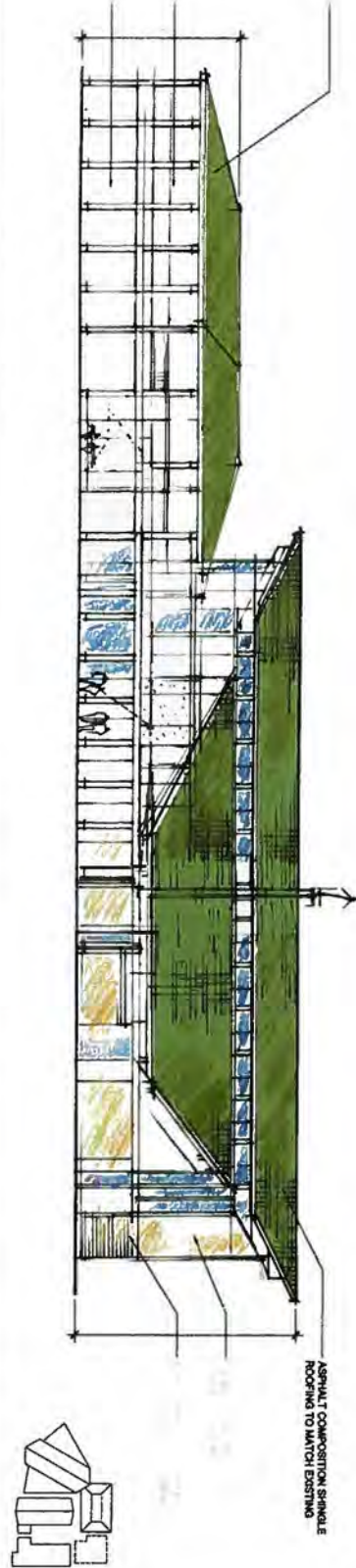
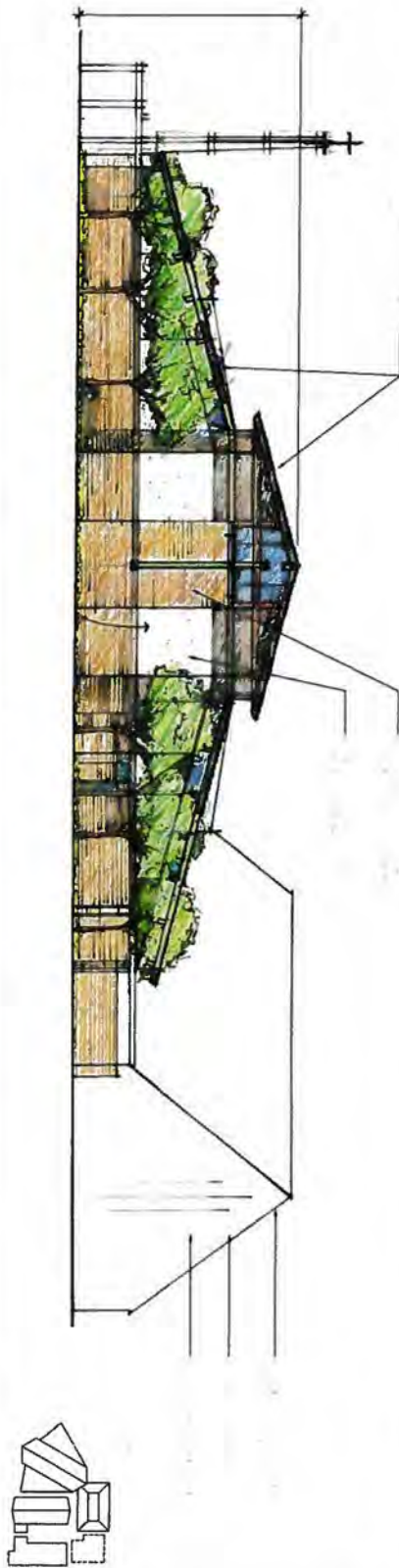
EXISTING BRICK AND CEMENT PLASTER

BRICK, FINISH TO COORDINATE WITH
EXISTING BRICK AT ASSEMBLY HALL

East Elevation - Plaza Entry

0 10' 20'





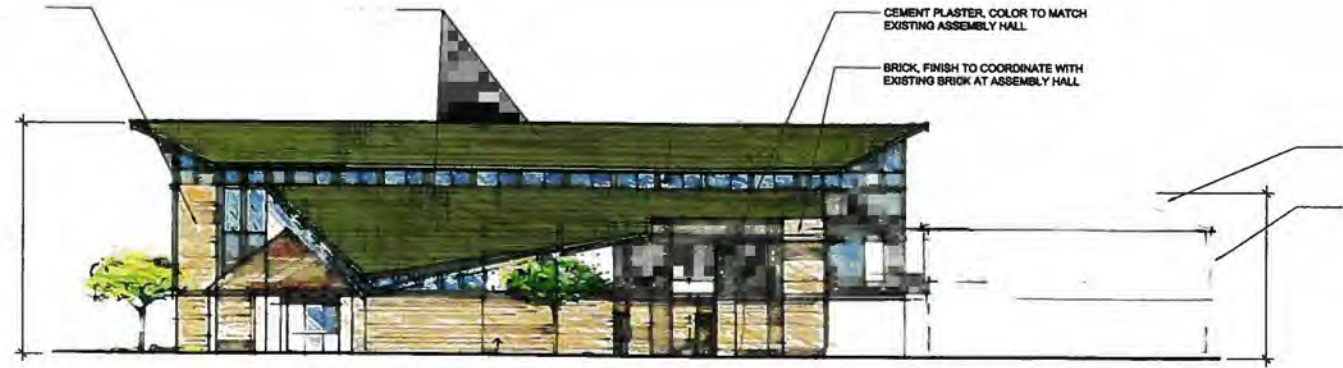
ASPHALT COMPOSITION SHINGLE
ROOFING TO MATCH EXISTING

PROPOSED PROJECT
PHG 14-0021



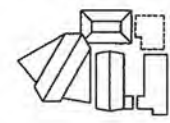


ELEVATIONS



CEMENT PLASTER, COLOR TO MATCH
EXISTING ASSEMBLY HALL

BRICK, FINISH TO COORDINATE WITH
EXISTING BRICK AT ASSEMBLY HALL





ANALYSIS

A. LAND USE COMPATIBILITY/SURROUNDING ZONING

- NORTH – Calvin Christian School (middle and high school) is located north of the site across Vista Avenue. Single-family residential development is located further to the northeast. Vista Avenue is classified as a Collector Road (84' R-O-W) but currently is developed as a Local Collector Road with one westbound and one eastbound lane, including curb-gutter and sidewalk along the project frontage and the Calvin Christian School frontage.
- SOUTH – Single-family residential homes are located immediately south of the church property. First Congregational Church is located further to the south and Escondido High School to the southwest. A masonry block wall is located along the southern boundary of the adjacent Calvin Elementary School, and a wooden fence along the southern boundary of the church.
- EAST – Calvin Elementary and Preschool is located on a 4.78-acre parcel immediately east of the church property. The church and school share parking facilities and access points/driveways along Broadway and Vista Avenue. Single-family residential development is located further to the east (approximately 305 feet to the east) of the church property/parcel.
- WEST – Multi-family residential development is located west of the church property across North Broadway. The Meadowbrook Village retirement and congregate care facility is located further to the northwest. North Broadway is classified as a Major Road (102' R-O-W) with two northbound and two southbound lanes and a continuous center turn lane. The intersection of North Broadway and Vista Avenue is signalized.

B. ENVIRONMENTAL STATUS

1. A Negative Declaration (Case No. ENV14-0011) was issued for the proposed project on December 4, 2014, in accordance with the California Environmental Quality Act (CEQA). The findings of this review are that the project will not have a significant impact to the environment because there is no substantial evidence in the record to indicate project related impacts are potentially significant. The final environmental document attached with this report includes additional corrections or clarification of issues to respond to any modifications to the project design (including clarification of total seating capacity of the new sanctuary building from 716 fixed seats to a total seating capacity of 950 fixed and temporary seating area) comments from various City Departments, outside agencies, or other relevant comments, which also have been reflected in the project conditions of approval. Staff did not receive any comments from the public or other agencies during the public review period.

C. AVAILABILITY OF PUBLIC SERVICES

1. Effect on Police Service -- The Police Department expressed no concern regarding their ability to serve the site.
2. Effect on Fire Service -- The Fire Department did not express any concerns regarding their ability to serve the site.
3. Traffic -- The Engineering Division indicated the proposed project and anticipated increase in traffic generated by the new sanctuary building (approx. 70 weekday trips and 279 trips during primary days of service) would not result in any adverse impacts to the local street segments or intersections. The anticipated traffic is based on the increase in sanctuary area (approx. 7,750 SF) above the existing sanctuary area that would be converted to another use. North Broadway currently operates at a Level-of-Service (LOS) "A," and Vista Avenue (Broadway to Ash) operates at a LOS "B" within the City and "C" within the County. The intersection of Broadway/Ash, which is signalized, operates at LOS "B" in the a.m. peak hours and "A" during p.m. peak hours. The primary increase in trips associated with the sanctuary would be on days of worship/service, which generally are on the weekends during non-peak days and hours. The proposed project would not conflict with any applicable plan, ordinance, or policy related to traffic/circulation and, therefore, impacts would be less than significant. The project would be conditioned to implement a traffic management plan as part of the terms of the Conditional Use Permit to reduce potential conflicts during school and service peak time/days. In order to enhance pedestrian safety between the church and high school the project also is conditioned to enhance the existing mid-block crossing on Vista Avenue by re-establishing and updating signing,

striping and installation of a signal controlled pedestrian crossing or an alternate device subject to approval by the City Engineer and Transportation Commission.

4. **Utilities** -- Water service to the site is provided by the Rincon del Diablo Municipal Water District. The District indicated they would continue to provide water service to the site. City sewer with sufficient capacity to serve the project are available in the adjoining streets or easement. The Engineering Department concluded the project would not materially degrade the level-of-service of the public sewer and water system. Overhead utility lines are located along the Broadway frontage and the project is conditioned to underground these utilities.
5. **Drainage** -- There are no significant drainage courses within or adjoining the property. Runoff from the project would be directed to the adjoining public street or other drainage facility. The Engineering Department concluded the project would not materially degrade level-of-service of the existing or downstream drainage facilities. The project is required to conformance with existing NPDES, City storm water standards and storm water design requirements (SUSMP). Appropriate on-site storm water quality and drainage features will be constructed on-site.

C. CONFORMANCE WITH CITY POLICY

General Plan

The proposed CUP is consistent with the goals and policies of the General Plan since churches, schools and related religious activities are conditionally permitted within residential zones and previous Conditional Use Permits have been approved for the development of the site as a religious facility. The proposed school would not adversely impact traffic or circulation, or create adverse parking impacts since the Engineering Division has indicated the adjacent streets and improvements could adequately accommodate the anticipated traffic increase from the project, and there is adequate parking and drop-off areas to accommodate students. Therefore, the proposed addition would not diminish the Quality-of-Life Standards of the General Plan as the project does not materially degrade the levels-of-service on adjacent streets or public facilities.

Project Design and Neighborhood Compatibility -- The architecture of the existing Sanctuary and classroom building reflects a 1960's contemporary religious type design, with very steep sloping roofs with typical institutional type classroom/administration buildings located towards the rear of the site. The applicant has submitted a concept architectural design for the new Sanctuary, and two-story classroom building and central atrium that would reflect a different contemporary design, but also would incorporate many of the same exterior elements, materials and colors of the existing Sanctuary building to provide an appropriate visual transition between the existing and new buildings. The project is proposed to be constructed in phases, with the Sanctuary Building as the first phase. The design, overall height and location of the new buildings helps to maintain the primary scenic views through or over the site to the surrounding hillsides or skylines, as well as keep the most intensive type uses further away from residential properties to minimize any noise and compatibility impacts. A covered pedestrian pathway/arcade would direct access to the buildings and outdoor plaza from the parking area. A central plaza/atrium would be provided in a later phase that would be open to internal views from the upper stories of the Sanctuary building and two-story classroom building. The atrium would incorporate a roof structure with skylights to be used during inclement weather conditions. A covered exterior walkway would be provided between these two buildings. The applicant has not prepared more detailed architectural elevations because they are seeking design input and approval from the Planning Commission on the overall architectural concept before they invest further into the design. Staff is supportive of the overall architectural concept, but also is seeking Planning Commission design input, especially concerning the two Sanctuary elevations (large unbroken wall planes) that would be visible from Broadway and Vista Avenue. Therefore, the project has been conditioned the project to return the Planning Commission (acting as the Design Review Board) to review and approval the final architectural design based on the Commission's input, which the applicant also supports.

Staff feels the project design would not create any adverse noise or compatibility impacts to adjacent uses, especially residential uses to the south because the proposed new Sanctuary Building and outdoor courtyard would be setback more than 250 feet from the nearest residential use to the south, and is separated from multi-family residential to the west by Broadway, which is a Major Circulation Element Street. The various outdoor courtyards and plazas would be buffered from adjacent residential areas by existing and proposed buildings, which would reduce the potential for noise impacts. The existing single-family residence on the church property is used as the Pastor's residence. The Church also owns the single-family home south of the church property that includes a gated pathway between the two properties. A natural drainage/landscape channel provides a visual buffer from the other residential homes south of the church site

Parking – There currently are 219 on-site parking spaces that are shared between the church and elementary school through a joint-use parking arrangement approved with previous Conditional Use Permits for both uses. Up to an additional 78 off-site spaces are available on the adjacent Calvin High School site through a recorded parking agreement. The existing church parking lot is proposed to be reconfigured to accommodate the new Sanctuary Building, and also to enhance the on-site circulation, vehicle stacking lane and drop-off areas for the Elementary School, which would reduce the amount of on-site parking to 183 striped spaces. Parking for the project would be based on the most intensive peak demand associated with the Church, which would require 240 spaces if both the new Sanctuary Building and converted Social Hall building were both being operated at the same time at full capacity. However this typically is unlikely and church representatives indicate that conflicting activities within the other buildings would not occur during peak church functions/church services that would create parking conflicts. There are more than sufficient parking spaces to meet the peak weekday parking demands of the Elementary School and High School, which also share the church's parking lot. On-street parking along the church and school Vista Street frontages also is not restricted. In addition, overflow parking that can accommodate up to 150 vehicles is available on the adjacent elementary school site's athletic field, which has been used in the past for large events. Therefore, staff feels the continued joint-use parking arrangement between all of the church and school uses is appropriate and a sufficient number of parking spaces would be provided to accommodate the variety of anticipated church and school related functions without impacting the surrounding neighborhood. Project conditions of approval regulating concurrent activities would ensure that adequate on-site parking is available for all of the uses (both on- and off-site).

A. PHYSICAL CHARACTERISTICS

The approximately 4.36-acre property is developed as a religious facility that includes an approximately 5,320 SF one-story sanctuary building (468 seats); 11,164 SF two-story multi-purpose building containing various classrooms, meeting rooms, storage areas and administrative offices; detached approximately 2,000 SF single-story Pastor's residences; 1,464 SF detached multipurpose/storage building; and paved parking areas. The property fronts onto and takes access from North Broadway (Major Road) and Vista Avenue (Collector Road) which are classified as Circulation Element Streets.

B. SUPPLEMENTAL DETAILS OF REQUEST

1. Property Size: 4.36 acres (one parcel) United Reformed Church
2. Existing Church Buildings:

Sanctuary	5,320 SF (one story) accommodates up to 468 seats
Attached Multi-Purpose Bldgs.	11,946 SF (one and two story) classrooms, social hall, admin offices, kitchen facilities, library, storage, meetings rooms – these spaces located within various building elements
Detached Multi-Purpose Bldg.	2,294 SF (cadet youth program-meetings and storage)
<u>Pastors Residence</u>	<u>2,000 SF (one story)</u>
Total	21,560 SF total building SF
3. **Proposed New Buildings:**

Sanctuary Building:	12,423 total SF (two story)
1 st floor	9,938 SF (Sanctuary, library, cry room, narthex, sound booth, bathrooms and storage spaces. The ground floor also will include a separate enclosed, but not covered 433 SF Consistory area.
2 nd floor	2,485 SF (Sanctuary balcony seating, mechanical rooms, atrium balcony entrance
Prep Area:	578 SF to be attached to the converted social hall/sanctuary building
Classroom Buildings:	5,250 SF total area
1 st Floor:	2,625 SF (Nursery rooms, multi-purpose spaces and bathrooms
2 nd Floor:	2,625 SF (Classrooms and outdoor covered balconies)
Enclosed Atrium:	1,835 SF central atrium with roof structure to include skylights plus atrium balcony connecting the upper story Sanctuary building to the new classroom building
Future Expansion:	5,000 SF, two story multi-purpose bldg. (will require modification to CUP and parking update)
4. **Buildings to be Demolished**

One story multi-purpose wing	4,620 SF (contains existing classrooms, kitchen, library and social hall)
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5. Colors/Materials: The color and materials theme to match the existing buildings to include light tan stucco, black composition shingle roof, brick wainscot elements, a vertical wooden trim painted green with green vertical and horizontal wooden or stucco trim elements. A freestanding tower/cross feature also may be incorporated into the project design.

6. Church Hours of Operation:

Office:	8:30 a.m. – 7:00 p.m. Monday 8:30 a.m. – 5:00 p.m. Tuesday- Friday (closed to public on Wed.)
Church:	
Sunday Services	8:30 a.m., to 8:30 p.m. including Sunday school and group mtgs.
Saturday	8:00 a.m. – 7:00 p.m. (various group meetings/study)
Weekday Meetings:	6:30 a.m. – 10:00 p.m. (youth, adult, group and school meetings/study)
Social Events:	Such as wedding – dances typically end by 10:00 p.m.

Note: Church may vary hours and days to accommodate various programs/events.

Elementary School Hours

Elementary School (K-5)	8:10 a.m. – 2:50 p.m. M-F (early supervision begins at 7:00 a.m.) Student pickup ending at 3:00 p.m.
Afterschool Program	3:00 p.m. – 6:30 p.m. M-F
Preschool	6:30 a.m. – 6:30 p.m. M-F

Note: School may alter hours of operation as necessary to accommodate various programs/events.

C. CODE COMPLIANCE ANALYSIS:

	<u>Proposed</u>	<u>R-1-10 Zone Requirements</u>
1. Setbacks:		
Front (Vista Ave):	236' to existing new Sanctuary Bldg.	15'
Street Side: (Broadway)	48' to new Consistory area 62' to Sanctuary Bldg.	10'
Rear:	129' to Phase 4 bldg.	20' for buildings
2. Building Height:		35' (average height)
New Sanctuary Bldg.	40' top of ridgeline (35' average height)	
Existing Sanctuary	39'-6" top of ridgeline	
New Classrooms		
3. Church Parking:	Sanctuary (950 total seating capacity) Social Hall conversion (5,000 SF)	190 spaces (1 per 5 seats) <u>50 spaces (1 per 100 SF assembly area)</u> 240 spaces
School Parking:	Based on number of teachers/employees (16 staff/faculty for K-5 and 13 for Preschool)	29 spaces
Total Available Parking:	183 spaces on-site <u>78 spaces on Calvin Christian High School site</u> 261 striped spaces available with existing joint use agreement	
Overflow Parking:	Overflow parking typically has been directed to use the turf athletic field on the adjacent Calvin Elementary School site, which can accommodate up to 150 vehicles. There is an existing joint use agreement between the Church and Elementary School from the original County use permit.	
Single-Family Parking:	The existing pastor's residence provides separate on-site parking within an enclosed two-car garage and driveway that takes access from Broadway.	

Note: On street parking along the project frontage (Vista Avenue) also is available, but is not counted towards meeting the min. parking requirement.

EXHIBIT "A"

FINDINGS OF FACT PHG14-0021

Conditional Use Permit

1. Granting this Conditional Use Permit for the proposed church phased master development plan is based on sound principles of land use and would not create a nuisance, cause deterioration of bordering land uses or create special problems for the area in which it is located because the project would be located on a site that contains an existing religious facility and the 4.36-acre church property has sufficient area to accommodate all of the proposed phases, including sufficient parking, drop-off area and setbacks from residential areas. Additional overflow parking also is available to accommodate any large events. The proposed project has been designed to be consistent with and fit into the pattern of development of existing buildings, parking, landscape, access, circulation and connectivity consistent with the General Plan 2012, and in compliance with the requirements of the Zoning Code. The new Sanctuary building, two-story classroom and conversion of existing buildings to support various church functions church would not create any adverse noise impacts since outdoor spaces generally are buffered from adjacent residences by the existing or proposed building and large setbacks. The Engineering Department indicated that development of the various church related components would not result in a significant impact to the adjacent roadways and intersections because the bulk of the trips associated with the church occur during off-peak hours and weekends, and the adjacent street and intersections currently operate at acceptable levels of service. The project will not materially degrade the level-of-service of existing facilities and adequate services can be provided. The project will not diminish the Quality-of-Life Standards of the General Plan as the project, as conditioned, would not degrade the levels of service on adjacent street and intersections, and adequate public facilities and access would be provided (as discussed in the staff report and environmental review prepared for the project.).
2. The proposed CUP is consistent with the goals and policies of the General Plan since churches, schools and related religious activities are conditionally permitted within residential zones and previous Conditional Use Permits have been approved for the development of the site as a religious facility. The proposed project components would not adversely impact traffic or circulation, or create adverse parking impacts since the Engineering Division has indicated the adjacent streets and improvements could adequately accommodate the anticipated traffic increase from the project and sufficient on- and off-site parking would be provided in conformance with the Escondido Zoning Code. Therefore, the proposed project would not diminish the Quality-of-Life Standards of the General Plan as the project does not materially degrade the levels-of-service on adjacent streets or public facilities as discussed in the sections above, and further detailed in the Planning Commission staff report dated January 27, 2015, and the environmental review prepared for the project (Negative Declaration ENV14-0021).
3. A Negative Declaration (Case No.ENV14-0011) was issued for the proposed project on December 4, 2014, in accordance with the California Environmental Quality Act (CEQA). The findings of this review are that the project will not have a significant impact to the environment because there is no substantial evidence in the record to indicate project related impacts are potentially significant. Staff did not receive any comments from the public or other agencies during the public review period.
4. This proposal is in response to services required by the community since youth, educational and social programs provide services for the community and religious activities to the church members. The Church also would provide educational alternatives/choice tailored to the goals and needs of the congregation, parents and students.

EXHIBIT "B"

CONDITIONS OF APPROVAL Escondido United Reformed Church PHG14-0021

General

1. The proposed church/school shall be subject to all relevant Conditions of Approval required as part of previous Conditional Use Permits for the site, unless specially authorized or superseded by this use permit.
2. All uses, capacity, hours of operation and outdoor activities shall be substantially consistent with the Details of Request and conditions of approval contained within this report.
3. Colors, materials and design of the project shall conform to the exhibits and references in the staff report, to the satisfaction of the Planning Division.
4. The developer shall be required to pay all development fees of the City then in effect at the time and in such amounts as may prevail when building permits are issued, including any applicable City Wide Facilities fees.
5. All construction shall comply with all applicable requirements of the Escondido Zoning Code and requirements of the Planning Division, Engineering Division, Building Division, and Fire Department.
6. The legal description attached to the application has been provided by the applicant and neither the City of Escondido nor any of its employees assume responsibility for the accuracy of said legal description.
7. All exterior lighting shall conform to the requirements of Article 35, Outdoor Lighting (Ordinance No. 86-75). Any outdoor lighting adjacent to residential uses shall provide appropriate shields to prevent light from adversely affecting the adjacent properties. This shall be demonstrated on the building and site plans for the parking plot/buildings.
8. No signage is approved as part of this permit. All proposed signage associated with the project must comply with the City of Escondido Sign Ordinance.
9. All new utilities shall be placed underground.
10. Any new rooftop equipment must be fully screened from all public view utilizing materials and colors which match the building(s).
11. Any new walls and/or retaining walls shall incorporate decorative materials or finishes, and shall be indicated on the building, grading and landscape plans. Walls also shall incorporate a decorative cap (rolled mortar caps not allowed).
12. A minimum of 183 on-site parking spaces shall be maintained with the development of the new Sanctuary Building, as indicated on the project plans. Said parking spaces shall be striped and dimensioned per City standards. The striping shall be drawn on the plan or a note shall be included on the plan indicating the intent to stripe per City standards. Parking for disabled persons shall be provided (including "Van Accessible" spaces) in full compliance with Chapter 2-71, Part 2 of Title 24 of the State Building Code, including signage

13. Allowable uses, activities and hours of operation for the church and school are described in the Detail of Request (Planning Commission staff report dated January 27, 2015). Concurrent activities generating a total parking demand in excess of 261 spaces shall not be scheduled during peak church activities or peak school hours.
14. The weekday mass/service schedule, and other intensive weekday activities shall not be scheduled to conflict with the peak drop-off and pick-up times of the adjacent Elementary School or Middle/High School.
15. The church may not rent out the social hall for non-congregational/church related functions/uses for commercial purposes.
16. Prior to the issuance of building permits for the project, the final exterior design of the buildings (including materials and colors) shall be submitted to the City for Design Review and shall be approved by the Planning Commission acting as the Design Review Board. The appropriate Design Review fee also shall be submitted.
17. This CUP shall become null and void unless utilized within twenty-four (24) months of the effective date of approval.
18. The City of Escondido hereby notifies the applicant that State Law (SB 1535) effective January 1, 2007, requires certain projects to pay fees for purposes of funding the California Department of Fish and Game. If the project is found to have a significant impact to wildlife resources and/or sensitive habitat, in accordance with State law, the applicant should remit to the City of Escondido Planning Division, within two (2) working days of the effective date of this approval ("the effective date" being the end of the appeal period, if applicable) a certified check payable to the "County Clerk," in the amount of \$2,260 for a project with a Negative Declaration, which includes an additional authorized County administrative handling fee of \$50.00 (\$2,210 + \$50). Failure to remit the required fees in full within the specified time noted above will result in County notification to the State that a fee was required but not paid, and could result in State imposed penalties and recovery under the provisions of the Revenue and Taxation code. In addition, Section 21089(b) of the Public Resources Code, and Section 711.4(c) of the Fish and Game Code provide that no project shall be operative, vested, or final until all the required filing fees are paid. If the fee increase after the date of this approval, the applicant shall be responsible for the increase.

Landscaping

1. Five copies of a detailed landscape and irrigation plan(s) shall be submitted to the Engineering Division prior to issuance of Grading or Building permits. A plan check fee will be collected at the time of submittal. The required landscape and irrigation plan(s) shall comply with the provisions, requirements and standards in Escondido Zoning Code Article 62 (Water Efficient Landscape Standards) and include a drought tolerant design. The plans shall be prepared by, or under the supervision of a licensed landscape architect.
2. Any existing trees to remain and any trees to be removed shall be identified on the landscape and grading plans, to the satisfaction of the Planning Division. Specimen sized trees (min. 24" box) shall be used to replace any mature trees to be removed.
3. All landscaping shall be permanently maintained in a flourishing manner. All irrigation shall be maintained in fully operational condition.
4. Prior to occupancy of future buildings, all required landscape improvements shall be installed and all vegetation growing in an established, flourishing manner. The required landscaped areas shall be free of all foreign matter, weeds and plant material not approved as part of the landscape plan.

**ENGINEERING CONDITIONS OF APPROVAL
Escondido United Reform Church
PHG-14-0021**

STREET IMPROVEMENTS AND TRAFFIC

1. The project owner shall rehab the existing roadway surface on Vista Avenue, along project frontage. Roadway rehabilitation work shall include a four foot wide, 2 inches deep header-cut along lip of gutter on both sides of the roadway and overlay with 2 inch A.C. pavement over the entire roadway. Vista Avenue shall be restriping in accordance with a striping plan prepared by the project owner and approved by the City Engineer.
2. The Project owner shall be responsible for removal and reconstruction of damaged curb, gutter and sidewalk along project frontages on N. Broadway and Vista Avenue.
3. The project owner shall enhance the existing mid-block crossing on Vista Avenue by re-establishing and updating signing, striping and installation of a signal controlled pedestrian crossing or an alternate device subject to approval by the City Engineer and Transportation Commission. The project owner shall be responsible for the design, construction and maintenance of the pedestrian crossing device and shall execute a maintenance agreement with the City for future maintenance of the pedestrian crossing system.
4. The project owner shall provide the City with an engineer designed signing and striping plan for the installation of the pedestrian crossing and re-establishment and enhancement of school zone and street signing and striping along Vista Avenue and N. Broadway. The plan will be subject to review and approval by the City Engineer. The project owner shall be responsible for construction of all signing and striping, including removal of the existing striping to the satisfaction of the City Engineer.
5. The project owner shall prepare and submit an on-site signing and striping and traffic management plans for the church and school activities to the City Engineer for review and approval. The project owner shall implement the approved traffic management during school hours and church services. Implementation of Traffic management plan will be subject to monitoring by the City engineering staff and subject to modification by the project owner, as required by the City Engineer.
6. The main access to the project on N. Broadway shall be a 42 foot wide Alley-Type driveway with on-site signing and striping to the City Engineer's requirements.
7. Access routes conforming to the American Disabilities Act shall be provided into the project from the public sidewalk, to the satisfaction of the City Engineer.

An engineered improvement plan is required for all public improvements. The developer shall post security for these improvements and an improvement plan shall be approved by the City of Escondido prior to issuance of any building permits. All required improvements shall be constructed prior to project occupancy.

GRADING

1. A site grading and erosion control plan shall be approved by the Engineering Department prior to issuance of building permits. The project shall conform to the City of Escondido's Storm Water Management Requirements. Both Construction BMPs and Permanent Treatment BMPs shall be provided for the project
2. All private driveways and parking areas shall be paved with a minimum of 3" AC over 6" of AB or 5 1/2" PCC over 6" AB. All paved areas exceeding 15% slope or less than 1.0% shall be paved with PCC.

3. All blasting operations performed in connection with the improvement of the project shall conform to the City of Escondido Blasting Operations Ordinance.
4. A General Construction Activity Storm Water Permit is required from the State Water Resources Board for all storm water discharges associated with a construction activity where clearing, grading and excavation results in a land disturbance of one or more acres. One copy of the Storm Water Pollution Prevention Plan shall be submitted to the City.

All site grading and erosion control plans shall be prepared by a Registered Civil Engineer. A separate submittal to the Engineering Department is required for the site grading and erosion control plans.

DRAINAGE

1. A Final Water Quality Technical Report in compliance with City's latest adopted Storm Water Management Requirements shall be prepared and submitted for approval together with the final improvement and grading plans. The Water Quality Technical Report shall include hydro-modification calculations, post construction storm water treatment measures and maintenance requirements.
2. All onsite drainage system, storm water treatment and retention facilities shall be considered private. The responsibility for maintenance of these post construction storm water treatment facilities shall be that of the property owner.
3. The owner of the property shall be required to sign, notarize, and record a Storm Water Control Facility Maintenance Agreement. A signed copy of the agreement shall be provided to the City prior to approval final plans.

WATER SUPPLY

1. Fire hydrants together with an adequate water supply shall be installed at locations approved by the Fire Marshal.
2. This project is located within Rincon Del Diablo Water District. The developer shall coordinate all water related improvements for the project with Rincon staff. Approved water improvement plans for the project shall be submitted to the City Engineer prior to approval of grading or improvement plans by the City.

WASTEWATER SUPPLY

1. Onsite private wastewater service and shall be designed and constructed in accordance Building Division requirements. Property owner is responsible for the maintenance of the private wastewater system for the project.

SURVEYING AND MONUMENTATION

1. All property corners shall be monumented by a person authorized to practice land surveying and a Record of Survey Map (or Corner Record if appropriate) shall be recorded.

CASH SECURITIES

1. A cash security shall be posted to pay any costs incurred by the City to clean-up eroded soils and debris, repair damage to public or private property and improvements, install new BMPs, and stabilize and/or close-up a non-responsive or abandoned project. Any moneys used by the City for cleanup or damage will be drawn from this security and the grading permit will be revoked by written notice to the developer until the required cash security is replaced. The cleanup cash security shall be released upon final acceptance of the grading and improvements for this project. The amount of the cash security shall be

10% of the total estimated cost of the grading, drainage, landscaping, and best management practices items of work with a minimum of \$5,000 up to a maximum of \$50,000, unless a higher amount is deemed necessary by the Director of Engineering Services.

UTILITY UNDERGROUNDING AND RELOCATION

1. All existing overhead utilities within the project boundary or along fronting streets shall be relocated underground as required by the Subdivision Ordinance.
2. All utilities services to new and existing buildings shall be constructed underground.
3. The developer shall sign a written agreement stating that he has made all such arrangements as may be necessary to coordinate and provide utility construction, relocation and undergrounding. All new utilities shall be constructed underground

DEPUTY

FILED IN THE OFFICE OF THE DEPUTY

RECEIVED
JAN 10 1964
U.S. DEPARTMENT OF JUSTICE
FEDERAL BUREAU OF INVESTIGATION
WASHINGTON, D.C.



Environmental Checklist Form (Initial Study Part II – Draft)

1. Project title and case file number: ENV 14-0011 and PHG 14-0021 (Escondido United Reformed Church)
2. Lead agency name and address: City of Escondido, 201 N. Broadway, Escondido, CA 92025
3. Lead agency contact person name, title, phone number and email: Jay Paul, Associate Planner (760) 839-4537
jpaul@ci.escondido.ca.us
4. Project location: Escondido United Reformed Church generally is located on the southeastern corner of North Broadway and Vista Avenue in the City of Escondido, County of San Diego, addressed as 1864 N. Broadway (APN 227-010-61).
5. Project applicant's name, address, phone number and email: Escondido United Reformed Church (Brent Cooper)
1864 N. Broadway, Escondido, CA 92026 (619) 921-2849 bcooper@superiormm.com
6. General Plan Designation: Suburban (S)
7. Zoning: R-1-10 (Single-Family Residential 10,000 SF min. lot size)
8. Description of project: (Describe the whole action involved, including, but not limited to, later phases of the project and any secondary, support, or off-site features necessary for its implementation. Attach additional sheets if necessary.)
The proposed project involves a Conditional Use Permit (CUP) for a phased master development plan for Escondido United Reformed Church to include the construction of a new two-story approximately 12,243 SF sanctuary building to accommodate up to 578 fixed seats on the main floor and 202 fixed seats on the upper story mezzanine/balcony, with up to 170 non-fixed seats for a total capacity of 950 seats; reconfigure the existing parking lot; convert the existing 5,320 SF sanctuary building into a multi-purpose social hall with an new attached 578 SF kitchen/prep building; demolish the existing social hall building and construct a new 4,849 SF two-story building to accommodate a nursery, multi-purpose room, bathrooms and classrooms for Sunday school and other associated activities; and construct an enclosed 1,835 SF central Atrium/Narthex between the buildings. The final phase would include a new two-story freestanding Multi-Purpose Building. This would require a future modification to the CUP
9. Surrounding land uses and setting (briefly describe the project's surroundings):
The General Plan land-use designation for existing church site is Suburban (S) with an underlying zoning designation of R-1-10. The approximately 4.36-acre property is developed as a religious facility that includes an approximately one-story sanctuary building, two-story multi-purpose building, single-story Pastor's residences, detached multipurpose/storage building, and paved parking areas. The property fronts onto and takes access from North Broadway (Major Road) and Vista Avenue (Collector Road). In general, the surrounding area is characterized as urban/residential with a mix of multi-family and single-family residential development. Several non-residential uses are located within the immediate vicinity including Escondido High School to the southwest, Calvin Christian High School and Middle School to the north, Calvin Elementary School on the east, and First Congregational Church to the south. Vegetation throughout the surrounding area is typically of developed land, with a pocket of off-site natural habitat south of the site associated with an open drainage course, and Reidy Creek located west across North Broadway. Vegetation on the project site and adjacent Calvin Elementary School consists of a mix of mature trees, ornamental shrubs and groundcover, and turf grass. The site does not contain any native or sensitive habitats or vegetation.
10. Other public agencies whose approval is required (e.g., permits, financing approval, or participation agreement).
N/A

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below potentially would be affected by this project involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- | | | |
|---|--|---|
| ☐ Aesthetics | ☐ Agricultural Resources | ☐ Air Quality |
| ☐ Biological Resources | ☐ Cultural Resources | ☐ Geology and Soils |
| ☐ Greenhouse Gas Emissions | ☐ Hazards & Hazardous Materials | ☐ Hydrology/Water Quality |
| ☐ Land Use/Planning | ☐ Mineral Resources | ☐ Noise |
| ☐ Population/Housing | ☐ Public Services | ☐ Recreation |
| ☐ Transportation/Traffic | ☐ Utilities/Service Systems | ☐ Mandatory Findings of Significance |

DETERMINATION: (To be completed by the Lead Agency)

On the basis of this initial evaluation:

- ☒ I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION shall be prepared.
- ☐ I find that, although the proposed project might have a significant effect on the environment, there would not be a significant effect in this case because revisions in the project have been made, or agreed to, by the project proponent. A MITIGATED NEGATIVE DECLARATION shall be prepared.
- ☐ I find that the proposed project might have a significant effect on the environment and/or deficiencies exist relative to the City's General Plan Quality of Life Standards, and the extent of the deficiency exceeds the levels identified in the City's Environmental Quality Regulations pursuant to Zoning Code Article 47, Section 33-924 (b), and an ENVIRONMENTAL IMPACT REPORT shall be required.
- ☐ I find that the proposed project might have a "potentially significant impact" or "potentially significant unless mitigated impact" on the environment, but at least one effect: a.) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and b.) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT shall be required, but it shall analyze only the effects that remain to be addressed.
- ☐ I find that, although the proposed project might have a significant effect on the environment, no further documentation is necessary because all potentially significant effects: (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project.

Signature

Jay Paul, Associate Planner
Printed Name and Title

Signature

Bill Martin, Deputy Director of Planner
Printed Name and Title

December 4, 2014
Date

ENV14-0011 (Escondido United Reformed Church)

FINAL EDITS 1-22-15

EVALUATION OF ENVIRONMENTAL IMPACTS:

1. This section evaluates the potential environmental effects of the proposed project, generally using the environmental checklist from the State CEQA Guidelines as amended and the City of Escondido Environmental Quality Regulations (Zoning Code Article 47). A brief explanation in the Environmental Checklist Supplemental Comments is required for all answers except "No Impact" answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. All answers must take into account the whole action involved, including off-site, on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts and mitigation measures. Once the lead agency has determined that a particular physical impact might occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. The definitions of the response column headings include the following:
 - A. "Potentially Significant Impact" applies if there is substantial evidence that an effect might be significant. If there are one or more "Potentially Significant Impact" entries once the determination is made, an EIR shall be required.
 - B. "Less Than Significant with Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Than Significant Impact." The lead agency must describe the mitigation measures and briefly explain how they reduce the effect to a less than significant level (mitigation measures from Section 2 below, "Earlier Analyses," may be cross-referenced). Measures incorporated as part of the Project Description that reduce impacts to a "Less than Significant" level shall be considered mitigation.
 - C. "Less Than Significant Impact" applies where the project creates no significant impacts, only less than significant impacts.
 - D. "No Impact" applies where a project does not create an impact in that category. "No Impact" answers do not require an explanation if they are adequately supported by the information sources cited by the lead agency which show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project would not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
2. Earlier Analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or Negative Declaration. Section 15063(c)(3)(D). In this case, a brief discussion should identify the following:
 - A. Earlier Analysis Used. Identify and state where it is available for review.
 - B. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of an adequately analyzed earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - C. Mitigation Measures. For effects that are "Less than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
3. Lead agencies are encouraged to incorporate references to information sources for potential impacts into the checklist (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
4. Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
5. The explanation of each issue should identify the significance of criteria or threshold, if any, used to evaluate each question, as well as the mitigation measure identified, if any, to reduce the impact to less than significant.

I.

☐☐☒☐☒

II.

☐☒☐☐

- c. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use?

☒

III. **AIR QUALITY.** Where applicable, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

- a. Conflict with or obstruct implementation of the applicable air quality plan?

☐☐☐☒

IV.

- b. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?

- c. Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?

☐ ☐ ☒

- d. Interfere substantially with the movement of any native resident or migratory fish or wildlife species, or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

☐ ☐ ☐

- e. Conflict with any local policies or ordinances protecting biological resources such as a tree preservation policy or ordinance?

☐

- f. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?

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Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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V.

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VI. **GEOLOGY AND SOILS.** Would the project:

a. Expose people or structures to potentially substantial adverse effects, including the risk of loss, injury, or death involving:

i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.

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ii. Strong seismic ground shaking?

☒

iii. Seismic-related ground failure, including liquefaction?

☐

iv. Landslides?

☐

b. Result in substantial s

☐
☒

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d. Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?	☐	☐	☐	☒
e. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	☐	☐	☐	☒

VII. GREENHOUSE GAS EMISSIONS. Would the project:

a. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	☐	☐	☒	☐
b. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gasses?	☐	☐	☐	☒

HAZARDS AND HAZARDOUS MATERIALS. Would the project:

a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	☐	☐	☐	☒
b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	☐	☐	☐	☒
c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	☐	☐	☐	☒
d. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	☐	☐	☐	☒
e. For a project located within an airport land-use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in safety hazard for people residing or working in the project area?	☐	☐	☐	
f. For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	☐			

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
g. Impair implementation of, or physically interfere with, an adopted emergency response plan or emergency evacuation plan?	☐	☐	☐	☒
h. Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	☐	☐	☐	☒

HYDROLOGY AND WATER QUALITY. Would the project:

a. Violate any water quality standards or waste discharge requirements, including but not limited to increasing pollutant discharges to receiving waters (Consider temperature, dissolved oxygen, turbidity and other typical storm water pollutants)?	☐	☐	☒	☐
b. Have potentially significant adverse impacts on ground water quality, including but not limited to, substantially depleting groundwater supplies or substantially interfering with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	☐	☐	☐	☒
c. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river in a manner which would result in substantial/increased erosion or siltation on- or off-site?	☐	☐	☐	☒
d.	☐	☐	☐	☒

☐

☒ ☐
☐ ☒

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
	☐	☐	☐	☒
i.	☐		☐	☒
				☒
				☒
l. Create potentially significant environmental impact on surface water quality, to either marine, fresh, or wetland waters?		☐		☒
m. Impact aquatic, wetland or riparian habitat?	☐		☐	☒
n. Otherwise substantially degrade water quality?	☐		☐	☒
o. Place housing within a 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	☐		☐	☒
p. Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	☐	☐	☐	☒
		☐	☐	☒
r. Inundation by seiche, tsunami, or mudflow?	☐	☐	☐	
X. LAND USE PLANNING. Would the project:				
a. Physically divide an established community?				☒



	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
XIII. <u>POPULATION AND HOUSING.</u> Would the project:				
a. Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	☐	☐	☐	☒
b. Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	☐	☐	☐	☒
c. Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	☐	☐	☐	☒
XIV. <u>PUBLIC SERVICES.</u> Would the project:				
a. Result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:				
i. Fire protection?	☐	☐	☐	☒
ii. Police protection?	☐	☐	☐	☒
iii. Schools?	☐	☐	☐	☒
iv. Parks?	☐	☐	☐	☒
v. Other public facilities?	☐	☐	☐	☒
XV. <u>RECREATION.</u> Would the project:				
a. Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	☐	☐	☐	☒
b. Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	☐	☐	☐	☒

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b. Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways? | ☐ | | | |
| c. Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks? | ☐ | ☐ | ☐ | ☒ |
| d. Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? | ☐ | ☐ | | ☒ |
| e. Result in inadequate emergency access? | ☐ | | | ☒ |
| f. Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities? | ☐ | | | ☒ |

XVII. UTILITIES AND SERVICE SYSTEMS. Would the project:

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a. Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board? | ☐ | ☐ | | ☒ |
| b. Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? | ☐ | | | ☒ |
| the construction of new storm water drainage of existing facilities, the construction of which t environmental effects? | ☐ | ☐ | ☐ | ☒ |

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d. Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	☐	☐	☐	☒
e. Result in a determination by the wastewater treatment provider which serves, or may serve, the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	☐	☐	☐	☒
f. Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	☐	☐	☐	☒
g. Comply with federal, state, and local statutes and regulations related to solid waste?	☐			☒

XVIII. MANDATORY FINDINGS OF SIGNIFICANCE. Would the project:

a. Have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number, or restrict the range, of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?	☐	☐		
b. Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)	☐	☐	☒	☐
c. Does the project have environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly?	☐	☐		
d. Where deficiencies exist relative to the City's General Plan Quality of Life Standards, does the project result in deficiencies that exceed the levels identified in the Environmental Quality Regulations {Zoning Code Section 33-924 (a) }?	☐		☐	☒

ENVIRONMENTAL CHECKLIST SUPPLEMENTAL COMMENTS

An Initial Study Environmental Checklist was prepared for this project and is included as a separate attachment to this Negative Declaration (MND). The information contained in the Initial Study and the ND Supplemental Comments will be used by the City of Escondido to determine potential impacts associated with the proposed project.

INTRODUCTION

This Negative Declaration assesses the environmental effects of the proposed United Reformed Church Development Master Plan generally located on the southeastern corner of North Broadway and Vista Avenue, addressed as 1864 N. Broadway (APN 227-010-61).

As mandated by CEQA Guidelines Section 15105, affected public agencies and the interested public may submit comments on the **Negative Declaration** in writing before the end of the **20-day** public review period starting on **November 5, 2014**, and ending on **November 24, 2014**. Written comments on the Negative Declaration should be submitted to the following address by **5:00 p.m., November 24, 2014**. Following the close of the public comment review period, the City of Escondido will consider this Negative Declaration and any received comments in determining the approval of this project.

City of Escondido
Planning Division
201 North Broadway
Escondido, CA 92025-2798

Contact: Jay Paul, Associate Planner
Telephone: (760) 839-4671
Fax: (760) 839-4313
Email: jpaul@escondido.org

A printed copy of this document and any associated plans and/or documents are available for review during normal operation hours for the duration of the public review period at the City of Escondido Planning Division at the address shown above, and also available on the City's website. The City of Escondido General Plan Update (2012); Final Environmental Impact Report (2012); and Climate Action Plan are incorporated by reference. These documents are available for review at, or can be obtained through the City of Escondido Planning Division or on the City of Escondido Web Site.

PROJECT DESCRIPTION

The proposed project involves a Conditional Use Permit (CUP) for a phased master development plan for Escondido United Reformed Church to include the following components:

Phase 1

- Construct a new 12,243 SF, two-story Sanctuary Building to accommodate up to 578 fixed seats on the main floor and 202 fixed seats on the upper story mezzanine/balcony, with up to 170 non-fixed seating for a maximum capacity of up to 950 seats.
- Reconstruct driveway off of Broadway and reconfigure the existing parking lot, drive aisles, new student drop-off area, paths of travel, hardscape and landscape improvements to support the Church and adjacent Calvin Elementary School.

Phase 2

- Convert the existing approximately 5,320 SF Sanctuary building into a multi-purpose social hall with a new attached 578 SF kitchen/prep building.

Phase 3

- Demolish the existing single-story social hall building (approx. 4,620 SF) and construct a new, approximately 5,250 SF, two-story building to accommodate a nursery, multi-purpose room, classrooms for Sunday school and other associated activities, and bathrooms, and an enclosed 1,835 SF lower story central Atrium/Narthex. As part of this phase, the existing nursery spaces would be located in the new building and additional classrooms added to the existing building.

Phase 4

- New two-story freestanding Multi-Purpose Building. This would require a future modification to the CUP when the architectural design and floor plans are submitted.

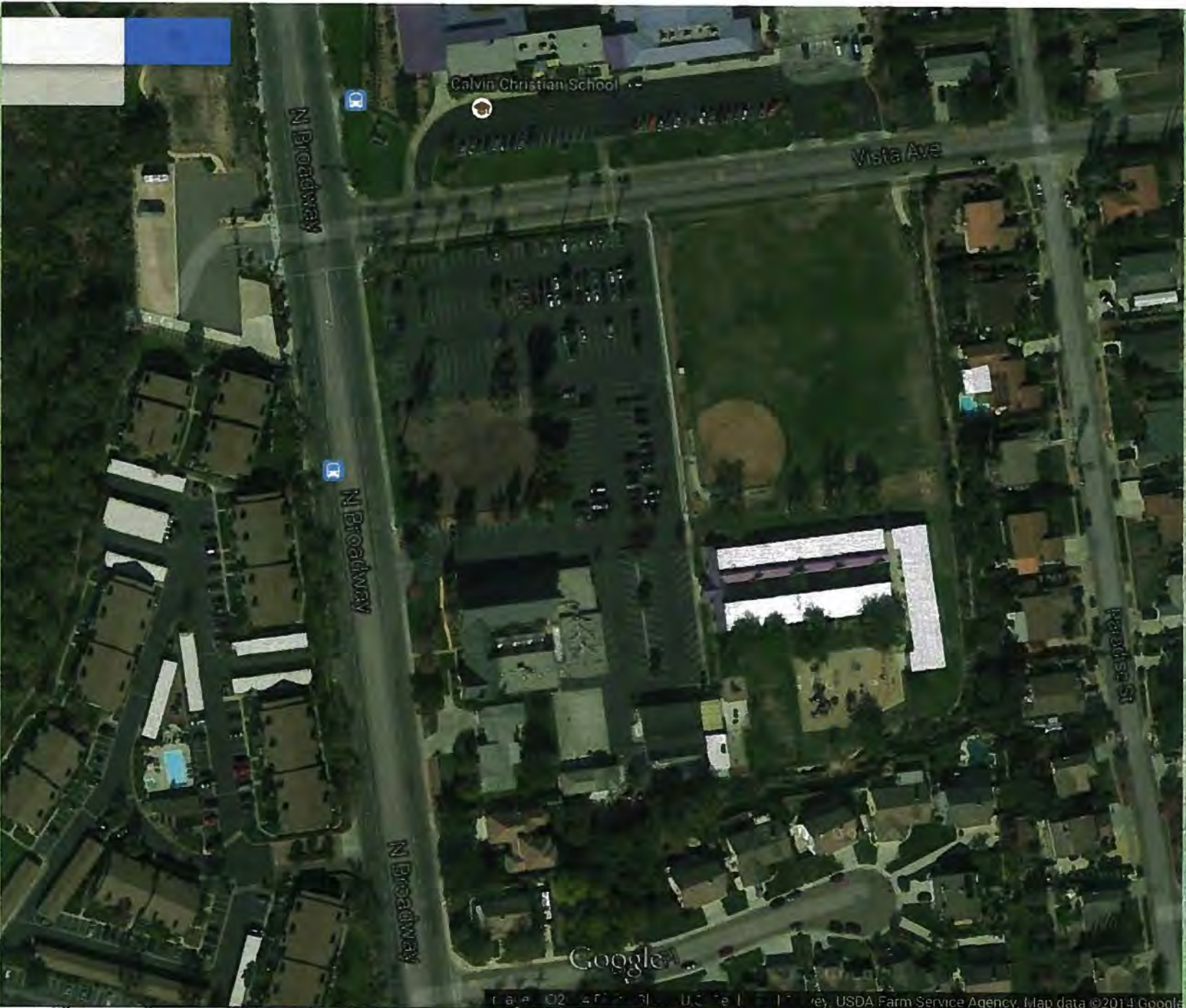
PROJECT LOCATION AND ENVIRONMENTAL SETTING

Escondido United Reformed Church generally is located on the southeastern corner of North Broadway and Vista Avenue in the City of Escondido, County of San Diego, addressed as 1864 N. Broadway (APN 227-010-61). The approximately 4.36-acre property is developed as a religious facility that includes an approximately 5,320 SF one-story sanctuary building (468 seats); 11,164 SF two-story multi-purpose building containing various classrooms, meeting rooms, storage areas and administrative offices; detached approximately 2,000 SF single-story Pastor's residences; 1,464 SF detached multipurpose/storage building; and paved parking areas. The property fronts onto and takes access from North Broadway (Major Road) and Vista Avenue (Collector Road) which are classified as Circulation Element Streets.

Escondido United Reformed Church original was established at the Broadway site in 1962 under the County's jurisdiction. The Church annexed to the City of Escondido in 1973 (City File No. AN73-101) and has expanded over the years to its current configuration. The adjacent Calvin Elementary School was constructed in 1967 under the County's jurisdiction with a shared parking arrangement with the church. The Calvin Christian High School north of the church site also has a joint parking arrangement with the church.

The General Plan land-use designation for subject site is Suburban (S) with an underlying zoning designation of R-1-10 (Single-Family Residential, 10,000 SF min. lot size). In general, the surrounding area is characterized as urban/residential with a mix of multi-family and single-family residential development. Several non-residential uses are located within the immediate vicinity including Escondido High School to the southwest, Calvin Christian High School and Middle School to the north, Calvin Elementary School on the east, and First Congregational Church to the south. Vegetation throughout the surrounding area is typically of developed land, with a pocket of off-site natural habitat south of the site associated with an open drainage course, and Reidy Creek located west across North Broadway.







Looking southeast across site from Broadway



Looking south across site from Vista Avenue



I. AESTHETICS

- a. *Have a substantial adverse effect on a scenic vista?*
- b. *Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?*
- c. *Substantially degrade the existing visual character or quality of the site and its surroundings?*

Less Than Significant Impact - Scenic resources in the City of Escondido include views to and from hillsides and prominent ridgelines and other prominent natural landforms. No designated scenic resources are located within or in close proximity to the site, as identified in the General Plan Resource Conservation Element. More prominent ridgelines/hillside areas generally are located north and northeast towards the City's northern boundaries. Views through the site towards the distant hillsides would be altered with the development of the new structures. However, due to distance from designated scenic resources and the relatively small scale of the project, the new buildings would not adversely block views of ridgelines or other scenic vistas from public views or through the project site.

The 4.36-acre site is developed as a religious facility and contains a variety of one- and two-story buildings, paved parking and other supporting infrastructure. The proposed project consists of an infill type development within an urbanized/suburban area completely surrounded by a variety of existing development, including several schools and religious facilities. The project components primarily consist of a new sanctuary building; new two story multi-purpose/classroom building; and related surface parking lot and landscape improvements that have been designed to be compatible in height and scale with the existing on-site buildings and other development throughout the surrounding area. The site does not contain any significant on-site resources such as protected trees, rock outcroppings or any other significant topographical features. Several of the on-site mature trees (generally eucalyptus and pine species) would be removed or impacted during construction. These trees would be replaced as required by the City's Grading Ordinance and tree preservation requirements. Therefore the proposed project would not result in any adverse impacts directly, indirectly or cumulatively to the visual character or quality of the Planning Area.

- d. *Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?*

Less Than Significant Impact - Existing lighting sources on the site and surrounding area generally consist of street lights; security lights, parking lot lights, sport field lights and vehicle headlights. The proposed lighting for the project generally would consist of new or relocated parking lot lighting, new area lighting around the buildings and walkways, and building security lighting, which would be compatible with existing lighting throughout the project vicinity. All new lighting would be required to be in compliance with the City's Outdoor Lighting Ordinance, which would ensure potential impacts associated with glare or light will be minimized to below a level of significance.

II. AGRICULTURE RESOURCES

Significance Criteria and Impact Analysis

In determining whether impacts to agricultural resources are a significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. The effects of a project on agricultural resources are considered significant if the proposed project would:

- a. *Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?*
- b. *Conflict with existing zoning for agricultural use, or a Williamson Act contract?*
- c. *Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use?*
- d. *Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?*
- e. *Result in the loss of forest land or conversion of forest land to non-forest use?*
- f. *Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?*

No Impact - The proposed project site is currently developed as a religious facility/school and surrounded by urban/suburban development on all sides.. No farmland, forest land, timberland, or other agricultural uses occur on the project site or surrounding area. The property is not listed as agricultural or prime farmland by the California Department of Conservation (CDC) Farmland Mapping and Monitoring Program. The project site and surrounding area is not listed as prime Agricultural Lands in the General Plan Final EIR, which was prepared for the most recent General Plan revisions in 2000 (Escondido 2000). Therefore, the proposed project will not result in the conversion of Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) to non-agricultural use, or result in the conversion of forest land to non-forest use. The project site does not contain any Williamson Act or other agricultural land contracts. Accordingly, no associated impacts to agricultural-related zoning or contract land would result.

III. AIR QUALITY

Significance Criteria and Impact Analysis

Where applicable, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

- a. *Conflict with or obstruct implementation of the applicable air quality plan?*
- b. *Violate any air quality standard or contribute substantially to an existing or projected air quality violation?*
- c. *Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?*
- d. *Expose sensitive receptors to substantial pollutant concentrations?*
- e. *Create objectionable odors affecting a substantial number of people?*

Within the San Diego region, air quality is monitored, evaluated, and controlled by the U.S. Environmental Protection Agency (USEPA), California Air Resources Board (CARB), and the San Diego County Air Pollution Control District (SDAPCD). The project is located within the San Diego Air Basin (Basin) under the jurisdiction of the SDAPCD. The SDAPCD develops and administers local regulations for stationary air pollutant sources within the Basin, and also develops plans and programs to meet attainment requirements for both federal and State Ambient Air Quality Standards. The SDAPCD and the San Diego Association of Governments (SANDAG) are responsible for developing and implementing the clean air plan for attainment and maintenance of the AAQS in the Basin. The San Diego County Regional Air Quality Strategy (RAQS) was initially adopted in 1991, with the most recent update in 2009. The RAQS outlines the SDAPCD's plans and control measures designed to attain the state air quality standards. The SDAPCD has also developed the air basin's input to the State Implementation Plan (SIP), which is required under the federal CAA for areas that are out of attainment of air quality standards.

Less Than Significant Impact - To determine consistency between the project and these air quality plans, the project must comply with all applicable SDAPCD rules and regulations, all proposed or adopted control measures of the RAQS, and be consistent with the growth forecasts utilized in preparation of the RAQS and SIP, which are based on regional population, housing, and employment projections prepared by SANDAG. The SDAPCD air quality management plans were developed based on growth assumptions prepared by SANDAG. Because the proposed project does not include growth-generating components the project would not conflict with growth projections contained in the City's General Plan and thus, would be consistent with SANDAG forecasts. Based on these considerations and pursuant to SDAPCD guidelines, project-related emissions would be accounted for and the project would be consistent with the SDAPCD air quality management plans and the SIP. For these reasons, the proposed project would not produce local or regional growth. The proposed project would not significantly increase traffic volumes on local streets and intersections as a result of the new sanctuary building and multipurpose building. The proposed project does not propose any land use changes, nor would it result in a land use that would create any significant additional operational emissions. Therefore, the proposed project is consistent with the City's General Plan, which would make it consistent with the AQMP, and no significant impact would occur. Any individual impacts attributed to the proposed project are small on a regional scale and will not cause ambient air-quality standards to be exceeded, nor contribute to any adverse cumulative impacts.

Construction Emissions and Odors

Due to the relatively minor amount of on-site earth disturbing activities/trenching associated with the project and based on air-quality studies for similar type projects, anticipated daily construction emissions from heavy equipment, or haul trucks and diesel equipment are projected to be less than the City of Escondido and SDAPCD thresholds for all criteria. Therefore, the proposed project would not expose sensitive receptors to substantial concentrations of criteria pollutants nor generate any objectionable odors, especially from diesel fumes. Any odors would be temporary in nature and would be confined to the immediate vicinity of the proposed project site. Because construction is a one time, temporary activity, operation of equipment during project construction is not anticipated to result in significant air quality impacts. As a matter of standard practice, dust and emission control during grading operations would be implemented to reduce potential nuisance impacts and to ensure compliance with SDAPCD rules and regulations. Due to the nature of the project, operation of the facility also is not anticipated to include the generation of objectionable odors affecting a substantial number of people. Therefore, the proposed project would have a less than significant impact on cumulative regional and local air quality.

- e. *Conflict with any local policies or ordinances protecting biological resources such as a tree preservation policy or ordinance?*
- f. *Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?*

Less Than Significant Impact - The project site is located within an urban/suburban built-up area and is surrounded by existing development and/or public streets on all sides. The property is classified as developed/disturbed and contains a variety of buildings, paved parking and ornamental landscaping, including mature trees. No plant life or animal species recognized as threatened or endangered by the U.S Fish and Wildlife Service or California Department of Fish and Game, or other sensitive species, as identified in local/regional plans/policies or regulations, are known or anticipated to occur on the site. No raptor nests were observed within the proposed project area during a site reconnaissance. Based on the developed nature of the site and surrounding area, project implementation would not result in any impacts to wildlife movements or established wildlife corridors/habitat linkages. The project development area is outside the City of Escondido Focused Planning Areas as indicated on the MHCP maps and no conflicts with the provisions of the MHCP are expected. No riparian habitat or wetlands occur on the subject site. As such, the project would not directly or indirectly impact sensitive species or habitat. Although there are mature trees on the site, there are no protected trees (such as oak trees) located on the site. The removal of any mature trees due to the project development would be replaced in accordance with the City's grading and landscape requirements.

V. CULTURAL RESOURCES

Significance Criteria and Impact Analysis

The effects of a project on cultural resources are considered to be significant if the proposed project would:

- a. *Cause a substantial adverse change in the significance of a historical resource as defined in §15064.5?*
- b. *Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?*
- c. *Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?*
- d. *Disturb any human remains, including those interred outside of formal cemeteries?*

No Impact - The project site is developed with a church and school. The original church sanctuary building was constructed in 1962, which is over 50 years old. However, the structure is not listed on any historic survey and the architecture or character of the building would not be considered a significant historical resource. The proposed project would not impact the character of the existing sanctuary building as it would be retained and the interior remodeled as one of the proposed project phases. No other potential historical resources occur on the project site and the project area does not appear to contain any indicators of significant cultural resources or geologic features due to the disturbed nature of the property and past development. As such, no impact to cultural/historical resources would occur as a result of the proposed project. Because extensive ground moving activities would not be required and the area of ground disturbance would be minimal, the likelihood of encountering cultural resources is unlikely. No human remains are anticipated to be discovered during project construction due to the lack of burial sites recorded on the site and the disturbed nature of the project area. In accordance with Health and Safety Code 7050.5, CEQA 15064.5(e), and Public Resources Code 5097.98, if any human remains are discovered, all work would be halted in the vicinity of the discovery, the appropriate authorities would be notified, and standard procedures for the respectful handling of human remains would be adhered to. Therefore, implementation of the proposed project would not result in a significant impact to these resources and no mitigation measures are required.

VI. GEOLOGY AND SOILS

Significance Criteria and Impact Analysis

The effects of a project on geology and soils are considered to be significant if the proposed project would:

- a. *Expose people or structures to potentially substantial adverse effects, including the risk of loss, injury, or death involving:*
 - i. *Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.*
 - ii. *Strong seismic ground shaking?*
 - iii. *Seismic-related ground failure, including liquefaction?*
 - iv. *Landslides?*
- b. *Result in substantial soil erosion or the loss of topsoil?*
- c. *Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?*
- d. *Be located on expansive soil, as defined in Table 18.1-B of the Uniform Building Code (1994), creating substantial risks to life or property?*

Less than Significant Impact - The subject site, including all areas of Escondido and surrounding San Diego County is located within a Seismic Zone 4 designation. The project site is not located within proximity to any mapped State of California Fault-Rupture hazard Zones (formerly known as Alquist-Priolo Special Studies Zones) or other known fault hazard designations (California Geological Survey [CGS] 2007). No known active or potentially active faults are located in the project site vicinity. Accordingly, fault surface rupture is not likely at this project. All new development would be required to conform to current seismic building code requirements designated for the specific area. Encounters with shallow groundwater is not expected. However, a number of standard methods are available to eliminate potential impacts from groundwater, such as dewatering. Disposal of any extracted groundwater (if necessary) would require coordination with the local RWQCB. Based on existing conditions and geologic/development history of the area, potential liquefaction and expansive soil issues are not anticipated to rise to a level of significance. Appropriate design and construction measures would be required to be incorporated into the development plans as recommended by any subsequent geotechnical/soils reports that may be required at the building/grading permit stage of site development, which include standard industry practices such as the use of appropriate foundation and footing designs, design and construction measures to accommodate projected seismic loading, implementation of properly engineered and non-expansive fill, and appropriate surface/subsurface drainage techniques. These and/or other appropriate measures would be implemented as part of any development permit and conformance with applicable regulatory/industry criteria such as the IBC/CBC, Greenbook and City Standards. Because the subject site and surrounding properties have been developed and situated on relatively level terrain, the project site is not considered to be susceptible to other potential geologic hazards such as landslides, tsunamis, or seiche. Additionally, the proposed development area contains no exposed soils that could be subject to soil erosion or loss of topsoil. Erosion and sedimentation impacts would be addressed through conformance with the NPDES *General Permit for Storm Water Discharges Associated with Construction and Land Disturbance Activities* (Construction General Permit, State Water Resources Control Board [SWRCB]). Based on implementation of appropriate erosion and sediment control BMPs as part of, and in conformance with NPDES/City storm water requirements, potential erosion and sedimentation impacts from a proposed project would be avoided.

- e. *Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?*

No Impact - The project site currently is serviced by an existing wastewater/sewer pipeline system with the City of Escondido. No septic tanks or alternative wastewater disposal system would be utilized as part of any future development projects.

VII. GREENHOUSE GAS EMISSIONS

In order to determine the potential effects of a project on greenhouse gas emission (GHG), would the project:

- a. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?
- b. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

Less Than Significant Impact – *The City of Escondido Greenhouse Gas Emissions Adopted CEQA Thresholds and Screening Tables* document provides guidelines on how to analyze GHG emissions and determine the significance of those emission during CEQA review of proposed projects within the City. Project that emits less than 2,500 MT CO₂e annually during construction or operation would not result in a potentially significant impact. The proposed development would generate GHGs from a variety of sources. Construction of the project would result in temporary emissions of GHG from the operation of construction equipment and from worker and building supply vendor vehicles. Once fully operational, the development's operations would generate GHG emissions from both area sources and mobile sources. Indirect source emissions associated with the proposed uses include electrical consumption, water and wastewater usage (transportation), and solid waste disposal. Mobile (direct) sources of air pollutants associated with the project would consist of motor vehicles trips to and from the site. Due to the short-term and phased nature and relatively low intensity of project construction, construction-related GHG emissions generated by this project are anticipated to be well below the screening level threshold of 2,500 MT CO₂e established by the City of Escondido. Based on a review of Appendix B of the City of Escondido Greenhouse Gas Emissions Adopted CEQA Thresholds and Screening Tables document, it is concluded that the GHG emissions generated by the project would not exceed 2,500 MT CO₂e per year. Thus, the GHG emissions attributable to the project would be less than significant.

Vehicle Emissions - Vehicular emissions are the greatest contributor to GHG emissions. Individual projects of this type and nature (religious and public assembly) do not have direct control over the types of vehicles or emission/fuel standards that would result from the proposed development. However, GHG emissions related to the project would be reduced by up to 36 percent by the year 2020 through a combination of compliance/implementation of state-wide and federal programs/regulations on vehicle engine and fuel technologies. Efforts to reduce transportation emissions by reducing vehicle miles traveled (VMT) on a regional level are anticipated to come from policies related to changes in future land use patterns and community design, as well as through improvements in public transportation. By reducing miles vehicles travel, vehicle emissions would be reduced. Because of the limited number of vehicle trips (especially non-peak hour trips) that would be produced by the project on the area circulation network, the project is not anticipated to increase local vehicle trip lengths sufficient enough to increase the average regional trip length, as defined in the CARB Business-As-Usual (BAU) 2020 Forecast used to develop the regulations to reduce vehicle GHG emissions. Therefore direct and indirect impacts on statewide, regional or area-wide vehicular GHGs would not be considered significant.

- a. *Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?*
- b. *Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?*
- c. *Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?*
- d. *Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?*

No Impact - Due to the nature of the proposed development, the project would not result in any associated impacts related to hazardous emissions or the handling of hazardous or acutely hazardous materials, substances or wastes. Use and/or storage of hazardous materials at the project site are expected to be minimal and would not constitute a level that would be subject to regulation. The project site is not located on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 (the Cortese List). Any development of the project site would be required to comply with all applicable Fire, Building, and Health and Safety Codes, which would eliminate any potential risk of upset. The site is not located within a 100-year floodplain. Therefore, the project will not create a significant risk of upset or hazard to human health and safety.

- e. *For a project located within an airport land-use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in safety hazard for people residing or working in the project area?*
- f. *For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?*

The project is not located within an airport land-use plan, an airport land-use plan that is to be adopted, or within 2 miles of a public airport. The project also is not located within the vicinity of a private airstrip and would not result in a safety hazard for people residing or working in the project area. Therefore, the project would not result in any associated impacts related to safety hazards for people residing or working in the project area.

- g. *Impair implementation of, or physically interfere with, an adopted emergency response plan or emergency evacuation plan?*

The project does not include activities or structures that would impair implementation of, or physically interfere with, an emergency response plan. The proposed development is not expected to result in the need for additional emergency and fire facilities. Any development of the site would be required to comply with all applicable Fire, Building, and Health and Safety Codes. The Police and Fire Department indicated the proposed project would not impact service levels.

- h. *Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?*

No Impact - The subject site is developed as a religious facility and is not adjacent to a wildland fire area. Therefore, the project does not involve the development of structures that would expose people or structures to a significant risk of wildland fires.

IX. HYDROLOGY AND WATER QUALITY

Significance Criteria and Impact Analysis

The effects of a project on hydrology and water quality are considered to be significant if the proposed project would:

- a. *Violate any water quality standards or waste discharge requirements, including but not limited to increasing pollutant discharges to receiving waters (Consider temperature, dissolved oxygen, turbidity and other typical storm water pollutants)?*
- b. *Have potentially significant adverse impacts on ground water quality, including but not limited to, substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?*
- c. *Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river in a manner which would result in substantial/increased erosion or siltation on- or off-site?*
- d. *Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site and/or significant adverse environmental impacts?*
- e. *Cause significant alteration of receiving water quality during or following construction?*
- f. *Cause an increase of impervious surfaces and associated runoff?*
- g. *Create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff?*
- h. *Cause potentially significant adverse impact on ground water quality?*
- i. *Cause or contribute to an exceedance of applicable surface or ground water receiving water quality objectives or degradation of beneficial uses?*
- j. *Is the project tributary to an already impaired water body, as listed on the Clean Water Act Section 303(d) list? If so, can it result in an increase in any pollutant for which the water body is already impaired?*
- k. *Otherwise substantially degrade water quality?*

Less Than Significant Impact - The project site currently is developed with religious facility and paved parking. The project site generally consists of level terrain and generally drains to existing public/private storm drain facilities, and as minor overland flow. No changes to the overall drainage patterns and directions would occur as a result of the proposed project. Any potential project related impacts from construction activities would be avoided or reduced below a level of significance through conformance with existing NPDES, City storm water standards and storm water design requirements (SUSMP). Therefore, future project implementation would result in a less than significant impacts related to runoff rates/amounts, associated flooding, hydromodification, or the capacity of existing/planned storm drain systems.

Water service to the site currently is provided by Rincon del Diablo Municipal Water District, and the project would not withdraw groundwater or otherwise substantially interfere with long-term groundwater recharge or the groundwater table level. Therefore, the proposed project would not result in any significant impacts to hydrology or water quality; result in a significant increase in runoff from the site; or adversely impacts surface water beneficial uses, water quality objectives, or 303(d) impaired water listings.

- k. *Create or exacerbate already existing environmentally sensitive areas?*
- l. *Create potentially significant environmental impact on surface water quality, to either marine, fresh, or wetland waters?*
- m. *Impact aquatic, wetland or riparian habitat?*

No Impact - As described in Section VII, Biological Resources, the proposed development would not affect any environmentally sensitive areas or aquatic/riparian/wetland habitats. The subject area proposed for development is outside the City of Escondido Focused Planning Areas as indicated on the MHCP maps. No conflicts with the provisions of the MHCP are expected.

- o. Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?*
- p. Place within a 100-year flood hazard area structures which would impede or redirect flood flows?*
- q. Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?*
- r. Inundation by seiche, tsunami, or mudflow?*

No Impact - The project site is located outside the 100-year flood zone with no associated mapped 100-year floodplains occurring locally in the SanGIS database or on Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRMs). Therefore, no structures would impede or redirect flood flows. The project site and surrounding area are not located within a mapped dam inundation area associated with the upstream Lake Wohlford and Dixon Reservoir containment structures/reservoirs (General Plan 2012). Based on the location of the proposed project approximately 12 miles inland, no significant impacts related to tsunamis would result. No significant impacts related to seiches and associated flood hazards are anticipated to occur given the distance from the existing Lake Wohlford and Dixon Reservoirs, and channelization/improvement of Reidy Creek within the area. The project site and surrounding properties either are developed and/or landscaped with ornamental or native vegetation, and therefore the site is not subject to any anticipated mudflows.

XI. MINERAL RESOURCES

Significance Criteria and Impact Analysis

The effects of a project on mineral resources are considered to be significant if the proposed project would:

- a. *Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?*
- b. *Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan, or other land-use plan?*

The subject site and adjacent properties have been previously developed. These properties are not known to contain any known mineral deposits of value. No known locally important mineral resource recovery sites delineated on a local general plan, specific plan or other land-use plan are present within the project site or surrounding area.

XII. NOISE

Significance Criteria and Impact Analysis

The effects of a project on noise are considered to be significant if the proposed project would result in:

- a. *Exposure of persons to, or generation of, noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?*
- b. *Exposure of persons to, or generation of, excessive groundborne vibration or groundborne noise levels?*
- c. *A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?*
- d. *A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?*

Less than Significant Impact - Existing ambient noise within the area primarily is generated from the traffic along the adjacent roadways (North Broadway and Vista Avenue) and from the various residential and non-residential activities throughout the immediate area. The subject site is developed as a religious facility that contains a variety of active and passive uses. The site also is located next to two schools that contain outdoor play fields. Residential uses are considered sensitive to noise. The closest noise sensitive use to the church are existing residential homes located south of the property, and further east adjacent to the Calvin Elementary School. An apartment complex also is located west of the site across North Broadway. Operation of the new sanctuary building and classrooms is not anticipated to result in any significant noise impacts to the adjacent residential uses since all services and activities generally would be conducted within a completely enclosed building(s), and also due to the distance of the new sanctuary building in relation to the existing residential developments. Outdoor spaces generally have been oriented within the center of the site or would be buffered from adjacent residential uses by existing buildings or architectural features to reduce the potential for any noise conflicts. The proposed project does not include any components that would result in excessive groundborne vibration.

Construction Noise

Noise impacts from construction are a function of the noise generated by the construction equipment, the location and sensitivity of nearby land uses, and the timing and duration of the noise-generating activities. Noise levels within and adjacent to the specific construction sites would increase during the construction

XIV. PUBLIC SERVICES

Significance Criteria and Impact Analysis

The effects of a project on public services are considered to be significant if the proposed project would:

- a. *Result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:*

No Impact- The project site is developed as a religious facility and implementation of the proposed project would result in additional buildings to accommodate the range of uses offered by the church. The proposed project would not result in a need to provide additional park or open space amenities since the project would not increase population within the surrounding area. Therefore, no significant impact to recreational resources would occur as a result of project. SDG&E would provide electric facilities to the project. The proposed project would not result in substantial adverse physical impacts associated with the provision of new or physically altered SDG&E facilities. The new buildings would create an incremental increase in demand for electricity over existing levels, but the project increase in not

XVI. TRANSPORTATION/TRAFFIC

Significance Criteria and Impact Analysis

The effects of a project on transportation and traffic are considered to be significant if the proposed project would:

- a. Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit.
- b. Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measure, or other standards established by the county congestion management agency for designated roads or highways
- c. Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?
- d. *Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?*
- e. *Result in inadequate emergency access?*
- f. *Conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., bus turnouts, bicycle racks)?*

Less Than Significant Impact - The Engineering Division indicated the proposed project and anticipated increase in traffic generated by the new sanctuary building (approx. 70 weekday trips and 279 trips during primary days of service) would not result in any adverse impacts to the local street segments or intersections. The anticipated traffic is based on the increase in sanctuary area (approx. 7,750 SF) above the existing sanctuary area that would be converted to another use. North Broadway currently operates at a Level-of-Service (LOS) "A," and Vista Avenue (*Broadway to Ash*) operates at a LOS "B" within the City and "C" within the County. The intersection of Broadway/Ash, which is signalized, operates at LOS "B" in the a.m. peak hours and "A" during p.m. peak hours. The primary increase in trips associated with the sanctuary would be on days of worship/service, which generally are on the weekends during non-peak days and hours. The proposed project would not conflict with any applicable plan, ordinance, or policy related to traffic/circulation and, therefore, impacts would be less than significant. The project would be conditioned to implement a traffic management plan as part of the terms of the Conditional Use Permit to reduce potential conflicts during school and service peak time/days.

Construction Traffic – Temporary traffic impacts would occur during site preparation and construction activities. Due to the nature of the project, the Engineering Division indicated additional trips are anticipated to be minimal. Construction traffic typically occurs during the off-peak hours. Therefore, impacts to LOS during temporary construction would be less than significant.

Design Features/Hazards/Emergency Access – The project does not include any design features or incompatible uses that would substantially increase hazards.

