

CITY OF ESCONDIDO

Planning Commission and Staff Seating



A. CALL TO ORDER: 7:00 p.m.

B. FLAG SALUTE

C. ROLL CALL:

D. MINUTES: 03/25/14

E. SELECTION OF COMMISSIONER TO FILL SHORT (2 YR) TERM

The Brown Act provides an opportunity for members of the public to directly address the Planning Commission on any item of interest to the public before or during the Planning Commission's consideration of the item. If you wish to speak regarding an agenda item, please fill out a speaker's slip and give it to the minutes clerk who will forward it to the chairman.

Electronic Media: Electronic media which members of the public wish to be used during any public comment period should be submitted to the Planning Division at least 24 hours prior to the meeting at which it is to be shown.

The electronic media will be subject to a virus scan and must be compatible with the City's existing system. The media must be labeled with the name of the speaker, the comment period during which the media is to be played and contact information for the person presenting the media.

The time necessary to present any electronic media is considered part of the maximum time limit provided to speakers. City staff will queue the electronic information when the public member is called upon to speak. Materials shown to the Commission during the meeting are part of the public record and may be retained by the City.

The City of Escondido is not responsible for the content of any material presented, and the presentation and content of electronic media shall be subject to the same responsibilities regarding decorum and presentation as are applicable to live presentations.

If you wish to speak concerning an item not on the agenda, you may do so under "Oral Communications" which is listed at the beginning and end of the agenda. All persons addressing the Planning Commission are asked to state their names for the public record.

Availability of supplemental materials after agenda posting: any supplemental writings or documents provided to the Planning Commission regarding any item on this agenda will be made available for public inspection in the Planning Division located at 201 N. Broadway during normal business hours, or in the Council Chambers while the meeting is in session.

The City of Escondido recognizes its obligation to provide equal access to public services for individuals with disabilities. Please contact the A.D.A. Coordinator, (760) 839-4641, with any requests for reasonable accommodation at least 24 hours prior to the meeting.

**The Planning Division is the coordinating division for the Planning Commission.
For information, call (760) 839-4671.**

E. WRITTEN COMMUNICATIONS:

"Under State law, all items under Written Communications can have no action, and will be referred to the staff for administrative action or scheduled on a subsequent agenda."

1. Future Neighborhood Meetings

F. ORAL COMMUNICATIONS:

"Under State law, all items under Oral Communications can have no action, and may be referred to the staff for administrative action or scheduled on a subsequent agenda."

This is the opportunity for members of the public to address the Commission on any item of business within the jurisdiction of the Commission.

G. PUBLIC HEARINGS:

Please try to limit your testimony to 2-5 minutes.

1. CONDITIONAL USE PERMIT – PHG 14-0008:

REQUEST: A Conditional Use Permit to allow four dogs on an approximately 7,000 SF residential lot in the R-1-6 zone (Single-family Residential – 6,000 SF minimum lot size) where the Escondido Zoning Code would otherwise allow two dogs. The proposal also includes the adoption of the environmental determination prepared for the project

PROPERTY LOCATION: The property is located on the northern side of Hillward Street where it joins Scott Way, addressed as 620 Hillward Street.

ENVIRONMENTAL STATUS: The proposed project is categorically exempt from environmental review in conformance with CEQA Section 15061(b)(3), "General Rule."

APPLICANT: E. Dale Franks Jr.

STAFF RECOMMENDATION: Approval

COMMISSION ACTION:

PROJECTED COUNCIL HEARING DATE:

2. [MODIFICATION TO A CONDITIONAL USE PERMIT – PHG 13-0010:](#)

REQUEST: A modification of the Conditional Use Permit for the Meadowbrook Village retirement community to increase the number of semi-independent living units, revise the previously approved mix of unit types and add three standby emergency generators. The project proposes a 3-story apartment building of 66 units (net increase of 54 units) and one 400 kW and two 500 kW standby emergency diesel generators. The proposal also includes the adoption of the environmental documentation prepared for the project.

PROPERTY SIZE AND LOCATION: 25± acres located between N. Iris Lane and N. Broadway, south of Village Road, addressed as 100 Holland Glen.

ENVIRONMENTAL STATUS: A Mitigated Negative Declaration ER 2002-25 for the Meadowbrook Care Facility and retirement community was issued on December 31, 2003. In accordance with CEQA Section 15164, an addendum to the Mitigated Negative Declaration has been prepared. No additional public review is necessary because the proposed conditional use permit modification does not include any changes to the approved project that would create new significant effects that have not already been considered in the previous environmental review and no new mitigation measures or revisions to the adopted mitigation measures to the previous Mitigated Negative Declaration are necessary.

APPLICANT: Brent Cooper, Meadowbrook Village

STAFF RECOMMENDATION: Approval

COMMISSION ACTION:

PROJECTED COUNCIL HEARING DATE:

3. [CONDITIONAL USE PERMIT – PHG 14-0011:](#)

REQUEST: A Conditional Use Permit to allow the installation, operation, and maintenance of a new Wireless Communication Facility mounted onto a new 71-foot high light pole located next to the baseball field in Jesmond Dene Park. The proposed facility consists of 6 panel antennas and one four foot in diameter microwave dish, along with the construction of an equipment building to house associated mechanical equipment, electrical cabinets, and a 30 kW emergency backup generator. The proposal also includes the adoption of the environmental determination prepared for the project.

PROPERTY LOCATION: Jesmond Dene Park is located on the southwestern corner of North Broadway and Jesmond Dene Road, addressed as 2401 N. Broadway.

ENVIRONMENTAL STATUS: The proposed project is categorically exempt from environmental review in conformance with CEQA Section 15303, "New Small Facilities and Structures."

APPLICANT: Verizon Wireless

STAFF RECOMMENDATION: Approval

COMMISSION ACTION:

PROJECTED COUNCIL HEARING DATE:

H. CURRENT BUSINESS:

Note: Current Business items are those which under state law and local ordinances do not require either public notice or public hearings. Public comments will be limited to a maximum time of three minutes per person.

I. ORAL COMMUNICATIONS:

"Under State law, all items under Oral Communications can have no action and may be referred to staff for administrative action or scheduled on a subsequent agenda."

This is the opportunity for members of the public to address the Commission on any item of business within the jurisdiction of the Commission.

J. PLANNING COMMISSIONERS

K. ADJOURNMENT

CITY OF ESCONDIDO

**MINUTES OF THE REGULAR MEETING OF THE
ESCONDIDO PLANNING COMMISSION**

March 25, 2014

The meeting of the Escondido Planning Commission was called to order at 7:04 p.m. by Vice-chairman McQuead in the City Council Chambers, 201 North Broadway, Escondido, California.

Commissioners present: Bob McQuead Vice-Chairman; James Spann, Commissioner; Merle Watson, Commissioner; and Guy Winton, Commissioner.

Commissioners absent: Jeffery Weber, Chairman; and Gregory Johns, Commissioner.

Staff present: Bill Martin, Principal Planner; Jay Petrek, Assistant Planning Director; Owen Tunnell, Principal Engineer; Kristina Owens, Associate Planner; and Gary McCarthy, Senior Deputy City Attorney.

MINUTES:

Moved by Commissioner Watson, seconded by Commissioner Spann to approve the minutes of the March 11, 2014, meeting. Motion carried. Ayes: Spann, McQuead, Watson. Noes: None. Abstained: Winton (3-0-1)

WRITTEN COMMUNICATIONS – Received.

FUTURE NEIGHBORHOOD MEETINGS – None.

ORAL COMMUNICATIONS – None.

PUBLIC HEARINGS:

**1. TENTATIVE SUBDIVISION MAP AND CONDOMINIUM PERMIT –
SUB 12-0014:**

REQUEST: A request for a one-lot Tentative Subdivision Map and a Condominium Permit for the development of eleven affordable condominium units by San Diego Habitat for Humanity on two parcels totaling 0.96-acre in the R-3-18 (Multi-family residential, 18 units per acre maximum) zone. The units all would be two-story with 1,330 SF and three bedrooms. One unit would be a

detached, disabled-accessible unit and the remaining ten units would be arranged as attached duplexes. Each unit would have a private fenced yard and would take access from a new, private, one-way access drive from Elm Street. Twenty-three on-site parking spaces would be provided for residents and guests, including handicap accessible spaces, and 11 covered spaces for residents. The project also involves a request for Density Bonus provisions as permitted by State law, including a reduced parking ratio and a reduction in the front-yard and side-yard setbacks for two parking spaces. The proposal also includes the adoption of the environmental determination prepared for the project.

LOCATION: Approximately 0.96 acre located on the western side of Elm Street, between Washington Avenue and the Escondido Creek, addressed as 537 North Elm Street.

Jay Petrek, Assistant Planning Director, referenced the staff report and noted staff issues were whether the proposed project conformed to the requirements of the R-3 zone and the Zoning Code, including parking, design, open space and requirements for construction of new condominium units. Staff recommended approval based on the following: 1) The proposed development meets all standards of the R-3 zone, including building height, setbacks, density, open space and parking, with the exception of the incentives requested and permitted through State Density Bonus law. The proposed project was also consistent with the standards of the Condominium Ordinance, which should ensure that the units have features available in owner-occupied units, and ensure the viability of the project; and 2) The project proposes minor variations to Zoning Code provisions through the State Density Bonus law, including a setback reduction for parking spaces and a reduction in the number parking spaces provided. Staff felt adequate parking will be provided on the site and there will be no adverse impact on the project with the parking and setback reductions.

Commissioner Winton questioned whether the off-site duplexes adjacent to the ingress driveway for the site would have access easements to circulate through the rest of the project site. Mr. Petrek answered in the negative noting those off-site residents could continue to exit their driveways to Elm Street as they do currently.

Commissioner Spann and Mr. Tunnell discussed the status of the overhead utilities on Elm Street and the potential for undergrounding. Commissioner Spann noted he did not like overhead utilities and supported undergrounding when feasible.

Lori Holt Pfeiler, San Diego Habitat for Humanity, applicant, stated that Habitat for Humanity was excited to start this excellent neighborhood infill project and that they were committed to the neighborhood.

ACTION:

Moved by Commissioner Spann, seconded by Commissioner Winton, to approve staff's recommendation. Motion carried unanimously. (4-0)

2. CONDITIONAL USE PERMIT – PHG 13-0045:

REQUEST: A Conditional Use Permit to allow the installation, operation, and maintenance of a new unmanned wireless communication facility mounted to a replacement 71-foot high light standard located next to the baseball field in Mountain View Park. The proposed facility consists of three (3) sectors of two (2) antennas each, (6 total), and one four-foot diameter microwave dish. A new mechanical equipment enclosure would be constructed to house Verizon's telephone equipment and a 10 kW emergency generator. The proposal also includes the adoption of the environmental determination prepared for the project.

LOCATION: 24.15-acre parcel located on the eastern side of Citrus Avenue, addressed as 1160 South Citrus Ave.

Bill Martin, Principal Planner, referenced the staff report and noted staff issues were whether the design and location of the proposed facility would be appropriate for the site and consistent with the Wireless Facility Guidelines and whether the proposal would be consistent with the Zoning Code standards for standby generators. Staff recommended approval based on the following: 1) The proposed wireless facility was consistent with the Communication Antennas Ordinance since it would meet the requirements of the Open Space-Park zone; the antennas would be located on a light standard and painted to match the pole, and all equipment would be housed inside a newly constructed equipment building designed to match other park buildings; 2) The proposed 10 kW emergency diesel generator would not create any adverse visual, noise, or air-quality impacts since it would be located within an enclosed equipment building and away from residential properties. The generator was for emergency use only during power outages and would be tested only once a month for maintenance purposes and only between the hours of 7:00 am and 5:00 pm.; and 3) Staff felt the proposed facility would not result in a potential health hazards to people in the area since the Radio Frequency (RF) study prepared for the proposed project indicates the facility would be within maximum permissible exposure (MPE) limits

and Federal Communication Commission (FCC) radio frequency emission standards

Commissioner Winton requested a clarification regarding the way Citrus Avenue was drawn on the map versus the aerial photograph.

Connie Howes, Escondido, noted she lived in close proximity to the park and was concerned about potential health effects due to exposure to microwave radiation, particularly with respect to the children playing in the park. Mr. Martin responded that the RF Study prepared for the project indicated the proposed facility would generate less than 1% of the allowable FCC standard for radio frequency at ground level.

ACTION:

Moved by Commissioner Watson, seconded by Commissioner Spann, to approve staff's recommendation. Motion carried unanimously. (4-0)

CURRENT BUSINESS: None.

ORAL COMMUNICATIONS: None.

PLANNING COMMISSIONERS: No comments.

ADJOURNMENT:

Vice-chairman McQuead adjourned the meeting at 7:29 p.m. The next meeting was scheduled for April 8, 2014, at 7:00 p.m. in the City Council Chambers, 201 North Broadway, Escondido, California.

Bill Martin, Secretary to the Escondido
Planning Commission

Ty Paulson, Minutes Clerk

PLANNING COMMISSION

Agenda Item No.: G.1

Date: April 8, 2014

CASE NUMBER: PHG 14-008

APPLICANT: E. Dale Franks Jr. and Christine M. Johnson

LOCATION: The property is located on the northern side of Hillward Street where it joins Scott Way, addressed as 620 Hillward Street.

TYPE OF PROJECT: Conditional Use Permit

PROJECT DESCRIPTION: A Conditional Use Permit to allow four dogs on an approximately 7,000 SF residential lot in the R-1-6 zone (Single-family Residential – 6,000 SF minimum lot size) where the Escondido Zoning Code would otherwise allow two dogs. The proposal also includes the adoption of the environmental determination prepared for the project.

STAFF RECOMMENDATION: Approval

GENERAL PLAN DESIGNATION: Urban I (up to 5.5 dwelling units per acre)

ZONING: R-1-6 (Single-family Residential – 6,000 SF minimum lot size)

BACKGROUND/SUMMARY OF ISSUES: The 7,000 SF site has one residence and is located in an established residential neighborhood with similar-sized residential properties on all sides. Section 33-1116(e) of the Zoning Code permits up to two adult dogs on properties in the R-1 zone that are less than 10,000 SF in size. However, that section also allows a residence on these properties to have up to four adult dogs with the approval of a Conditional Use Permit. The applicants have four adult dogs and are requesting a Conditional Use Permit to increase the permitted number of dogs on the subject site from two to four. The request is in response to a pending code enforcement action related to the number of dogs living on the property.

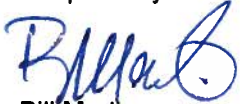
Staff feels that the issue is as follows:

1. The appropriateness of allowing four dogs on the site.

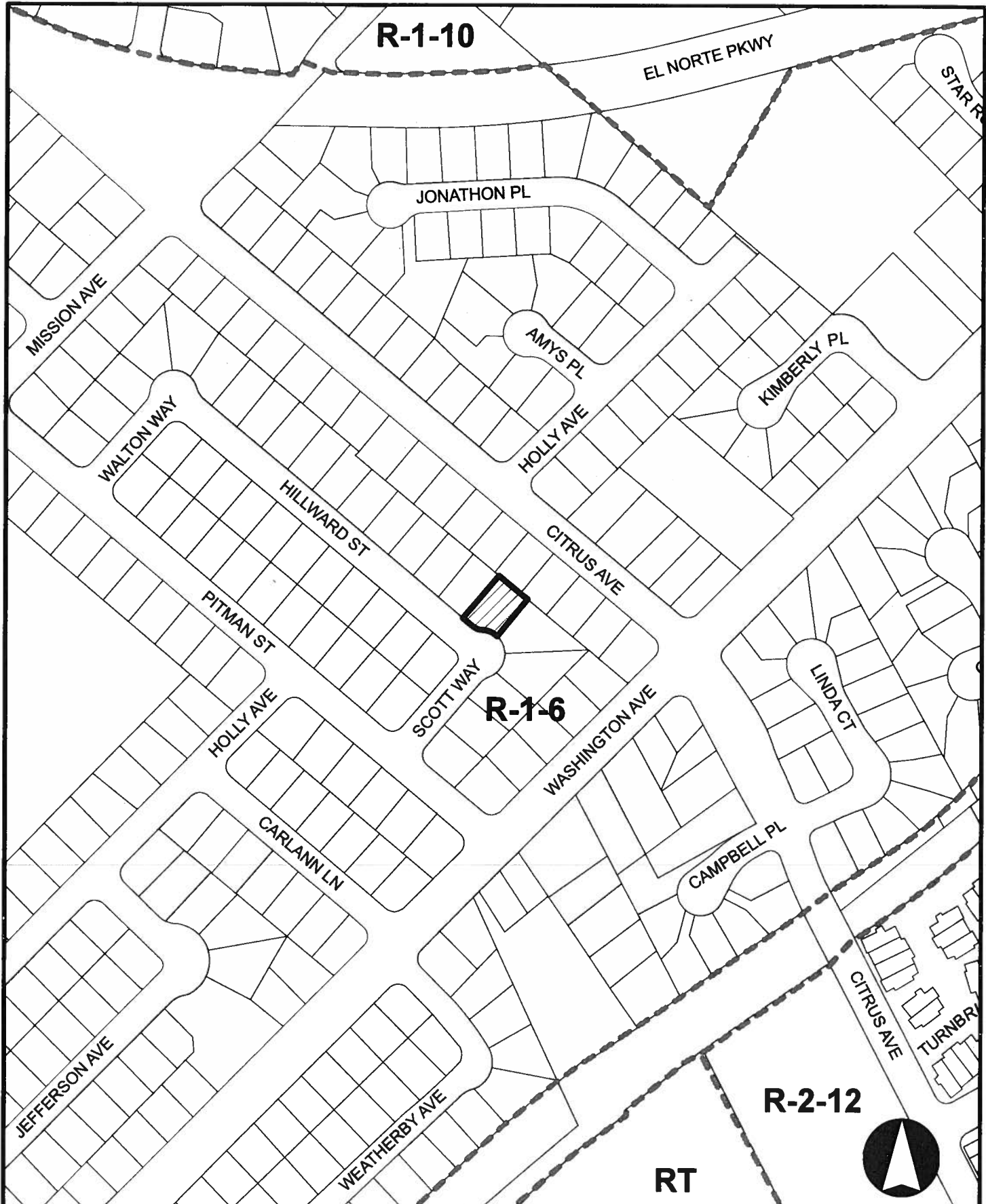
REASON FOR STAFF RECOMMENDATION:

1. Staff feels the request to increase the number of dogs permitted on the site is appropriate, since the dogs appear to be well-maintained, there is sufficient yard area to reasonably accommodate the dogs, the yard has perimeter fencing, and an indoor area is provided to secure the dogs each night. In addition, residents on all of the adjacent properties have signed forms in support of allowing the applicants to keep four dogs.

Respectfully Submitted,

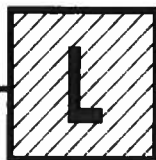


Bill Martin
Principal Planner



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PROPOSED PROJECT
PHG 14-0008



LOCATION/ZONING

S

EL NORTE PKWY

STAR R

JONATHON PL

AMYS PL

KIMBERLY PL

MISSION AVE

WALTON WAY

HOLLY AVE

HILLWARD ST

CITRUS AVE

U1

PITMAN ST

SCOTT WAY

WASHINGTON AVE

LINDA CT

HOLLY AVE

CARLANN LN

CAMPBELL PL

CITRUS AVE

U2

JEFFERSON AVE

WEATHERBY AVE



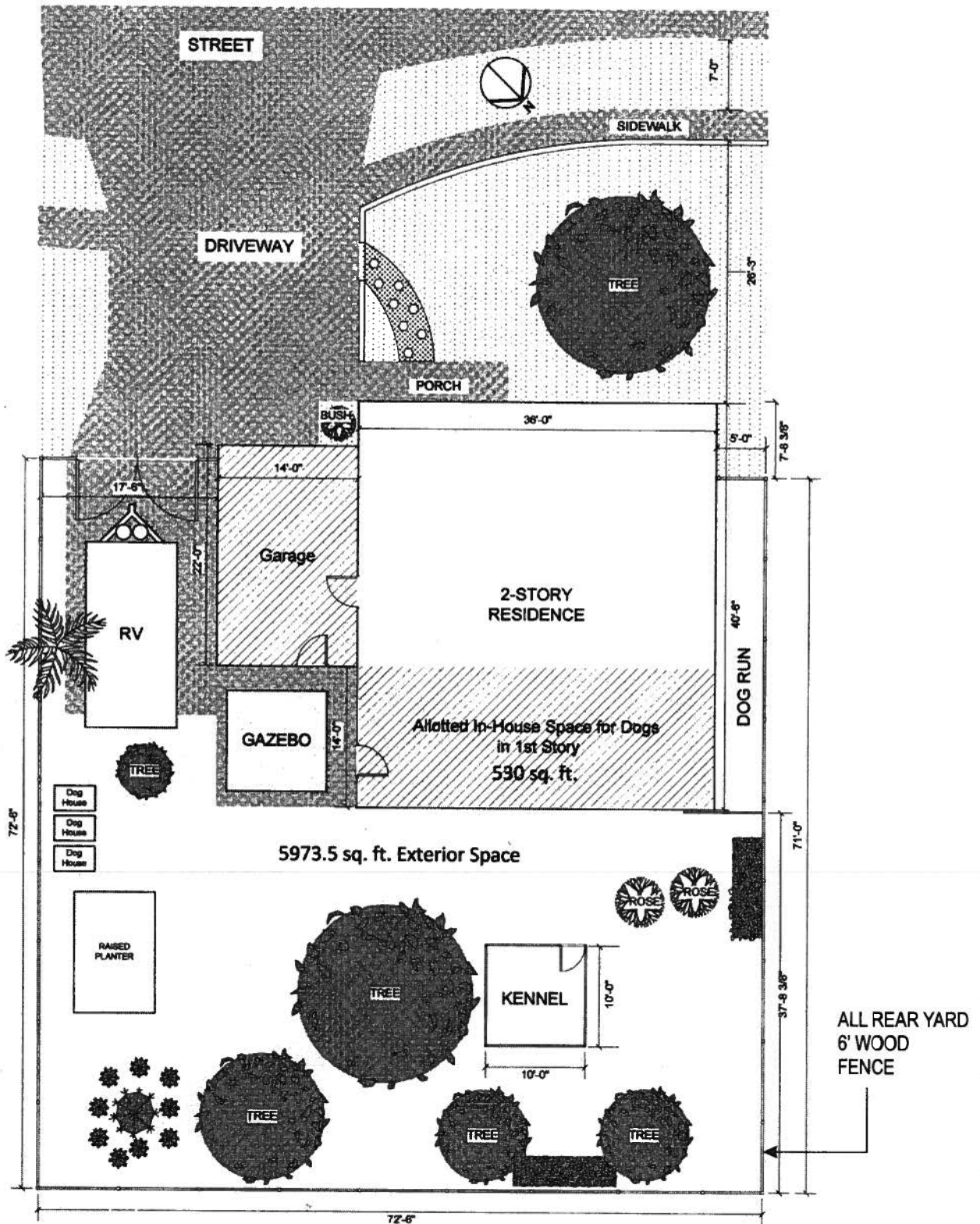
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PROPOSED PROJECT
PHG 14-0008



GENERAL PLAN

Site Plan: 620 Hillward St.



**PROPOSED PROJECT
PHG 14-0008**



SITE PLAN

ANALYSIS

A. LAND USE COMPATIBILITY/SURROUNDING ZONING

NORTH – R-1-6 (Single-family Residential - 6,000 SF minimum lot size) zoning– Single-family residences on lots approximately 6,000 SF to 7,500 SF in size.

SOUTH – R-1-6 zoning– Single-family residences on lots approximately 6,000 SF to 7,500 SF in size.

EAST - R-1-6 zoning– Single-family residences on lots approximately 6,000 SF to 7,500 SF in size.

WEST - R-1-6 zoning– Single-family residences on lots approximately 6,000 SF to 7,500 SF in size.

B. AVAILABILITY OF PUBLIC SERVICES

1. **Effect on Police Service** – The Police Department has expressed no concern regarding their ability to continue to provide service to the site.
2. **Effect on Fire Service** – The site is served by Fire Station No. 2, located at 421 N. Midway, which is within the response time mandated by the General Plan. The Escondido Fire Department has expressed no concern regarding its ability to continue to provide service to the site.
3. **Traffic** – The site has frontage on and access directly from Hillward Street, an unclassified residential street in the City's General Plan Circulation Element. No additional ADTs (Average Daily Trips) would be generated as a result of the proposed Conditional Use Permit. The Engineering Division has indicated that the CUP would not materially degrade the levels of service of the adjacent streets.
4. **Utilities** – Sewer and water mains with sufficient capacity to serve the project are available and existing within the adjoining street or easement. The proposed CUP would not materially degrade the levels of service of the public sewer and water system, as neither system would be impacted.
5. **Drainage** – The project site is not located within a 100-year Flood Zone as indicated on current FEMA maps. There are no significant drainage courses within or adjoining the property. The project does not materially degrade the levels of service of the existing drainage facilities.

C. ENVIRONMENTAL STATUS

1. A Notice of Exemption was issued on March 31, 2014, in accordance with CEQA Section 15061(b)(3), "General Rule."
2. In staff's opinion, no significant issues remain unresolved through compliance with code requirements and the recommended conditions of approval.
3. The project will have no impact on fish and wildlife resources as no sensitive or protected habitat will be impacted by the proposed development.

D. CONFORMANCE WITH CITY POLICY/ANALYSIS

General Plan

The General Plan land use designation on the site is Urban I, which allows for single-family residential development with a 6,000 SF minimum lot size and a maximum density of 5.5 dwelling units per acre. The proposed Conditional Use Permit (CUP) would be consistent with the General Plan designation, since a single-family residence is permitted in the Urban I designation, and household pets are allowed as an accessory use to a residence.

The Appropriateness of Allowing Four Dogs on the Site

Escondido Zoning Code Section 33-1116(e) allows two dogs to be kept on each parcel in the R-1 zone that is less than 10,000 SF in size. The code also allows the number of permitted dogs to be increased to four with a Conditional Use Permit. The applicants indicate that they have four dogs on the property and are requesting a Conditional Use Permit (CUP).

This request is in response to a code enforcement action regarding the number of dogs currently maintained on the property. One written complaint, which addressed the number of dogs on the site and alleged some were unlicensed, was received by the Code Enforcement Division approximately eight months ago. There have been no other complaints. The Escondido Humane Society has indicated that all four dogs have current licenses and they have no pending complaints at the property regarding barking, loose dogs, etc. The Code Enforcement Division has verified this information and notified Planning staff that they do not object to the proposed CUP.

The applicant's dogs could be considered large breed dogs and include three Cane Corso (Italian mastiff) and one boxer. They live on a residential property that is approximately 7,000 SF in size and is located in an established neighborhood. The applicants obtained two of the dogs in 2007 and bred the purebred Italian Mastiff female once in 2010 before spaying her. That litter was unusually large for a large-breed dog and they were only able to find good homes for eight of the ten puppies. They decided to keep the other two puppies unaware that the City's zoning regulations limited them to two dogs. They say they never intended to have four dogs, and have indicated they will not breed a dog again. The applicants have noted they do not have any children or other family in the area and that the dogs are essentially their surrogate children. The dogs stay mainly inside the house in a 530 SF family room at the back of the home where they have their own furniture for lounging. All four dogs also sleep in this area each night. The dogs are in and out of the house all day through a doorway to the backyard and are generally supervised at all times because one of the owners has a home-based business. The 3,560 SF backyard is completely fenced with a six-foot high wood fence and includes several shade trees, a fenced kennel area, three large dog houses, and multiple water containers that are changed on a daily basis. A letter received from Mohnacky Animal Hospitals, Inc. states they have cared for the applicant's dogs since 2007 and that the dogs are well behaved and the applicants take very good care of their animals.

The applicants have had four dogs on the property for the last four years with only one known complaint. The complaint alleged only that there were four dogs on the property and did not assert the dogs were barking, vicious, unrestrained or otherwise bothersome. The applicants have submitted signed forms from all eight of their adjoining neighbors stating that they are aware the applicants have four dogs and they support the proposed CUP that would allow them to keep the dogs. Public notices for the Planning Commission hearing were mailed to 117 neighboring property owners within a 500-foot radius of the subject property. Staff did not receive any phone calls, letters or emails in response to the notification. Staff feels that approving the request for a Conditional Use Permit to allow four dogs is appropriate since there is adequate room in the fenced yard and the residence for the dogs, there have been no complaints related to the dog's behavior, and the eight immediately adjacent neighbors and the dogs' veterinarian support the owner's request to have four dogs on the site.

SUPPLEMENT TO STAFF REPORT/DETAILS OF REQUEST

A. PHYSICAL CHARACTERISTICS

The site is located on the northern side of Hillward Street where the street forms a 90-degree bend with Scott Way. It is located in an established residential neighborhood and is surrounded by single-family residences on similar sized parcels. The property is level and contains a two-story residence with approximately 3,760 square feet of backyard and side yard areas that are completely fenced for the dogs. The backyard includes a 100 SF shaded, chain-link kennel, individual dog houses, several shade trees, a gazebo, RV storage area, and a raised garden box.

B. SUPPLEMENTAL DETAILS OF REQUEST

1. Property Size: Approximately 7,000 SF
2. Size of Rear Yard: Approximately 3,560 SF, plus a separate 200 SF fenced dog run on side yard.
3. Fencing: Rear yard and side yards surrounded by six-foot-high wood fence.
4. Indoor Dog Area: Approximately 530 SF family room at rear of residence used by dogs as day area and also for sleeping at night.
5. Number of Adult Dogs: Four
6. Name/Type of dogs:
Contessa – Cane Corso, Female, 86 lbs., 8 years old.
Titus – Cane Corso, Male, 92 lbs., 4 years old.
Lucius – Cane Corso, Male 86 lbs., 4 years old.
Apollo – Boxer, Male, 65 lbs., 8 years old.

**FINDINGS OF FACT
PHG 14-0008
EXHIBIT "A"**

Conditional Use Permit

1. Granting this Conditional Use Permit is based on sound principles of land use since the indoor and fenced outdoor areas available for the dogs are large enough to accommodate up to four dogs. Appropriate perimeter fencing exists to adequately contain the dogs within the property boundaries.
2. Allowing four dogs on the subject property would not cause a deterioration of bordering land uses or create special problems in the area since keeping dogs is an allowed accessory use within the R-1 zone, and the rear yard is of sufficient size to accommodate up to four dogs. In addition, the property is surrounded by a six-foot-high fence and the dogs spend a significant amount of time indoors.
3. The proposed Conditional Use Permit has been considered in relationship to its effect on the neighborhood and it has been determined that although a complaint had been received regarding the number of dogs on the property, approval of the CUP would not result in a negative impact to the adjacent neighborhood due to the fact that the complaint did not relate to barking, roaming, or any other behavior that could be determined to be detrimental to the neighborhood. In addition, all eight of the adjoining neighbors have signed forms in support of the dogs and the four dogs have been together on the property for the last four years within a fenced yard and the large indoor area dedicated to them.

**CONDITIONS OF APPROVAL
PHG 14-0008
EXHIBIT "B"**

Planning Division Conditions

1. Any proposed or future construction shall comply with all applicable requirements of the Escondido Zoning Code and requirements of the Planning Division, Building Division, and Fire Department.
2. The legal description attached to the application has been provided by the applicant and neither the City of Escondido nor any of its employees assume responsibility for the accuracy of said legal description.
3. This CUP shall become null and void unless utilized within twelve months of the effective date of approval.
4. All noise generated from the property shall comply with the City's Noise Ordinance (Ord. 90-08) to the satisfaction of the Planning Division.
5. The Conditional Use Permit allows no more than four adult dogs to live on the premises at any time.
6. The owner shall be required to maintain current licenses for all dogs on the premises.
7. All uses shall be consistent with the details of Request and Conditions of Approval contained within this report.
8. This item may be referred back to the Planning Commission upon recommendation of the Director of Community Development for review and possible revocation or modification of the Conditional Use Permit upon receipt of nuisance complaints regarding items such as barking, roaming, and/or non-compliance with the conditions of approval.
9. The City of Escondido hereby notifies the applicant that the County Clerk's office requires a documentary handling fee of \$50.00 in order to file a Notice of Exemption for the project (environmental determination for the project). In order to file the Notice of Exemption with the County Clerk, in conformance with the California Environmental Quality Act (CEQA) Section 15062, the applicant should remit to the City of Escondido Planning Division, within two working days of the final approval of the project (the final approval being the hearing date of the Planning Commission or City Council, if applicable), a check payable to the "County Clerk" in the amount of \$50.00. The filing of a Notice of Exemption and the posting with the County Clerk starts a 35 day statute of limitations period on legal challenges to the agency's decision that the project is exempt from CEQA. Failure to submit the required fee within the specific time noted above will result in the Notice of Exemption not being filed with the County Clerk, and a 180 day statute of limitations will apply.



CITY OF ESCONDIDO
PLANNING DIVISION
201 NORTH BROADWAY
ESCONDIDO, CA 92025-2798
(760) 839-4671

Notice of Exemption

To: San Diego County Recorder's Office
Attn: Vanessa Esquivel
P.O. Box 121750
San Diego, CA 92112-1750

From: City of Escondido
201 North Broadway
Escondido, CA 92025

Project Title/Case No.: Franks/Johnson Residence - Dogs (PHG 14-0008)

Project Location - Specific: The 7,000± square foot residential property is located on the northern side of Hillward Street where it joins Scott Way, addressed as 620 Hillward Street.

Project Location - City: Escondido

Project Location - County: San Diego

Description of Project:

A request for a Conditional Use Permit to allow four dogs on an approximately 7,000 SF residential lot in the R-1-6 zone (Single-family Residential – 6,000 SF minimum lot size) where the Escondido Zoning Code would otherwise allow two dogs.

Name of Public Agency Approving Project: City of Escondido

Name of Person or Agency Carrying Out Project:

Name E. Dale Franks, Jr.

Telephone (760) 519-7011

Address 620 Hillward Street, Escondido, CA 92027

☒ Private entity ☐ School district ☐ Local public agency ☐ State agency ☐ Other special district

Exempt Status:

Categorical Exemption. CEQA Section 15061 (b)(3) "General Rule"

Reasons why project is exempt:

1. The proposal is limited to increasing the permitted number of dogs on an established residential property from two to four.
2. The project site has been completely disturbed by the existing residential use and has no value as habitat for endangered, threatened or rare species.
3. The residential property is located in an established suburban area. The proposal is limited to changing the number of pets (dogs) permitted on the site and would not result in any significant effects related to traffic, noise, air quality or water quality.
4. In staff's opinion the proposed development would not have the potential to cause an adverse impact on the environment. Therefore, the proposal is not subject to further CEQA review.

Lead Agency Contact Person: Bill Martin

Area Code/Telephone/Extension (760) 839-4557

Signature: _____

Bill Martin, Principal Planner

Date

☒ Signed by Lead Agency

Date received for filing at OPR:

CITY OF ESCONDIDO
Planning Division
201 N. Broadway
Escondido, CA 92025-2798

Greetings;

I am writing in support of the conditional use permit application for my neighbors, Dale Franks and Chris Johnson, hereinafter referred to as "the residents", who reside at 620 Hillward St., Escondido, CA 92027.

I am aware that the residents maintain four (4) dogs on their property. During my time as a neighbor of the residents, I have never had any complaint about the number of dogs owned by the residents. The dogs are, from everything I have observed, well cared-for. They have never barked incessantly or late into the night. They are never left to run free through the neighborhood, or are otherwise unrestrained. The residents keep the dogs leashed at all times in public. The residents have, in every way that I have observed, been responsible and caring dog owners.

I fully support, therefore, the residents' application for a conditional use permit to allow them to maintain four (4) dogs on their property.

Cordially;



Signature

OTIS CAMPBELL SR.

Name

623 HILLWARD ST.

Address

ESCONDIDO, CA 92027

City, State, Zip

9/12/13

Date

CITY OF ESCONDIDO
Planning Division
201 N. Broadway
Escondido, CA 92025-2798

Greetings;

I am writing in support of the conditional use permit application for my neighbors Dale Franks and Chris Johnson, hereinafter referred to as "the residents", who reside at 620 Hillward St., Escondido, CA 92027.

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I fully support, therefore, the residents' application for a conditional use permit to allow them to maintain four (4) dogs on their property.

Cordially;

Maria Almanza
Signature

Maria Almanza
Name

629, N. Citrus Ave
Address

Escondido CA 92027
City, State, Zip

12-14-13
Date

CITY OF ESCONDIDO
Planning Division
201 N. Broadway
Escondido, CA 92025-2798

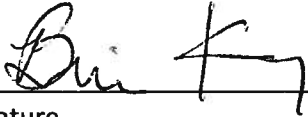
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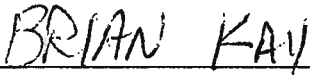
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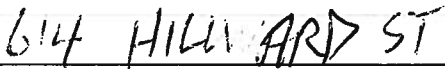
Cordially;



Signature



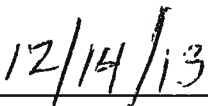
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Address



City, State, Zip



Date

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201 N. Broadway
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Cordially;



Signature

DANIEL BALDERAS

Name

619 N. CITRUS AVE

Address

ESCONDIDO CA 92027

City, State, Zip

9/8/13

Date

CITY OF ESCONDIDO
Planning Division
201 N. Broadway
Escondido, CA 92025-2798

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I fully support, therefore, the residents' application for a conditional use permit to allow them to maintain four (4) dogs on their property.

Cordially;

Kevin M. Beach

Signature

Kevin M. Beach

Name

624 Hillward St.

Address

Escondido CA 92027

City, State, Zip

9/8/13

Date

CITY OF ESCONDIDO
Planning Division
201 N. Broadway
Escondido, CA 92025-2798

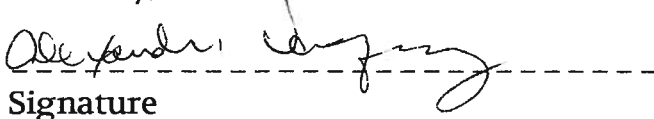
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Cordially;



Signature

Alexander & Sandra Vasquez

Name

623 N Citrus Ave #

Address

Escondido CA 92027

City, State, Zip

9/8/13

Date

CITY OF ESCONDIDO
Planning Division
201 N. Broadway
Escondido, CA 92025-2798

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I fully support, therefore, the residents' application for a conditional use permit to allow them to maintain four (4) dogs on their property.

Cordially;

Teresa Nicholl
Signature

Teresa Nicholl
Name

2333 Scott Way
Address

Escondido, CA 92027
City, State, Zip

12/14/2013
Date

CITY OF ESCONDIDO
Planning Division
201 N. Broadway
Escondido, CA 92025-2798

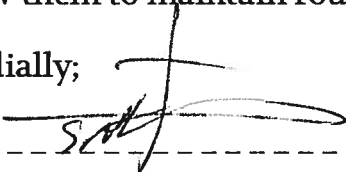
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Cordially;



Signature

Sheref Bekhit

Name

2339 Scott Way

Address

Escondido, CA 92027

City, State, Zip

09/21/2013

Date

PLANNING COMMISSION

Agenda Item No.: G.2

Date: April 8, 2014

CASE NUMBER: PHG 13-0010

APPLICANT: Brent Cooper, Meadowbrook Village

LOCATION: 100 Holland Glen. (APN's 224-300-17, 226-840-14 & 15)

TYPE OF PROJECT: Conditional Use Permit Modification

PROJECT DESCRIPTION: A request to modify the Conditional Use Permit for the Meadowbrook Village retirement community to increase the number of semi-independent living units, revise the previously approved mix of unit types, and add three standby emergency generators. The project proposes a 3-story apartment building of 66 units (net increase of 54 units) and one 400 kW and two 500 kW standby emergency diesel generators.

STAFF RECOMMENDATION: Approval

GENERAL PLAN DESIGNATION/TIER: Suburban (S)

ZONING: R-1-10 – Single Family Residential / N. Broadway Region of Influence -Infrastructure

BACKGROUND/SUMMARY OF ISSUES:

A Conditional Use Permit, Case No. 2002-69-CUP, to develop a senior care facility/ retirement community was approved by the Planning Commission on January 27, 2004. The approval included a congregate care/apartment facility with 51 units; 69 semi-independent units including duplexes and cottages; a skilled nursing/Alzheimer's unit with 27 units; an aquatic center; a windmill and coffee house; a shop/maintenance building; and a clubhouse.

The original approval included a number of environmental issues that were analyzed in a Mitigated Negative Declaration. Mitigation Measures were adopted to address issues with drainage, traffic, biological resources, cultural resources, noise impacts, and hazardous materials. The developer has met the requirements of the mitigation and no additional impacts were identified with the current modification proposal.

On June 10, 2008, the Planning Commission approved a modification to the CUP for two new one-bedroom apartments within the assisted living portion of the facility, Case PHG 08-0012. On June 23, 2009, the Planning Commission approved another modification to the CUP, Case PHG 09-0010, to expand the windmill commons building to three-stories and 13,418 SF, relocate a dining/kitchen area from the clubhouse to the windmill commons building, and add two, one-bedroom apartments in the windmill commons building. In December 2010, the Planning Commission approved a modification of the skilled nursing/memory care building, Case PHG 10-0019, to reconfigure and enlarge the building to add 4 more units with 13 additional beds, and add a small parking lot adjacent to the windmill commons building.

Currently, a total of 108 residential units have been constructed (58 apartment/congregate care units and 50 of the single-family and duplex units). The applicant indicates that occupancy is over 90%. The perimeter walls, landscaping, and windmill are installed and the windmill commons building and aquatic center have been constructed. The skilled nursing/memory care building is under construction and will have 46 beds.

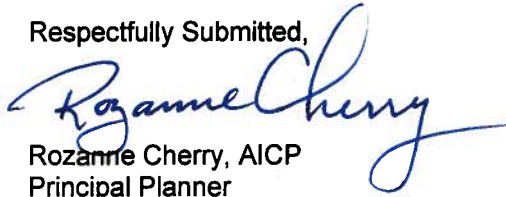
Staff believes that the issues are as follows:

1. Whether the proposed modification would create traffic or noise impacts.
2. The appropriateness of the architecture.

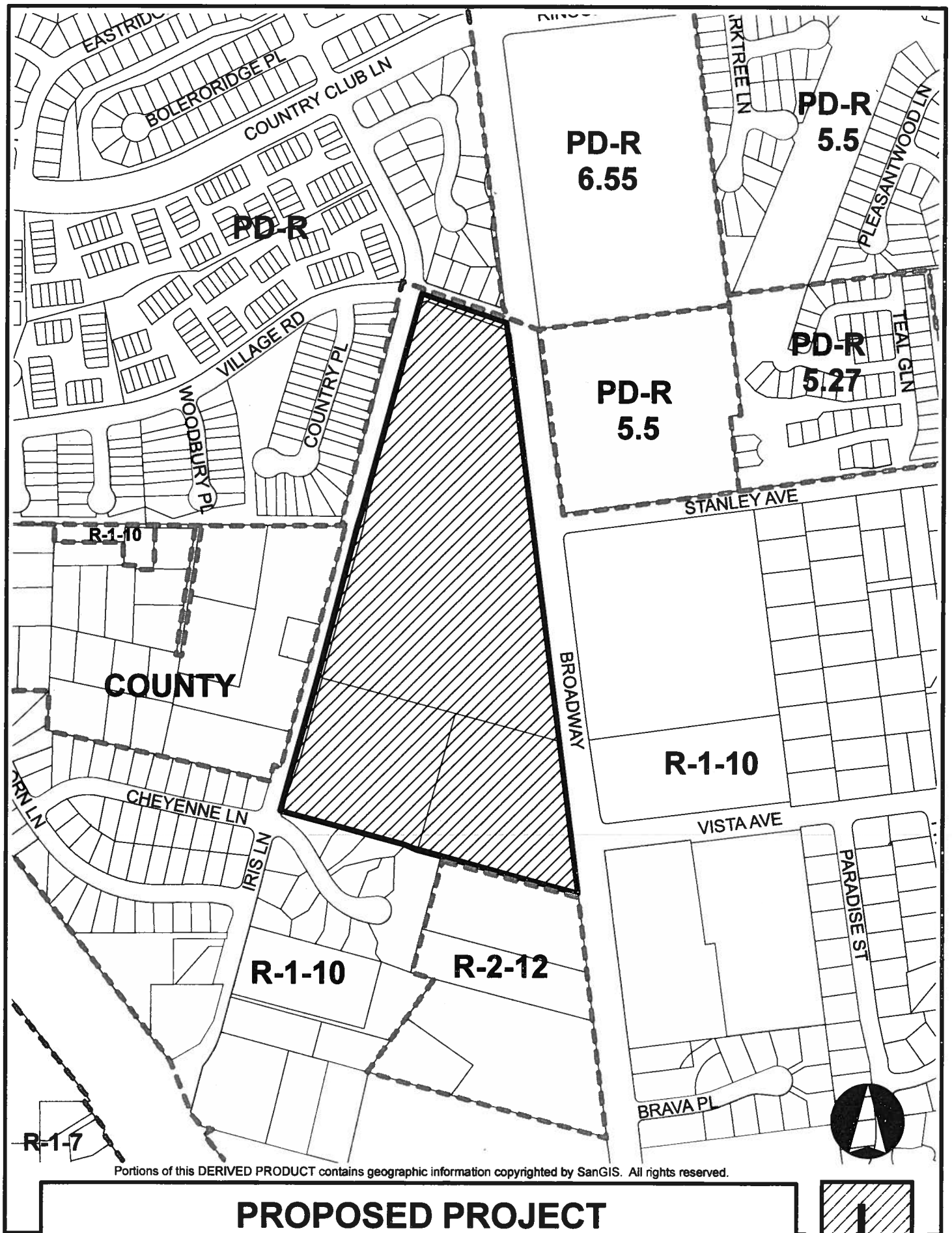
REASONS FOR STAFF RECOMMENDATION:

1. The Engineering Division has determined that the minor amount of traffic generated by the proposed 54 additional apartments will not significantly impact the traffic in the area. The emergency generators will not create a significant noise impact due to the extensive setbacks proposed, and the noise attenuation provided by the sound reducing generator enclosures within a block wall equipment enclosure, and the perimeter block wall around the community.
2. The architectural design and proposed materials are well detailed and consistent with the other structures on-site. The parking lot is under the building, and will not be visible from adjacent properties or public streets. The building will be of similar height to the existing 3-story windmill commons building and congregate care building.

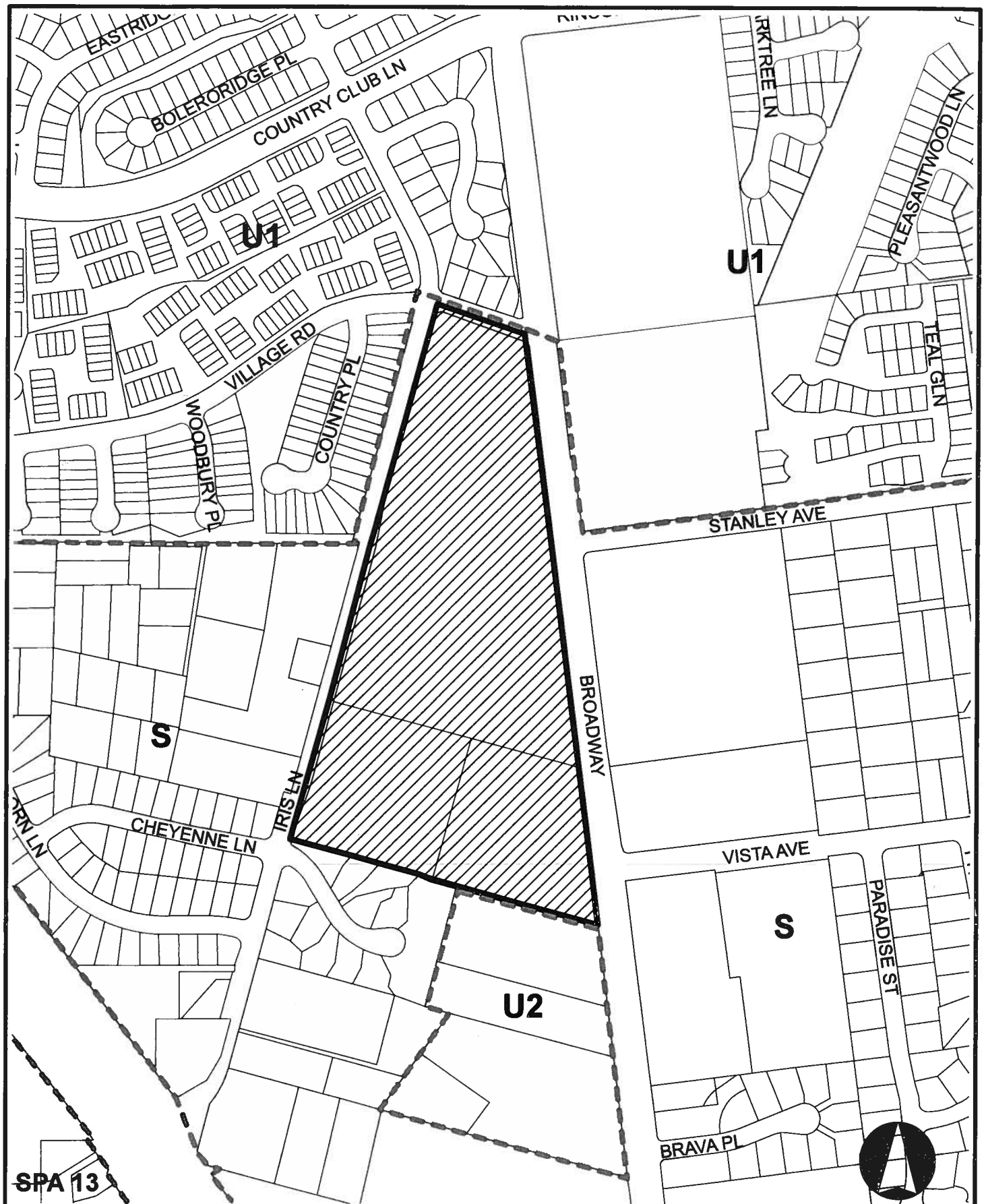
Respectfully Submitted,

A handwritten signature in blue ink, reading "Rozanne Cherry". The signature is fluid and cursive, with the first name "Rozanne" and last name "Cherry" clearly distinguishable.

Rozanne Cherry, AICP
Principal Planner



**PROPOSED PROJECT
PHG 13-0010**



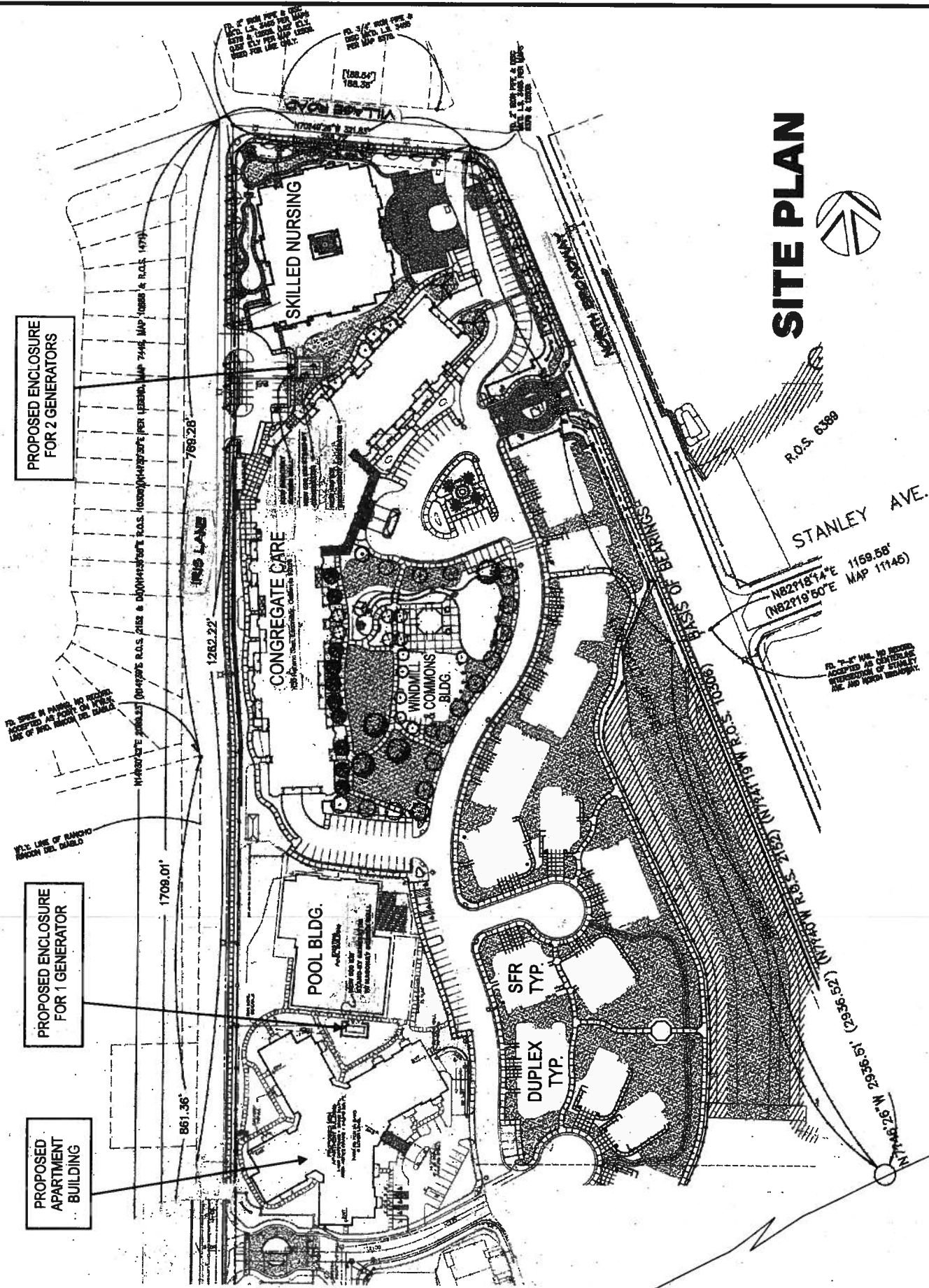
SPA 13

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PROPOSED PROJECT
PHG 13-0010



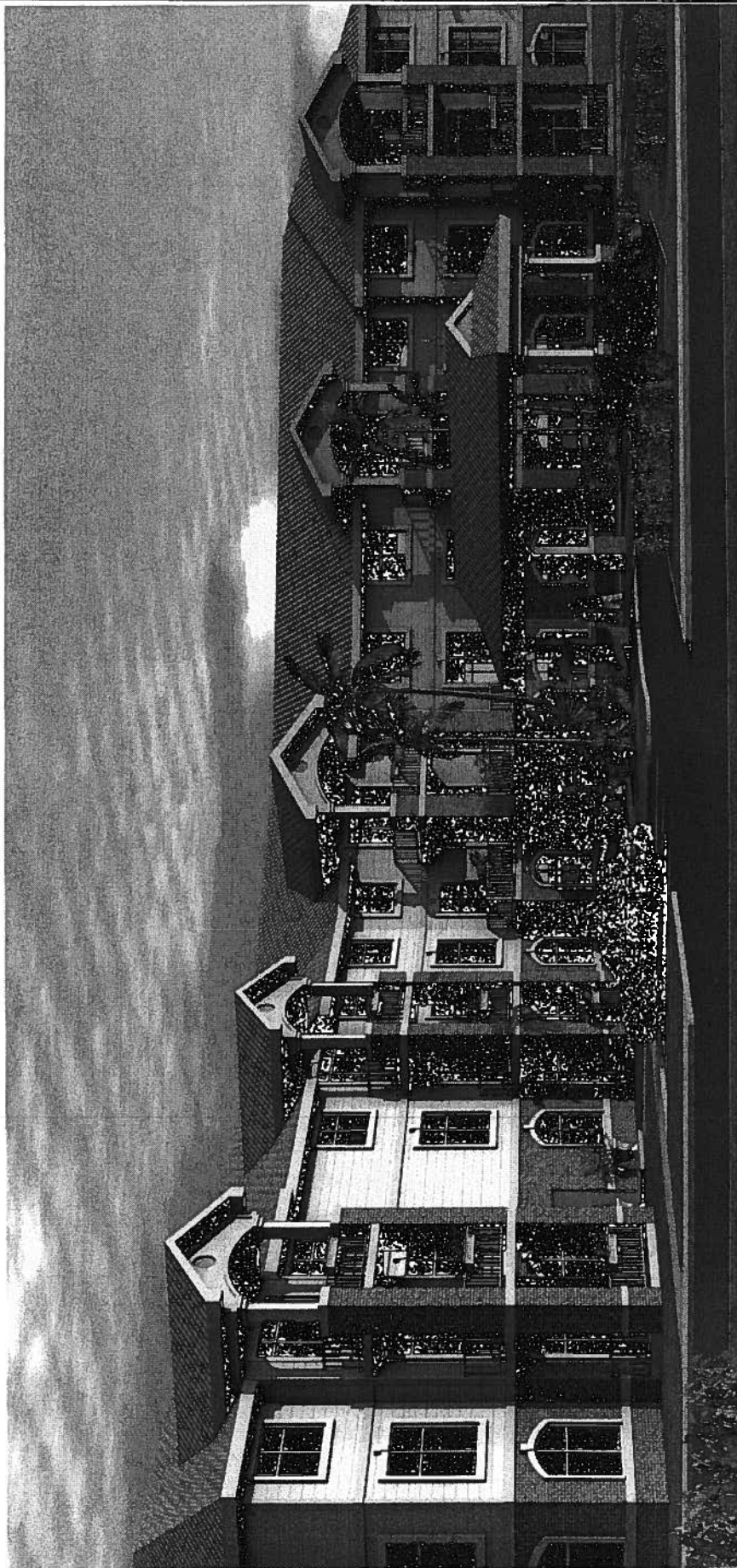
GENERAL PLAN



PROPOSED PROJECT PHG 13-0010



SITE PLAN



**PROPOSED PROJECT
PHG 13-0010**

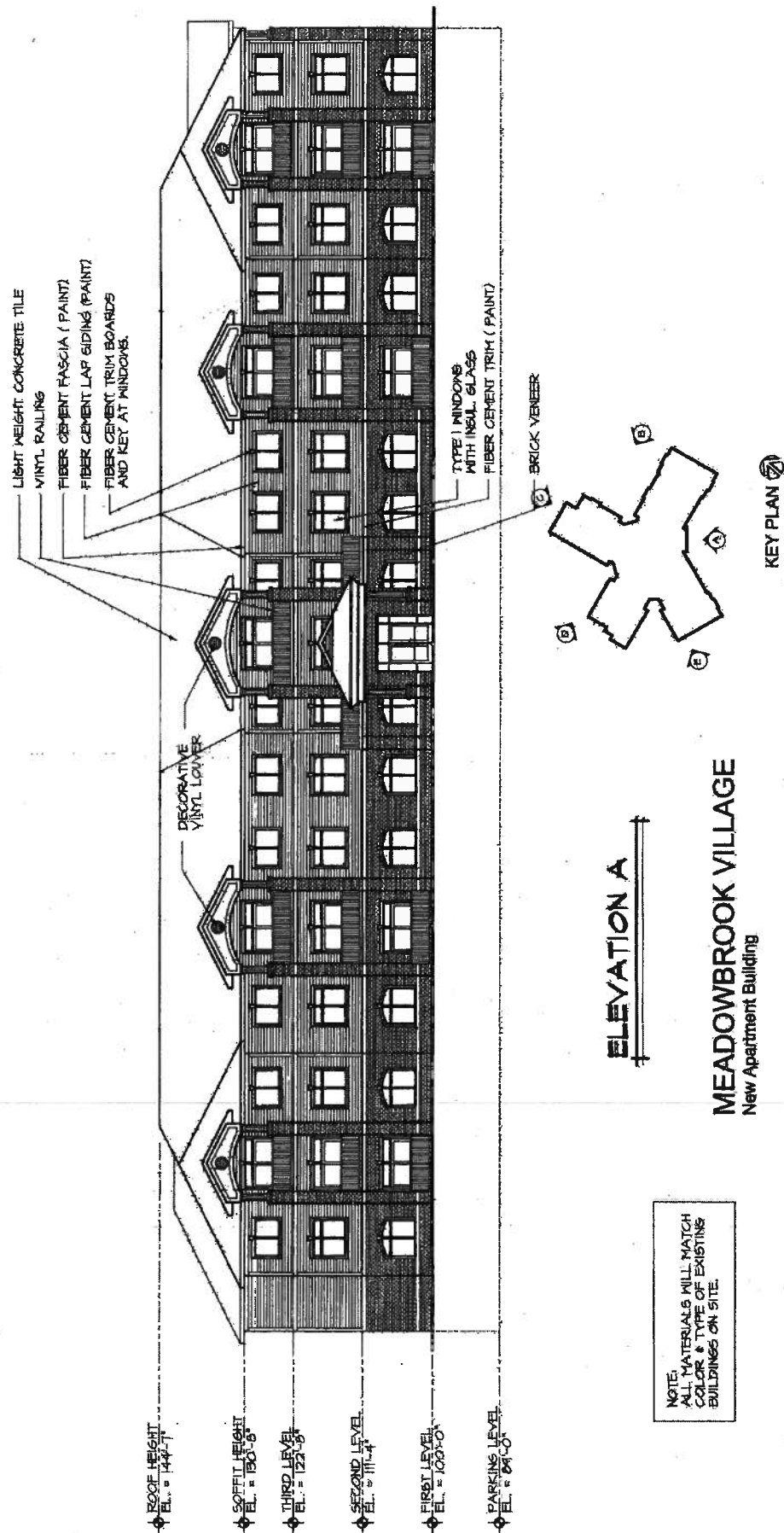


PROPOSED PROJECT PHG 13-0010

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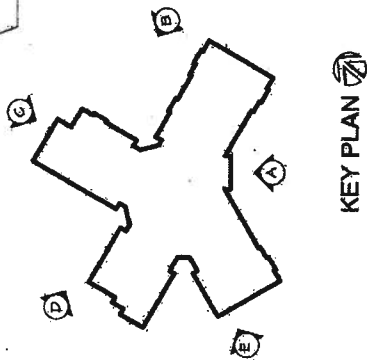
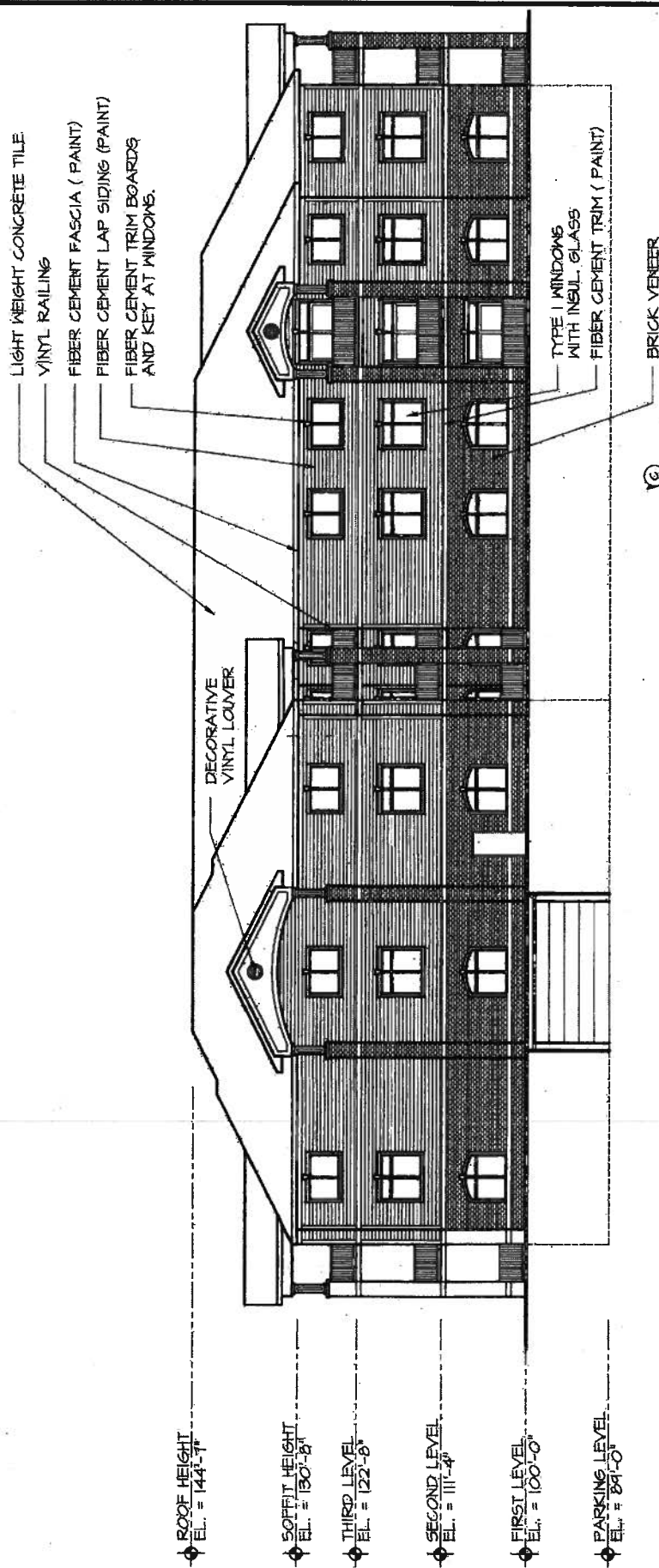
ELEVATIONS



PROPOSED PROJECT

PHG 13-0010

ELEVATIONS



ELEVATION B

MEADOWBROOK VILLAGE

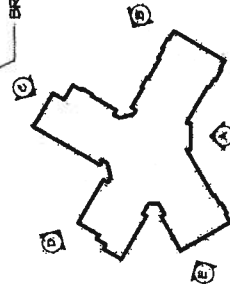
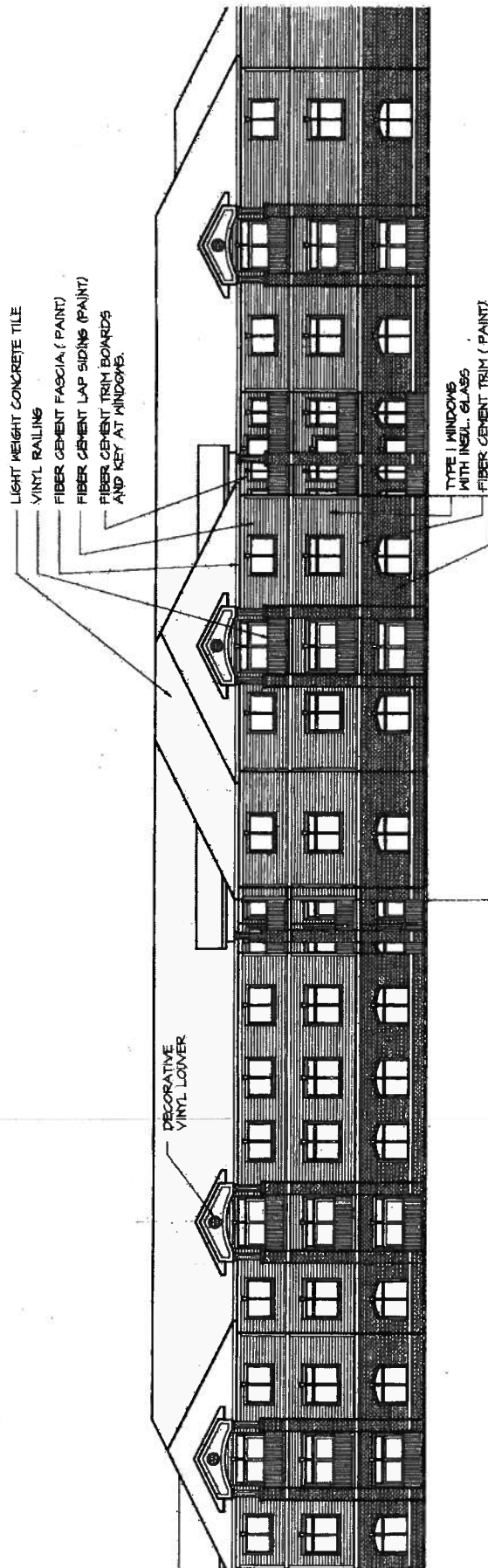
New Apartment Building

NOTE:

ALL MATERIALS WILL MATCH

COLOR & TYPE OF EXISTING

BUILDINGS ON SITE.



KEY PLAN

ELEVATION C

MEADOWBROOK VILLAGE
New Apartment Building

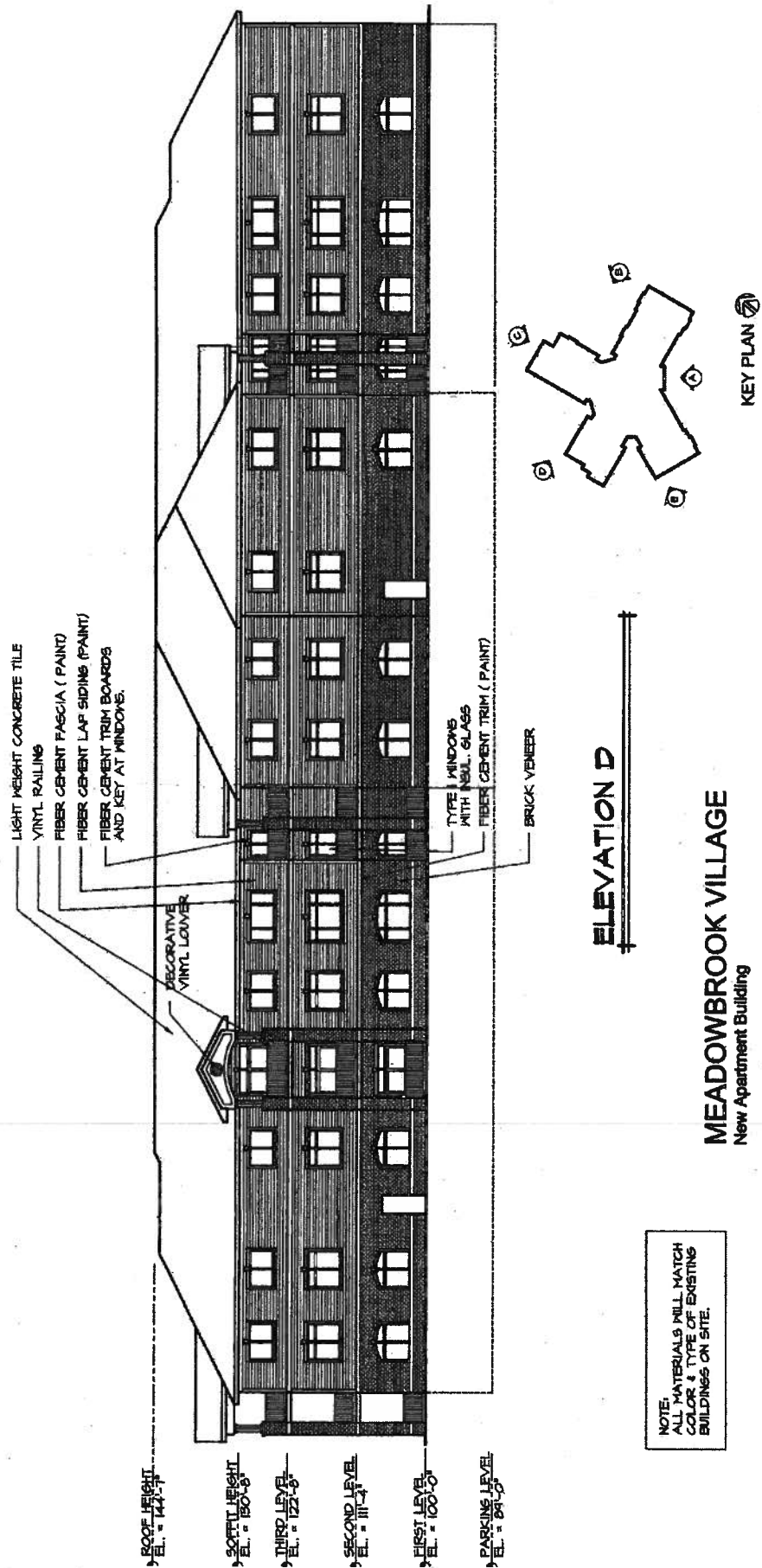
NOTE:
ALL MATERIALS WILL MATCH
COLOR & TYPE OF EXISTING
BUILDINGS ON SITE.

PROPOSED PROJECT
PHG 13-0010



ELEVATIONS

PROPOSED PROJECT PHG 13-0010



LIGHT WEIGHT CONCRETE TILE
VINYL RAILING
FIBER CEMENT FASCIA (PAINT)
FIBER CEMENT LAP SIDING (PAINT)
FIBER CEMENT TRIM BOARDS
AND KEY AT WINDOWS.

DECORATIVE
VINYL LOUVER

TYPE 1 WINDOWS
WITH INSUL. GLASS
FIBER CEMENT TRIM (PAINT)
BRICK VENEER

ROOF HEIGHT
EL. = 144'-7"

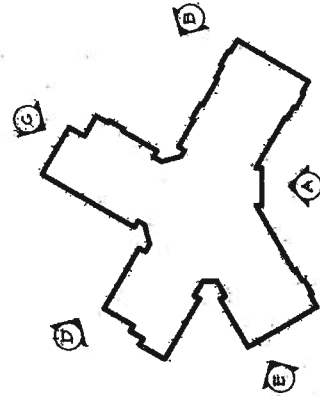
SOFFIT HEIGHT
EL. = 130'-8"

THIRD LEVEL
EL. = 122'-8"

SECOND LEVEL
EL. = 111'-4"

FIRST LEVEL
EL. = 100'-0"

PARKING LEVEL
EL. = 84'-0"



KEY PLAN

ELEVATION E

MEADOWBROOK VILLAGE New Apartment Building

NOTE:
ALL MATERIALS WILL MATCH
COLOR & TYPE OF EXISTING
BUILDINGS ON SITE.

**PROPOSED PROJECT
PHG 13-0010**



ELEVATIONS

ANALYSIS

A. LAND USE COMPATIBILITY/SURROUNDING ZONING

NORTH - Village Road and 1-2 story single-family dwellings/PD-R

SOUTH - 1-2 story single-family residences and River Village townhomes/ R-1-10 & R-2-12

EAST - 1-2 story single-family residences and Calvin Christian School east of Broadway/PD-R 5.5 & R-1-10

WEST - 1-2 story multi-family dwellings and single-family dwellings/PD-R & County

B. AVAILABILITY OF PUBLIC SERVICES

1. **Effect on Police Service** – The Police Department has expressed no concern regarding the project modifications or their ability to provide service to the site.
2. **Effect on Fire Service** – The Fire Department has indicated that the project modifications will not impact levels of service nor affect their ability to adequately serve the project. The site is served by Fire Station #3, which is located at 1808 Nutmeg.
3. **Traffic** – The project takes access from North Broadway, which is classified as a Collector Road (84' r.o.w.) and Iris Lane, a Local Collector Road (66' r.o.w.) in the Circulation Element of the Escondido General Plan. Based on SANDAG's traffic generation rates for the San Diego region, the proposed additional 54 units in a retirement community would generate approximately 216 average daily trips. According to the Engineering Division, the original project-related traffic mitigations have been completed and all surrounding roadways and intersections are currently operating at acceptable levels of service. The additional 216 average daily trips generated by the project will not degrade the levels of service of the adjacent streets.
4. **Utilities** – City sewer and water mains with sufficient capacity to serve the project are available within the adjoining street or easement. The project modification does not materially degrade the levels of service of the public sewer. The developer shall make necessary arrangements through Rincon Del Diablo Municipal Water District to provide water service to the apartment building.
5. **Drainage** – The project site within the existing retirement community, is not located in a 100-year Flood Zone as indicated on current FEMA maps. Reidy Creek flows through the southeasterly portion of the Meadowbrook development. The original project-related drainage and creek improvements/mitigations have been completed. The proposed project will not materially degrade the levels of service of the existing drainage facilities.

C. ENVIRONMENTAL STATUS

1. A Mitigated Negative Declaration was adopted for the original CUP (Case Nos. ER 2002-25 / 2002-69-CUP) and included mitigation measures to address drainage, traffic, biological resources, cultural resources, noise impacts, and hazardous materials. The mitigation has been implemented, and no new mitigation is required for the proposed modifications. An addendum to the Mitigated Negative Declaration (MND) has been prepared for this request in accordance with Sections 15164 and 15162 of the State CEQA Guidelines. This addendum is intended to evaluate the potential impacts of the proposed modifications to determine if the changes and additions beyond that analyzed in the MND meet any of the requirements for preparation of a subsequent or supplemental MND per Sections 15162-15163 of the State CEQA Guidelines. These sections of the CEQA Guidelines would require a Subsequent or Supplemental MND if any of the following occur:

- Substantial changes are proposed in the project which will require major revisions of the previous MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;
- Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identify significant effects; or
- New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous MND was adopted as complete, shows any of the following:
 - The project will have one or more significant effects not discussed in the previous MND;
 - Significant effects previously examined will be substantially more sever than shown in the previous MND;
 - Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternative; or
 - Mitigation measures or alternatives which are considerably different from those analyzed in the previous MND would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

Section 15164 of the State CEQA Guidelines states that an Addendum to an MND may be prepared "if some changes or additions are necessary, but none of the conditions described in Section 15162 calling for preparation of a subsequent MND have occurred." If none of the aforementioned conditions are met, a subsequent or supplemental MND is not required. Rather, an agency can:

- Decide that no further environmental documentation is necessary; or
- Require that an addendum be prepared.

Since the CUP modification proposes constructing a new 3-story apartment building with underground parking, and adding three standby emergency generators, City staff determined that preparation of an addendum was appropriate.

2. In staff's opinion, no significant issues remain unresolved through compliance with code requirements and the recommended conditions of approval.
3. The project will have no impact on fish and wildlife resources as no sensitive or protected habitat occurs in the project construction area or will be impacted by the proposed modifications.

D. GENERAL PLAN ANALYSIS

The General Plan land use designation on the site is Suburban, which allows for assisted living facilities subject to the issuance of a Conditional Use Permit. Both the Land Use and Housing Elements of the General Plan encourage a variety of housing types that support residents' needs and provide options that suit various age groups. The Housing Element indicates that the City's population is aging, with 10.4% of the population over the age of 65 in 2010. This CUP modification request is consistent with the Suburban designation of the General Plan because assisted living / skilled nursing facilities are customarily permitted by Conditional Use Permit, when conditioned to observe the underlying zone and related ordinance restrictions, and when compatible with surrounding properties.

E. PROJECT ANALYSIS

Traffic/Parking – The requested modification to construct 66 semi-independent living units would result in a net increase of 54 semi-independent units, as 12 units of the 120 previously approved units have not been constructed. The city engineering staff determined that the 54 units would generate an additional 216 average daily trips based on the same Sandag trip generation rate of four trips/unit in a retirement community that was used in the MND for the original project. Required road improvements identified in the MND were completed with the initial construction of the retirement community. The city engineering staff confirms that the mitigation implemented for the original project will accommodate

the trips generated by the additional 54 units requested without causing significant impacts to surrounding intersections or roadway segments. Therefore the proposed project would not degrade the levels of service on the adjacent streets.

The proposed increased number of semi-independent living units will not have a significant parking impact as 68 parking spaces are proposed for the units with 54 spaces located under the building and 14 at-grade spaces located at the main apartment building entry. With the addition of these parking spaces, 423 parking spaces would be provided throughout the retirement community. The minimum number of parking spaces required with the additional units would be 321 spaces overall, resulting in 102 extra parking spaces. A total of 192 covered parking spaces will be provided, which exceeds the 174 minimum required by 18 spaces. Therefore, adequate parking will be provided for the proposed modification.

Appropriateness of Architecture – The proposed apartments would be constructed in the location originally approved for single-family and duplex units as the applicant has found that they receive more requests for apartment units than for the individual cottages or duplexes, particularly from single retirees. The building site is a rough-graded pad between the entry drive off Iris Lane and the pool building. The 3-story apartment building would have four wings around a central elevator lobby, which would provide more security for the units and reflect current trends in the industry. The building would be 31-feet to the third floor plate height with a pitched roof to 44-feet high at the top of the equipment well. The standard building height in the R-1 zone is 35-feet. However, Zoning Code Section 33-1075 allows higher roof structures to house ventilation and elevator equipment, if the area is not habitable. The building has no units above the third floor and the roof design and dormers are similar to the 3-story windmill commons building and the 2-story congregate care building. The windmill reaches about 80-feet high. The building will blend with the other structures in the development. The corner of the apartment building will be setback 15' from the perimeter wall with much of the building angled even further back from the property line. The existing perimeter wall, and parkway and on-site landscaping will screen much of the building from the public street. The color, materials and architectural detailing, including dormers, divided windows and brick wainscot, will be compatible with the other existing buildings in the development. The proposed project will be compatible with the neighborhood and the existing facilities since it is responding to resident's needs, incorporates enhanced architectural design consistent with the existing buildings, and will be compliant with the standards of the underlying zone.

Consistency with the Zoning Code Standards for Standby Generators

The Escondido Zoning code requires a Conditional Use Permit for generators with a production capability of five kilowatts (kW) or greater. The subject request is for three large institutional type, emergency diesel generators to provide the necessary power to operate all of the essential electrical needs for the assisted living units, congregate care building and the skilled nursing facility during a power failure. Two generators with an output of approximately 500 kilowatts and one with an output of about 400 kilowatts are proposed. The generators would not operate except during a power outage, although they will be tested monthly for maintenance purposes. Except in the case of an emergency, this would result in an expected annual usage of about two hours each. All electric generating systems are required to conform to the noise requirements of the underlying zone and to incorporate measures to minimize pollutants generated by the equipment. The location and design also are required to be compatible with the surrounding development and appropriate screening or buffer areas provided.

Noise - The Noise Ordinance (Ord. 90-08) specifies a limitation of 50 dB for daytime and 45 dB for nighttime noise levels in the single-family residential zone measured at the property line. In order to conform to the outdoor noise requirements, the generators would be enclosed in metal weather protected sound cabinets within a masonry block enclosure. The generator enclosures will be setback 85' and 135' from the closest property line (N. Iris Lane.) The preliminary noise calculations show that the sound cabinets together with the masonry block enclosures and the perimeter masonry parkway wall will provide noise attenuation to 45 dBA at the property boundary to conform to the City's noise requirements. A condition is included requiring a noise consultant to confirm the sound levels at property line based on the final equipment specifications and enclosure wall construction, prior to issuing a building permit for the generators.

Screening – The proposed 400 kW and one of the 500 kW generators would be located within a new eight-foot-high masonry block enclosure located near the service area between the existing congregate care building and the memory care/skilled nursing facility under construction. The other 500 kW generator is proposed within a new eight-foot high

masonry block enclosure between the proposed apartment building and the existing pool building. With the metal sound reducing cabinets, the units would be 9- to 11-feet in height. The project is conditioned for the enclosures to be constructed of decorative block compatible with the existing buildings and for the metal acoustical enclosures/cabinets to be painted to match the block enclosures. Staff feels the two proposed locations will be screened from public view by the buildings and the perimeter parkway wall of the retirement development.

Air Quality - Standby generators generally operate less than 52 hours per year as required by the Air Pollution Control District (APCD) when not under emergency conditions. Emissions occur only during emergencies, and for a very short time while performing maintenance checks and operator training. Therefore, the proposed generators would not create significant adverse emissions due to the limited amount of hours the standby generators typically would be operating.

SUPPLEMENT TO STAFF REPORT/DETAILS OF REQUEST

A. PHYSICAL CHARACTERISTICS

The site is approximately 25-acres and the majority of the retirement community facilities have been constructed and occupied. The development is accessed from both Broadway and Iris Lane. The generally flat site is enclosed with a decorative perimeter wall and landscaping. The proposed building would be between the Iris Lane entry drive and the pool building on a rough-graded pad of approximately 1.5 acres.

B. SUPPLEMENTAL DETAILS OF REQUEST

- | | |
|--|---|
| 1. Property Size: | Approximately 25 acres |
| 2. Use of Proposed Building: | Semi-independent living apartments |
| 3. Proposed Building: | <u>Proposed</u> |
| Area - | 84,093 SF |
| Footprint - | 28,031 SF |
| Stories - | 3-story |
| Configuration - | Four wings around a central elevator lobby |
| 4. Number of units: | 66 semi-independent units
16 one-bedroom units, 645-714 SF
50 two-bedroom units, 832-1453 SF
Majority with private patios or balconies |
| 5. Total Unit Mix: | |
| Semi-independent/congregate care units - | 174 proposed (previously approved – 120) |
| Skilled nursing beds - | 46 (previously approved – no change) |
| 6. Proposed Added Parking: | 68 spaces (includes 6 disabled parking spaces)
14 space at entrance to building on grade
54 spaces below grade under the building |
| 7. Building Colors/Materials: | To match existing buildings; brick veneer, siding & concrete tile roof |
| 8. Proposed Diesel Generators: | 1 – emergency 400 kW for the skilled nursing building
2 – standby 500 kW each for the congregate care and apartment buildings |
| 9. Generator setback to closest property line (westerly boundary): | North enclosure – 85'
South enclosure – 135' |
| 10. Additional Employees: | Applicant anticipates needing 2 additional employees |

C. CODE COMPLIANCE ANALYSIS

	<u>Proposed</u>	<u>Code Requirement</u>
1. Setbacks:		
North- Village Drive:	>1,000'	15' - front
West-Iris Lane:	15' at closest corner & angling back to 60'	10' – street-side
South property line:	>360'	20' - rear
East property line	>400'	10' – street side
2. Building Separation:	30' separation to adjacent pool bldg.	10' building separation
3. Height 3-Story Structure:	31' to 3 rd floor plate height 35' to top of dormers with pitched roof to 44' at top of equipment well	35' max. (EZC Section 33-1075 allows higher roof structures to house ventilation & elevator equipment if the space is not habitable)
4. Parking for entire development:	423 Total Spaces Provided - 355 existing - 68 added	321 Total Spaces Required - 210 previously required - 111 required for new units
5. Covered Parking Spaces:	192 Provided - 138 existing - 54 added	174 Required - 108 for existing semi-indepen- dent & apartment units - 66 new units

EXHIBIT "A"

FINDINGS OF FACT PHG 10-0019

1. Granting the proposed Conditional Use Permit Modification for the residential care/retirement development would be based upon sound principles of land use and in response to services required by the community, as the project will provide additional semi-independent living unit choices for seniors in an established senior care retirement community, and the proposed emergency standby generators would provide power for essential care equipment during power outages.
2. The proposed Conditional Use Permit Modification would not cause deterioration of bordering land uses or create special problems for the area in which it is located as the additional traffic generated by the project will not degrade the existing levels of service on adjacent streets, the proposed residential building will be accessed from within the existing retirement community development, the materials and design details will match the existing buildings, and the project has been conditioned such that it will preserve the public health, safety and general welfare of the community. In addition, the proposed emergency standby generators will be screened from view and equipment cabinets and masonry walls will attenuate the sound to a level consistent with the thresholds of the Escondido Noise Ordinance.
3. The proposed Conditional Use Permit Modification has been considered in relationship to its effect on the community and determined to be compatible with surrounding development and all services can be provided to the site.
4. An addendum to the previous Mitigated Negative Declaration was prepared for the modification of the Conditional Use Permit in conformance with Sections 15164 and 15162 of the State CEQA Guidelines. No significant issues remain unresolved through compliance with code requirements and the conditions of approval. The project will have no impact on fish and wildlife resources as no sensitive or protected habitat occurs in the project construction site or will be impacted by the proposed modifications.

EXHIBIT "B"

CONDITIONS OF APPROVAL PHG 13-0010

PLANNING CONDITIONS

1. The approval of this Conditional Use Permit Modification shall be effective upon the execution of an agreement with the City that satisfies the Growth Management Ordinance, to the satisfaction of the City Attorney and the Director of Community Development.
2. The Conditional Use Permit shall be for the construction of 66 semi-independent apartment units and the installation of one 400 kW and two 500 kW standby emergency generators within masonry block enclosures, as described in the staff report. The CUP shall be null and void if not utilized within twenty-four months of the effective date of approval noted in Planning Condition #1.
3. All conditions included with the approvals of 2002-69-CUP, PHG 08-0012, PHG 09-0010 and PHG 10-0019 shall remain in full force and effect unless superseded by the conditions contained herein.
4. A minimum of 321 total parking spaces shall be provided for the entire development, of which a minimum of 174 shall be covered.
5. The parking area under the building shall provide minimum 24-foot wide two-way aisles and backup space with kicker areas, and parking stall dimensions in conformance with Zoning Code Article 39, Off-Street Parking, and ADA standards. The under building and surface parking spaces shall be double-striped to city standards.
6. The apartment building shall be constructed of materials and colors to match the existing buildings, as presented in the staff report. The specific materials and colors shall be identified in the building plans submitted for building permits.
7. All rooftop equipment must be fully screened from public view to the satisfaction of the Director of Community Development. The final building plans shall clearly indicate the location and height of all roof top equipment and demonstrate that the height of the top of the roof well is sufficient to screen the mechanical equipment.
8. Prior to issuance of building permits, the developer shall demonstrate through an acoustical analysis by a professional consultant that interior noise levels will not exceed 45 dBA CNEL.
9. Provide wheel stops for the new parking lot spaces where a 2-foot bumper overhang would reduce the adjacent sidewalk below the minimum 4-foot width required for a path-of-travel.
10. Prior to grading/building permit issuance, revise the plan(s) to incorporate the modifications required by these conditions and submit three copies to the Planning Division.
11. Prior to grading/building permit issuance, submit to the Engineering Department five sets of landscape and irrigation plans for the areas around the new building and the generator enclosures, in conformance with Zoning Code Article 62, Landscape Standards.
12. All required periodic testing of the generators shall be done during daytime hours.
13. All project-generated noise shall conform to the City's Noise Ordinance (Ordinance 90-08). The building plans shall include details regarding the proposed noise reducing enclosures/cabinets for the generators and masonry block enclosures to provide sound attenuation to meet the 45 dB noise threshold at the property boundaries.
14. Prior to building permit issuance for the generators, a noise consultant shall submit confirmation that the specified generators, noise reducing cabinets and block enclosures, etc. will result in sound levels not exceeding 45 dB at the property line.
15. The generator units shall be screened by masonry enclosures constructed of decorative block that is compatible with the existing buildings. Should the generator units or sound reducing cabinets extend above the height of the masonry enclosures, they shall be painted to match the block enclosures, to the satisfaction of the Director of Community Development.

16. This item may be referred back to the Planning Commission upon recommendation of the Director of Community Development for review and possible revocation or modification of the Conditional Use Permit upon receipt of nuisance complaints regarding the facility or non-compliance with the Conditions of Approval.
17. The City of Escondido hereby notifies the applicant that the County Clerk's Office requires a documentary handling fee of \$50.00 in order to file a Notice of Determination for the project (environmental determination for the project). In order to file the Notice of Determination with the County Clerk, in conformance with California Environmental Quality Act (CEQA) Section 15062, the applicant should remit to the City of Escondido Planning Division, within two working days of the final approval of the project, a certified check payable to the "County Clerk" in the amount of \$50.00. The filing of a Notice of Determination and the posting with the County Clerk starts a 35-day statute of limitations period on legal challenges to the agency's decision that the project does not require a supplemental or subsequent Mitigated Negative Declaration. Failure to submit the required fee within the specified time noted above will result in the Notice of Determination not being filed with the County Clerk, and a 180-day statute of limitations will apply.
18. The legal description attached to the application has been provided by the applicant and neither the City of Escondido nor any of its employees assume responsibility for the accuracy of said legal description.
19. All new utilities and utility runs shall be underground.

BUILDING CONDITIONS

1. Code analysis required for construction type, allowable area, area increases, firewalls, fire sprinklers, exiting, exit width, occupant loads, etc.
2. Disabled accessible path of travel, accessible dwelling unit's identification, clearances and details to be included on the building plans.
3. Revise the underground parking van accessible space so that the disabled accessible parking access aisle is on the passenger side of the vehicle.
4. Parking for the disabled shall be such that vehicle occupants shall not be compelled to wheel or walk behind any vehicle other than their own.

FIRE CONDITIONS

1. Fire sprinklers and standpipes shall be extended to the underground parking garage. The location of standpipe systems will be determined by the Fire Department.
2. Provide a Tif. 150 dpi, 11" x 17" page size file copy of project showing building floor plan and site plan.
3. A NFPA 13 automatic fire sprinkler system is required.
4. An approved fire alarm system is required.
5. A fire hydrant is required to be located within 50 feet of the fire department connection, unless otherwise specified. Show location on plans.
6. Fire hydrants capable of delivering 2,500 GPM at 20-PSI residual pressure are required every 300 feet.
7. Additional hydrants may be required near intersections, fire department connections or other locations.
8. Fire suppression system is required for hood systems.

9. Extinguishers with a minimum rating of 2A-10B: C shall be provided in a visible and accessible location at an exit or in the exit path. Walking distance shall not exceed 75 feet (Must comply with 2010 CFC Section 906.) Extinguishers must be mounted not more than 5-feet or less than 3.5-feet above the floor.
10. Access roads shall be improved to 24-feet wide and red-curbed and posted for "NO PARKING FIRE LANE" in 4-inch white lettering, to the satisfaction of the Fire Department.
11. Speed humps/bumps are prohibited.
12. All-weather paved access must be able to support the weight of a fire engine (75K lbs.) and approved fire hydrants must be provided prior to the accumulation of any combustible materials on the job site.
13. A Knox box will be required where access to or within a structure or an area is restricted.
14. A 28-foot inside turning radius is required on all corners.
15. A minimum access width of 28-feet is required to allow for on-street parking, loading and unloading of vehicles and still provide clear and unobstructed emergency vehicle access. One side to be marked as "FIRE LANE" to Escondido Fire Department standards.
16. Roof access to structures must be provided from all stairwells.
17. Elevators must be capable of accommodating a fire department gurney.
18. Barricades must not obstruct fire hydrants or impede emergency vehicle access.
19. A vertical clearance of 13-feet 6-inches is required in all access and driveway areas. Trees that obstruct the vertical clearance or access width must be trimmed or removed.
20. Secondary containment must be provided for the generator fuel storage tanks. Fuel storage must not exceed quantity limits set forth by 2010 CFC.
21. Bollards shall be installed to prevent vehicle damage to the generator fuel tanks, to the satisfaction of the Fire Department.
22. Radio repeaters (Bi-Directional Amplifiers) for Fire Department communications will be required if the building shields emergency radio reception.

ENGINEERING CONDITIONS

GENERAL

1. All improvements shall be constructed in a manner that does not damage existing public and private improvements. Any damage shall be determined by and corrected to the satisfaction of the City Engineer.

STREET IMPROVEMENTS AND TRAFFIC

1. Pedestrian access routes shall be provided into the project to the satisfaction of the City Engineer.
2. The developer will be required to provide a detailed detour and traffic control plan, for all construction within existing rights-of-way, to the satisfaction of the Traffic Engineer, the Field Engineer and the Fire Department. This plan shall be approved prior the issuance of an Encroachment Permit for construction within the public right-of-way.

GRADING

1. Site precise grading and erosion control plans prepared by a Registered Civil Engineer are required for all onsite improvements and shall be submitted to the Engineering Department. Grading Plans are subject to approval by the Planning, Fire and Engineering Departments.
2. All private driveways and parking areas shall be paved with a minimum of 3" AC over 6" of AB or 7" PCC over 6" AB. All paved areas exceeding 15% slope or less than 1.0% shall be paved with PCC.
3. All proposed retaining walls shall be shown on and permitted as part of the site grading plan. Profiles and structural details shall be shown on the site grading plan and the Soils Engineer shall state on the plans that the proposed retain wall design is in conformance with the recommendations and specifications as outlined in his report. Structural calculations shall be submitted for review by a Consulting Engineer for all walls not covered by Regional or City Standard Drawings. Retaining walls or deepened footings that are to be constructed as part of building structure will be permitted as part of the Building Dept. plan review and permit process.
4. The first submittal of the grading plan shall be accompanied by 3 copies of the preliminary soils and geotechnical report. The soils engineer will be required to indicate in the soils report that he/she has reviewed the grading and retaining wall design and found it to be in conformance with his/her recommendations.
5. Erosion control, including riprap, interim sloping planting, gravelbags, or other erosion control measures shall be provided to control sediment and silt from the project. The developer shall be responsible for maintaining all erosion control facilities throughout the development of the project.
6. The developer shall be responsible for the recycling of all excavated materials designated as Industrial Recyclables (soil, asphalt, sand, concrete, land clearing brush and rock) at a recycling center or other location(s) approved by the Director of Engineering Services.
7. All blasting operations performed in connection with the improvement of the project shall conform to the City of Escondido Blasting Operations Ordinance.

DRAINAGE

1. Final on-site and off-site storm drain improvements shall be determined to the satisfaction of the City Engineer and shall be based on a drainage study to be prepared by the engineer of work. The drainage study shall be in conformance with the City of Escondido Design Standards.
2. An Addenda to the overall Meadowbrook Water Quality Technical Report in compliance with City's latest adopted Storm Water Management Requirements shall be prepared and submitted for approval together with the final improvement and grading plans. The Water Quality Technical Report shall include post construction storm water treatment measures and maintenance requirements.
3. All site drainage with emphasis on the parking and drive way areas shall be treated to remove expected contaminants using a high efficiency non-mechanical method of treatment. The City highly encourages the use of bio-retention areas as the primary method of storm water retention and treatment. The landscape plans will need to reflect these areas of storm water treatment.
4. The developer will be required to have the current owner of the property sign, notarize, and record a Storm Water Control Facility Maintenance Agreement.
5. The on-site trash enclosure area shall drain toward a landscaped area and include a roof over the enclosure in accordance with the City's Storm Water Management requirements and to the satisfaction of the Director of Engineering Services.
6. All storm drain systems constructed with this project shall be considered private. The responsibility for maintenance of these storm drains and all post construction storm water treatment facilities shall be that of the property owner.

WATER SUPPLY

1. Fire hydrants together with a minimum eight (8") inch public water main system shall be installed at locations approved by the Fire Marshal.
2. This project is located within the Rincon Del Diablo Municipal Water District. It will be the developer's responsibility to make all arrangements with the Rincon District as may be necessary to provide water service for domestic use and fire protection.

SEWER

1. No trees or deep rooted plants shall be planted within 15' of sewer mains or laterals.
2. All onsite sewer laterals will be considered a private sewer system. The property owner will be responsible for all maintenance of this private sewer system.
3. Sewer laterals and private mains shall be 6" PVC minimum and shall be designed and constructed per current UPC.

EASEMENTS AND DEDICATIONS

1. Necessary public emergency access easements shall be granted to the City to the satisfaction of the City Engineer and the Fire Department.
2. All existing and proposed easements, both private and public, affecting subject property shall be shown and labeled on the grading and improvement plans.

Material necessary for processing a dedication or easement shall include: a current grant deed or title report, a legal description and plat of the dedication or easement signed and sealed by a person authorized to practice land surveying (document size) and traverse closure tapes. The City will prepare all final documents.

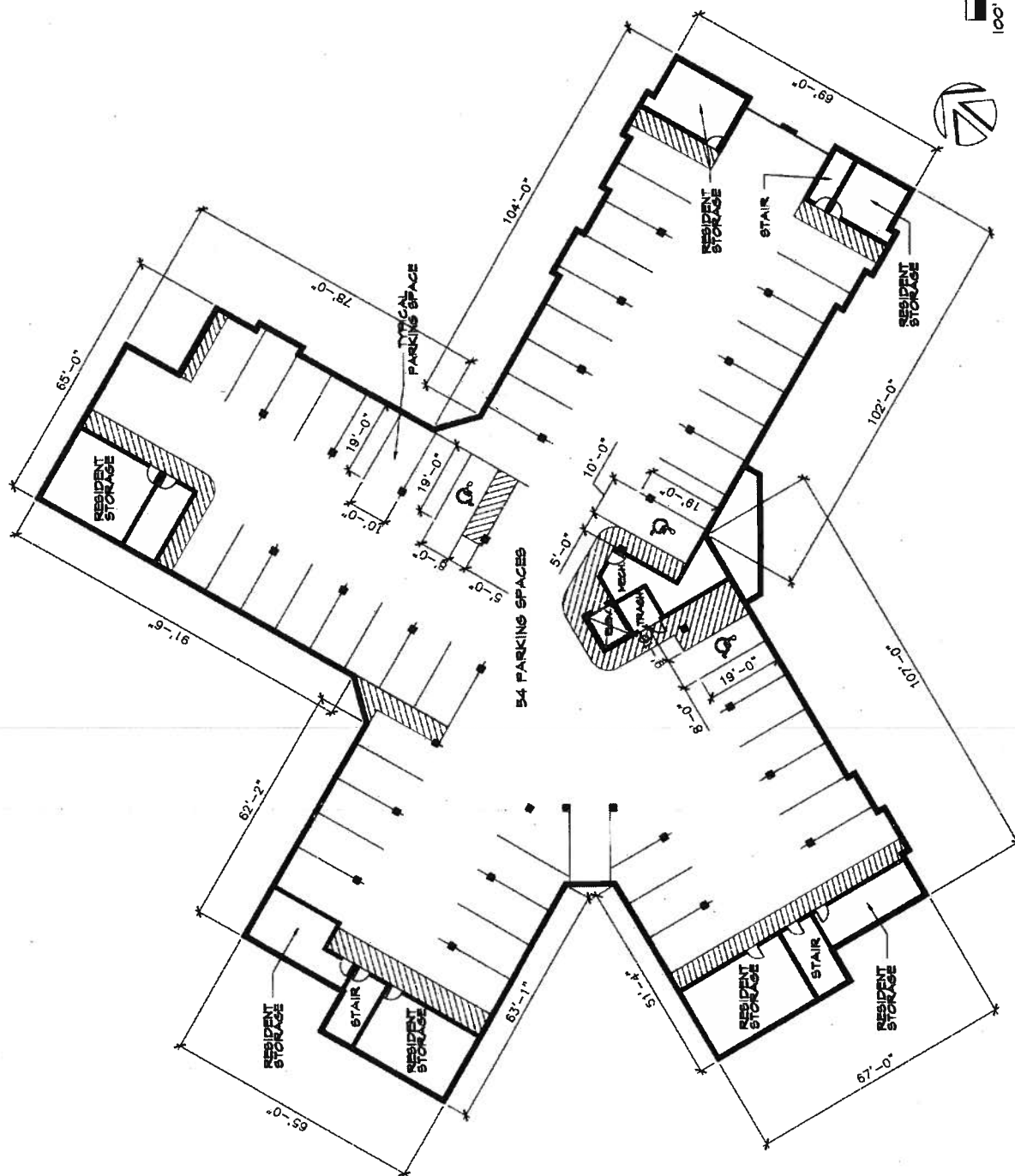
REPAYMENTS AND FEES

1. A cash security shall be posted to pay any costs incurred by the City to clean-up eroded soils and debris, repair damage to public or private property and improvements, install new BMPs, and stabilize and/or close-up a non-responsive or abandoned project. Any moneys used by the City for cleanup or damage will be drawn from this security and the grading permit will be revoked by written notice to the developer until the required cash security is replaced. The cleanup cash security shall be released upon final acceptance of the grading and improvements for this project. The amount of the cash security shall be 10% of the total estimated cost of the grading, drainage, landscaping, and best management practices items of work with a minimum of \$5,000 up to a maximum of \$50,000, unless a higher amount is deemed necessary by the Director of Engineering Services.
2. The developer shall be required to pay all development fees of the City then in effect at the time, and in such amounts as may prevail when building permits are issued, subject to the terms of the agreement to be entered into with the City that satisfies the Growth Management Ordinance.

SURVEYING AND MONUMENTATION

1. A current preliminary title report shall be submitted with the grading plans.

PARKING LEVEL PLAN



PROPOSED PROJECT PHG 13-0010

FIRST LEVEL PLAN

0 20' 50' 100'

Unit Details:

- UNIT 101: ONE BED, 714 SQ. FT.
- UNIT 102: TWO BED, 840 SQ. FT.
- UNIT 103: TWO BED, 828 SQ. FT.
- UNIT 104: TWO BED, 880 SQ. FT.
- UNIT 105: TWO BED, 825 SQ. FT.
- UNIT 106: TWO BED, 840 SQ. FT.
- UNIT 107: TWO BED, 812 SQ. FT.
- UNIT 108: TWO BED, 8134 SQ. FT.
- UNIT 109: TWO BED, 8283 SQ. FT.
- UNIT 110: TWO BED, 8283 SQ. FT.
- UNIT 111: TWO BED, 8171 SQ. FT.
- UNIT 112: TWO BED, 8283 SQ. FT.
- UNIT 113: TWO BED, 8283 SQ. FT.
- UNIT 114: ONE BED, 845 SQ. FT.
- UNIT 115: TWO BED, 8281 SQ. FT.
- UNIT 116: TWO BED, 8281 SQ. FT.
- UNIT 117: TWO BED, 8283 SQ. FT.
- UNIT 118: ONE BED, 8133 SQ. FT.
- UNIT 119: TWO BED, 8283 SQ. FT.
- UNIT 120: TWO BED, 8283 SQ. FT.
- UNIT 121: TWO BED, 8283 SQ. FT.
- UNIT 122: TWO BED, 8283 SQ. FT.

Other Features:

- STAIR
- LOBBY
- OFFICE
- CANOPY

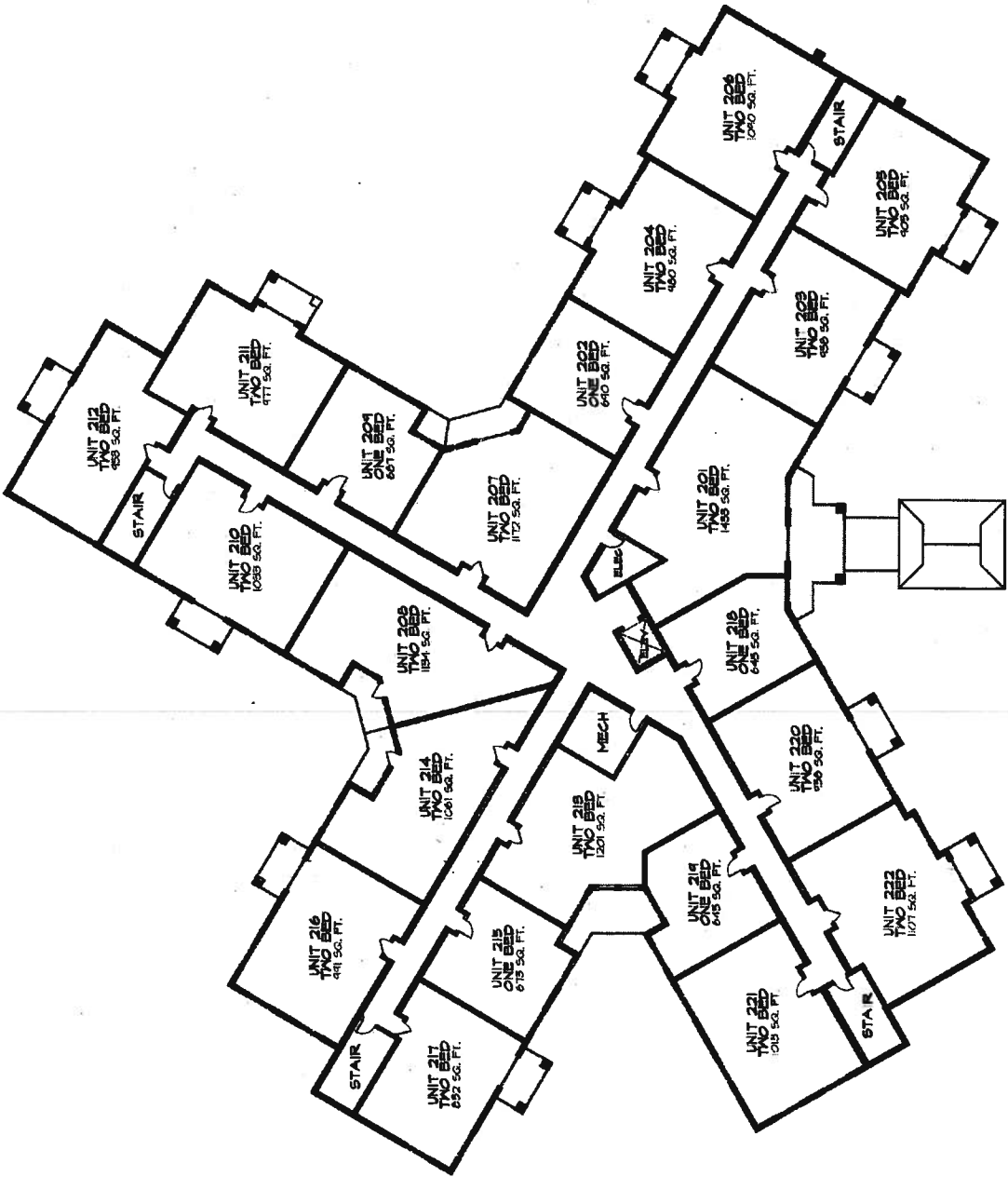
Dimensions:

- 83'-0"
- 19'-4"
- 15'-7"
- 72'-10"
- 101'-8"
- 81'-10"
- 30'-8"
- 5'-9"
- 27'-5"
- 39'-6"
- 67'-1"
- 57'-7"
- 51'-4"
- 65'-0"
- 28'-6"
- 11'-4"
- 53'-8"
- 88'-0"
- 10'-0"

26

PROPOSED PROJECT PHG 13-0010

27

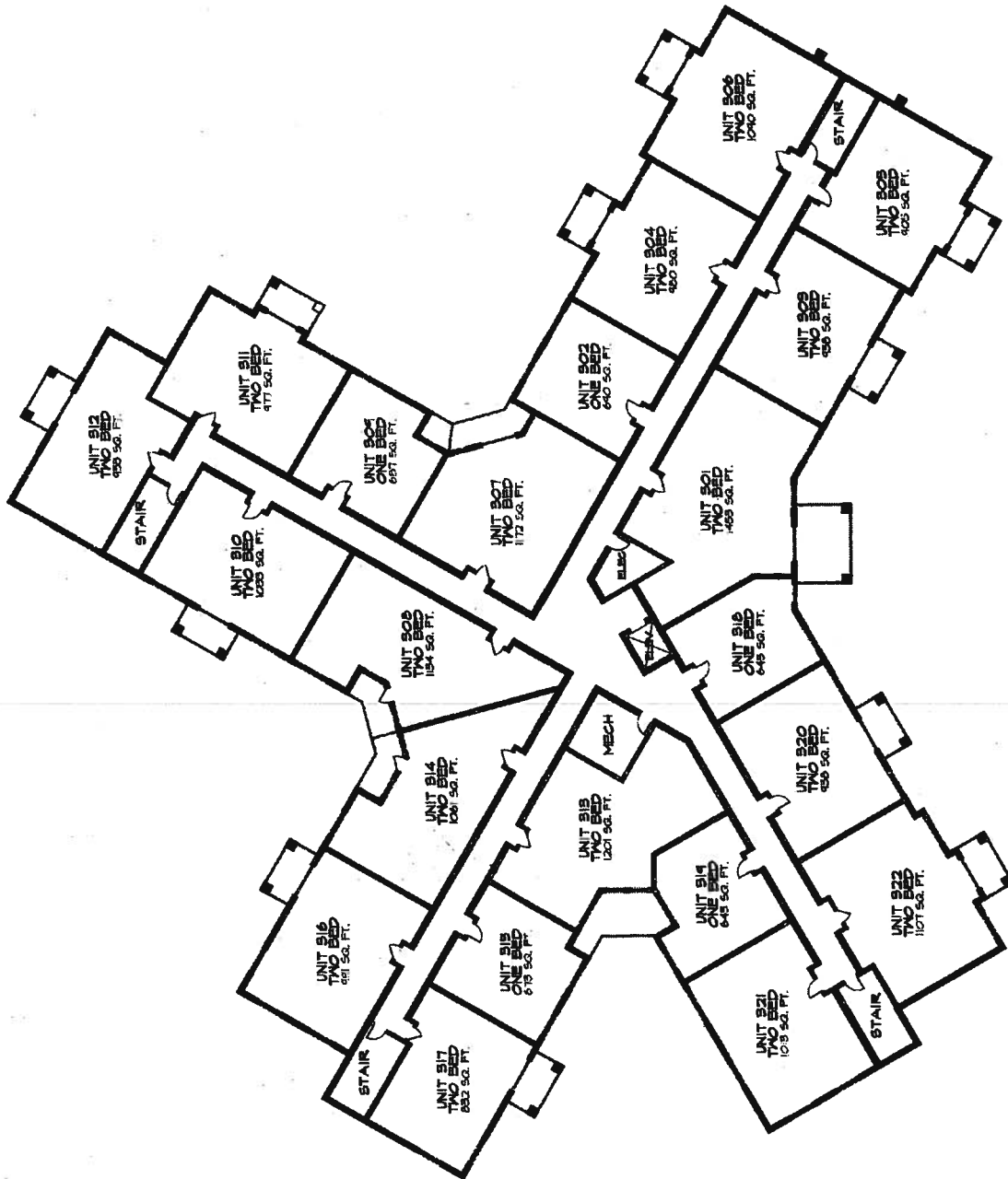


SECOND FLOOR:
(5) ONE BEDROOM UNITS
(17) TWO BEDROOM UNITS
(22) TOTAL

MEADOWBROOK VILLAGE
New Apartment Building
28,031 SQ. FT.

SECOND LEVEL PLAN





THIRD FLOOR:
(5) ONE BEDROOM UNITS
(17) TWO BEDROOM UNITS
(22) TOTAL

TOTAL OF 66 UNITS ON
ALL THREE LEVELS

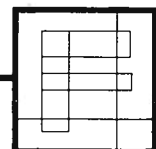
MEADOWBROOK VILLAGE

New Apartment Building
28,031 SQ. FT.

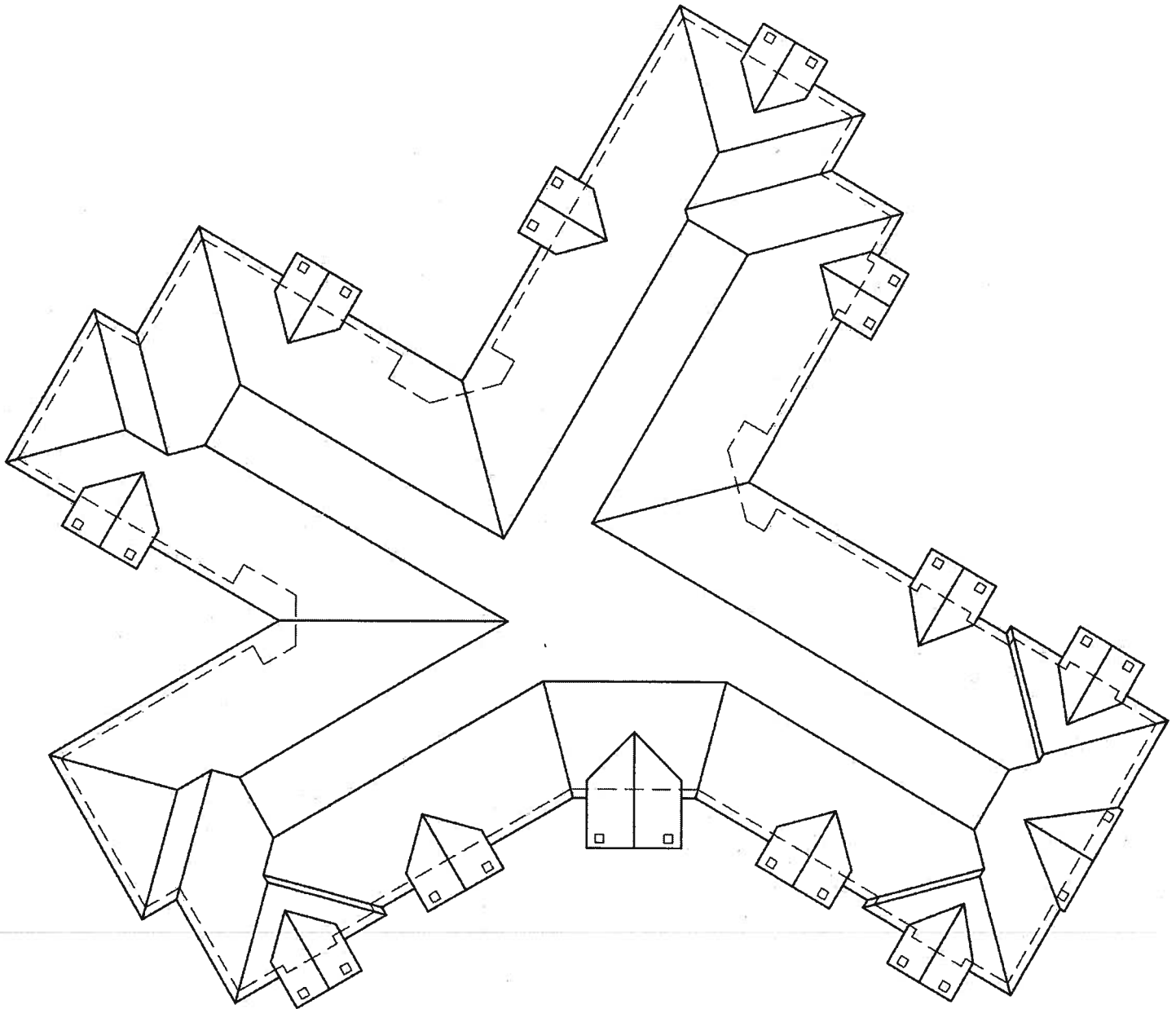
THIRD LEVEL PLAN



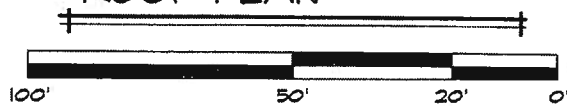
PROPOSED PROJECT
PHG 13-0010



FLOOR PLAN



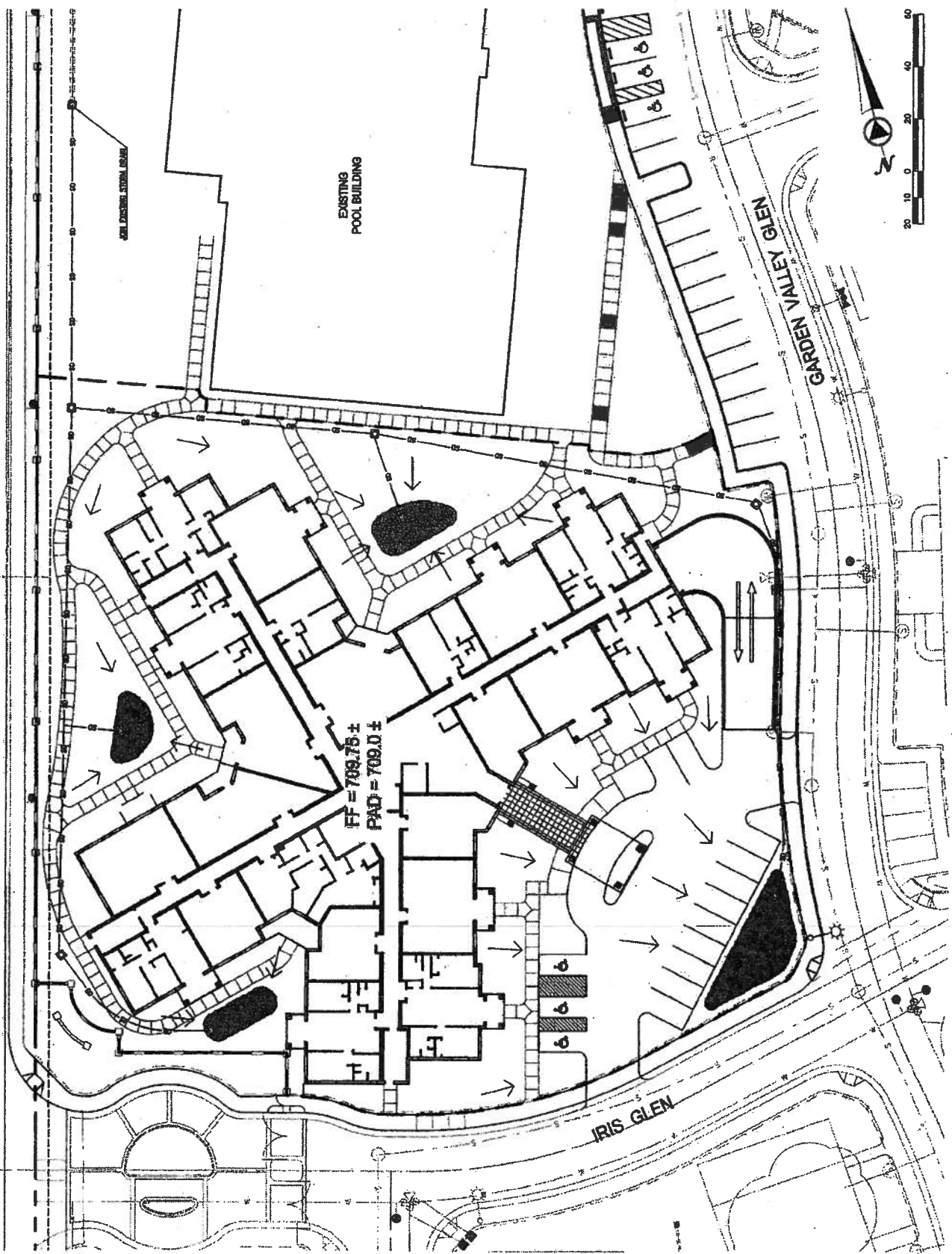
ROOF PLAN



**PROPOSED PROJECT
PHG 13-0010**



ROOF PLAN



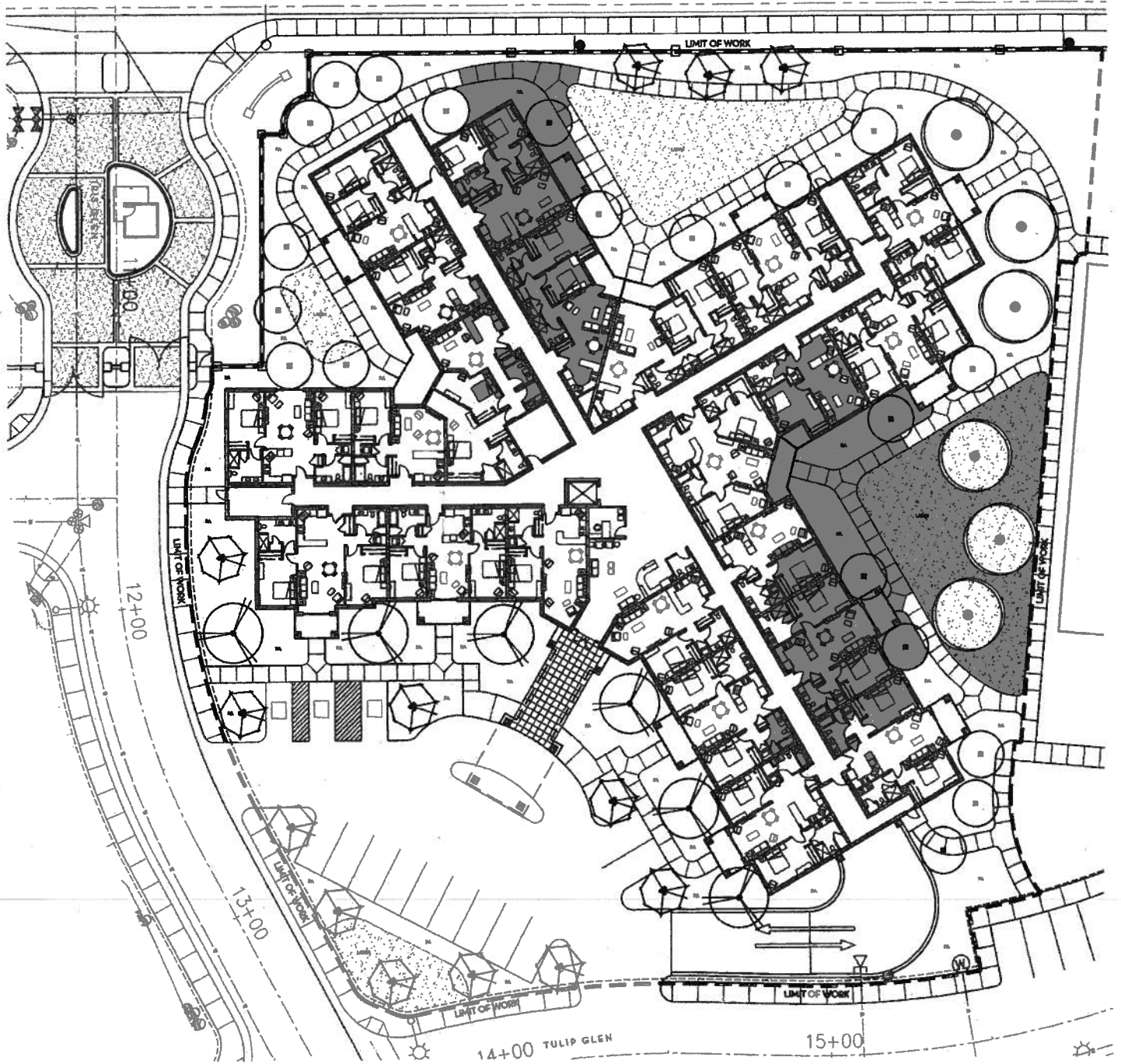
MEADOWBROOK VILLAGE APARTMENTS CONCEPTUAL GRADING PLAN

MEADOWBROOK VILLAGE
 New Apartment Building
 Total Sq. Ft. Above ground 84,093

**PROPOSED PROJECT
 PHG 13-0010**



GRADING PLAN



LANDSCAPE PLAN



**PROPOSED PROJECT
PHG 13-0010**



LANDSCAPE PLAN

ADDENDUM TO MITIGATED NEGATIVE DECLARATION – ER 2002-25

This addendum to the Mitigated Negative Declaration (MND) SCH No. 2003121019, for the Meadowbrook Care Facility, has been prepared in accordance with the California Environmental Quality Act (CEQA) Guidelines Section 15164. This addendum updates the MND that was prepared by the City of Escondido and approved by the Planning Commission on January 27, 2004. The MND is available for review at the City of Escondido Planning Department, located at 201 North Broadway, Escondido, CA 92025.

The purpose of the addendum is to evaluate the potential environmental effects of proposed modifications to the Meadowbrook Village retirement community by adding a three-story apartment building with 66 units, which would result in a net increase of 54 independent/semi-independent living units over that previously approved. Additionally, the applicant proposes to add three emergency backup generators. A modification to the existing conditional use permit will be required for the project. This addendum is intended to evaluate the potential impacts of the proposed additions to the senior care facility to determine if the changes and additions beyond that analyzed in the MND meet any of the requirements for preparation of a subsequent or supplemental MND per Sections 15162-15163 of the State CEQA Guidelines. These sections of the CEQA Guidelines would require a Subsequent or Supplemental MND if any of the following occur:

- Substantial changes are proposed in the project which will require major revisions of the previous MND due to the involvement of a new significant environmental effects or a substantial increase in the severity of previously identified significant effects;
- Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identify significant effects;
or
- New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous MND was adopted as complete, shows any of the following:
 - The project will have one or more significant effects not discussed in the previous MND;
 - Significant effects previously examined will be substantially more severe than shown in the previous MND;
 - Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternative;
or
 - Mitigation measures or alternatives which are considerably different from those analyzed in the previous MND would substantially

reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

Section 15164 of the State CEQA Guidelines states that an Addendum to an MND may be prepared "if some changes or additions are necessary, but none of the conditions described in Section 15162 calling for preparation of a subsequent MND have occurred." If none of the aforementioned conditions are met, a subsequent or supplemental MND is not required. Rather, an agency can:

- Decide that no further environmental documentation is necessary; or
- Require that an addendum be prepared.

Since the CUP modification proposes constructing additional units and adding three emergency back-up generators, City staff has determined that preparation of an addendum is appropriate.

ADDENDUM TO MITIGATED NEGATIVE DECLARATION

for the Meadowbrook Care Facility, SCH No. 2003121019

Current Case File PHG13-0010

Project Description: A request for a modification to a previously-approved Conditional Use Permit (2009-69-CUP), and subsequent modifications, to reconfigure and increase the number of independent/semi-independent living units by constructing a three-story (84,093 SF) apartment building containing 66 units with underground parking, and adding three emergency backup generators within the Meadowbrook Village retirement community, City File No. PHG 13-0010.

Applicant: Brent Cooper, Meadowbrook Village Retirement Community

Project Location: Approximately 25 acres located between North Broadway and Iris Lane, south of Village Road (APN 224-302-17, 226-840-14 & 15), addressed as 100 Holland Glen.

PROJECT DISCUSSION:

In 2004, the Planning Commission approved the Conditional Use Permit 2002-69-CUP for a 143-unit senior care/retirement facility. A Mitigated Negative Declaration (ER 2002-25) was prepared for the project and considered together with all comments received during the CEQA public review process. Based on the whole record (including the Initial Study and any comments received), the City determined that there was no substantial evidence that the original project would have a significant effect on the environment that could not be mitigated to below the level of significance. A Mitigated Negative Declaration reflecting the City's independent judgment and analysis was adopted on January 27, 2004 for the original Conditional Use Permit, Case No. 2002-69-CUP / ER 2002-25. The MND included mitigation measures to address drainage, traffic, biological resources, cultural resources, noise impacts, and hazardous materials. The mitigation was completed with the initial construction of the facilities.

In 2008 the Planning Commission approved a modification (PHG 08-0012) to add two units in an existing storage area within the existing congregate care building. It was determined to be exempt from CEQA pursuant to Section 15301, Existing Facilities. The second modification (PHG 09-0010) modified the recreation/pool building and added a three-story windmill commons building with two more apartments. An Addendum to the MND was prepared for this project and the Planning Commission approved the Addendum and the requested modification.

In 2010, the Planning Commission approved a third modification (PHG 10-0019), which added a small parking lot and redesigned the full care skilled nursing/Alzheimer's building to accommodate a total of 46 beds. An Addendum to the MND was prepared for that modification as the potential impacts did not meet any of the requirements for preparation of a subsequent or supplemental MND pursuant to Sections 15162-15163 of the State CEQA Guidelines. The currently approved unit mix is 55 assisted living apartments, 65 independent/semi-independent units (single-cottage & duplex units), and 46 full care skilled nursing beds.

The proposed project would construct a three-story apartment building with 66 units and 68 parking spaces, and add three emergency backup generators. The resulting unit mix would increase the number of assisted living apartments by 54 units for a total of 174 units and would maintain 46 full-care skilled nursing beds.

To address any potential impacts raised by the proposed modification, the City has gathered information regarding the potential for increased traffic/circulation impacts and any associated generation of Green House Gas created by the proposed additional units; potential increased noise impacts created by the proposed emergency generators; and potential aesthetic impacts of the proposed three-story apartment building. Therefore, since the MND has already been adopted by the Planning Commission, the City has prepared an Addendum for the purpose of including this supplemental documentation in the CEQA record. In making the determination to prepare an Addendum, the City has determined that none of the conditions specified in Section 15162 of the CEQA Guidelines, which call for the preparation of a subsequent environmental document, are present with respect to the current project.

This Addendum has been prepared in accordance with Sections 15164 and 15162 of the State CEQA Guidelines.

ENVIRONMENTAL FINDINGS:

Based on a review of the Initial Study/MND and the changes proposed in the revised plans, the City has determined that information about four issues should be included in the addendum: 1) Transportation and Circulation, 2) Air Quality, 3) Noise, and 4) Aesthetics. The following addresses each of these items.

Transportation and Circulation:

The requested modification to construct 66 independent/semi-independent living units would result in a net increase of 54 independent/semi-independent units, as 12 units of the 120 previously approved units have not been constructed. The city engineering staff determined that the 54 units would generate an additional 216 average daily trips based on the same Sandag trip generation rate of 4 trips/unit in a retirement community that was used in the MND.

The original project MND adopted for the approved retirement community required mitigation for potential traffic increases resulting from the cumulative impacts of the

project. The required mitigation was completed with the initial construction of the retirement community. The city engineering staff confirms that the mitigation implemented for the original project will accommodate the additional units without causing significant project level or cumulative impacts to surrounding intersections or roadway segments. No other mitigation is required or recommended as a result of the proposed traffic generation for the additional units.

City staff has reviewed the parking for the project modification and determined that the proposed increased number of independent living units will not have a significant impact as 68 parking spaces are proposed for the units with 54 spaces located under the building and 14 at-grade spaces located at the main apartment building entry. With the addition of these proposed parking spaces, a total of 423 parking spaces would be provided throughout the retirement community. The minimum number of parking spaces required with the additional units would be 321 spaces overall. Since 102 parking spaces over the minimum required would be provided, the determination can be made that the proposal will not cause a negative impact to on-site parking.

Air Quality

The Mitigated Negative Declaration for the original project indicated that potential air quality impacts from the project would be directly related to the number of vehicle trips generated by the facility (737 ADT) and operation levels on adjacent streets and intersections. The MND concluded that APCD air quality thresholds would not be exceeded as a result of the number of vehicle trips generated by the residential project. The net increase of 54 residential units proposed by this modification, which would generate 216 ADT, will not have a significant impact on the operations of adjacent streets and intersections. Acceptable levels of service will be maintained.

Emergency Generator–Related Emissions

Three institutional, emergency diesel generators (two 500 kW and one 400 KW) are proposed to provide the necessary power to operate all of the essential care equipment for the assisted living units, congregate care building and the skilled nursing facility during a power failure. The generators would not operate except during a power outage, although they will be tested monthly for maintenance purposes. Standby generators generally operate less than 52 hours per year as required by the Air Pollution Control District (APCD) when not under emergency conditions. Emissions would occur only during emergency power-outages, and for a very short time while performing maintenance checks and operator training. Therefore, the proposed standby generators would not create significant adverse emissions due to the limited amount of hours that they would be operating.

Construction-Related Emissions

Sources of construction-related air emission include: fugitive dust from grading activities, construction equipment exhaust, construction-related trips by worker, delivery trucks and material hauling trucks and construction related power consumption. Due to the small amount of grading anticipated with the construction

of the building and parking, and with the appropriate use of grading and operations procedures in conformance with APCD Best Management Practices for dust control, the Escondido Grading Ordinance and erosion control requirements, the project would not generate significant particulate matter or dust. Emissions from construction equipment and related truck trips and construction-related power consumption would be temporary and would result in an extremely small contribution to the air basin. Therefore, the construction of the project will not have a significant impact on air quality.

While the proposed project would have an incremental impact to basin-wide air quality issues resulting from the cumulative impacts of thousands of sources, the individual impacts attributed to this project are immeasurably small on a regional scale and will not cause ambient air quality standards to be exceeded. Since the project would not materially degrade the levels of service on adjacent streets and intersection, and would not violate daily emissions thresholds, the subject project will not have a significant impact on air quality.

Noise

Interior Noise - The original Mitigated Negative Declaration identified potential interior noise impacts to the upper floors of the buildings from vehicle traffic on North Broadway and Iris Lane and required sound attenuation mitigation. Sound walls were constructed adjacent to the public streets and a condition/mitigation measure was adopted requiring a supplemental acoustical analysis prior to approval of building plans to confirm that interior noise levels would meet the 45 CNEL standards. The same circumstances would apply to the proposed 3-story building. Typical residential construction generally achieves at least 15 dB noise attenuation in rooms, even with windows open. Since the new building would be subject to the same mitigation conditions requiring enhanced construction and an acoustical analysis at the time building plans are submitted, no significant interior noise impacts will occur.

Exterior Noise - Potential exterior noise impacts may occur from the 3 emergency generators that would be run only during power outages and for a short test period every month. However, since the generators will be located within two 8-foot high block enclosures, which will be constructed 80+ feet away from the westerly property boundary, significant noise impacts are not anticipated. The preliminary noise calculations indicate that city noise standards will not be exceeded at the property lines. A supplemental acoustic analysis will be required prior to finalizing the installation of the generators to confirm that the noise levels at property line are within city thresholds. With adherence to the previous mitigation measures, potential noise impacts will be reduced to less than significant levels.

Aesthetics and Public Views:

As described in the MND for the original project, there are no designated scenic vistas nearby or across the project site. The height of the proposed three-story apartment building could potentially affect the visual character of the site. The building would be located near the westerly boundary and North Iris Lane within the

perimeter screen wall around the community, in the area originally designated for one- and two-story individual and duplex units. To the north are the aquatic center and the congregate care building at 35-feet high. South of the proposed building is the entrance road of the retirement village and one- and two-story individual and duplex units. East of the building site are more one- and two-story units, the 3-story, 35-foot tall windmill commons building and the 85-foot tall windmill. Further east and southeast are two-story apartment buildings, a church and a private school. West of Iris Lane are scattered one- and two-story homes located in the county.

The 44-foot height of the proposed three-story building would not create a significant impact in the area since it is similar in height to the congregate care and windmill commons buildings, and the architectural detailing and materials will match these existing buildings. The building would be 31-feet to the third floor plate height with a pitched roof to 44-feet high at the top of the equipment well. The standard building height in the R-1 zone is 35-feet. However, Zoning Code Section 33-1075 allows higher roof structures to house ventilation and elevator equipment, if the area is not habitable. The proposed building would have no units above the third floor and the roof design and dormers are similar to the 3-story windmill commons building and the 2-story congregate care building. The windmill reaches about 80-feet high. The proposed building will be set back 15-feet from the westerly property line and screened by the perimeter wall and landscaping. Since the proposed building is designed in an "X" configuration, the walls are not parallel with the road and actually recede back from the property line an additional 60+ feet. The design of the building will have less than significant impact to the neighbors and adjacent housing given the distance of the proposed building from the nearest neighbor, and the fact that it will blend and be integrated into the existing buildings of the retirement community through the same quality of design and materials and the screening provided by the existing buildings, perimeter walls and landscaping.

Additional parking will be provided for the units with 54 spaces located below-grade under the building. In addition, 14 at-grade parking spaces are proposed at the main entrance to the building on the southeast side, facing the interior of the retirement community. The proposed parking will not have an impact on neighbors since the bulk of the parking will be below grade under the building and the at-grade spaces will be screened by the existing perimeter block wall and parkway landscaping.

The three proposed emergency generators would be located within two new eight-foot high masonry block enclosures located between on-site buildings. These enclosures would be setback more than 85-feet and 135-feet from the westerly property line. The generators will be screened from public view by the block enclosures, other buildings in the complex and the perimeter landscaping and parkway wall of the retirement development.



CITY OF ESCONDIDO
PLANNING DIVISION
201 NORTH BROADWAY
ESCONDIDO, CA 92025-2798
(760) 839-4671

MITIGATED NEGATIVE DECLARATION

MEADOWBROOK CARE FACILITY, EIGHTEEN-LOT SUBMDIVISION AND FOUR-LOT PARCEL MAP (ER 2002-25, 2002-69-CUP, 2003-43-DP/DA, TR 864, AND PM 2003-20, 2003-02-GPA)

Case Number: ER 2002-25, 2002-69-CUP, 2003-43-DP/DA, TR 864, PM 2003-20, 2003-02-GPA

Date Issued: December 2, 2003

Public Review Period: December 2, 2003 – December 31, 2003

Location: The proposed Care Facility is located south of Village Lane, West of North Broadway Avenue, East of Iris Lane, and north of Reidy Creek (APNs 226-840-14, -15, and 224-300-17), the proposed Tentative Map is located East of North Broadway, north of Stanley Avenue (APN 224-130-54), the Parcel Map is located north and east of Cheyenne Lane, on the east side of North Iris Lane (APN 226-840-13).

Addresses: Component 1: 2124 North Iris Lane, Component 2: West of Broadway Avenue, North of Stanley Avenue, Component 3: West of Cheyenne Lane

Project Description: The Stewardship Foundation has submitted a Conditional Use Permit for a proposed care facility with 143 units. It is proposed to be a combination of detached units, critical care facility, and Alzheimer's unit. The project will also include improvements to Reidy Creek and North Broadway to address flooding along Broadway. The proposed development consists of 65 semi-independent units, 51 congregate/assisted living units, and 27 Alzheimer's units with associated public infrastructure improvements such as circulation, franchise utilities, storm drains, and water and sewer lines. The existing structures are proposed to be demolished. A General Plan Amendment to the Circulation Element is included to redesignate the portion of North Broadway from Rincon Avenue to Vista Avenue from a Major Road to a Collector.

The proposal also includes an 18-lot subdivision for 17 single-family residential units located east of the proposed care facility. The applicant proposes clustering of the units on 8.5 acres located in the PD-R 5.5 zone (Planned Development Residential 5.5/dwelling units/acre). The proposal also includes a development plan for the development of the residences. The 18th lot will provide a portion of the on-site mitigation for the biological impacts of the project.

The third component of the environmental review is a 4-lot parcel map located to the south of the proposed care facility for the purpose of developing four single-family residences and is located between Iris Lane and North Broadway with access taken from Iris Lane. A portion of this site will also provide a portion of the mitigation area for biological impacts.

Applicant: Stewardship Foundation

An Initial Study has been prepared to assess this project as required by the California Environmental Quality Act and Guidelines as well as Ordinances and Regulations of the City of Escondido. The Initial Study is on file at the City of Escondido Planning Division.

Findings: The finding of this review are that the Initial Study identified biology, circulation/traffic, hydrology, noise, and hazardous material impacts that may be potentially significant, but mitigation measures would reduce potential impacts to a less than significant level.


Diana Delgadillo
Associate Planner



CITY OF ESCONDIDO
Planning Division
201 North Broadway
Escondido, CA 92025-2798
(760) 839-4671

Environmental Checklist Form

1. Project title: Conditional Use Permit, Subdivision, Parcel Map, Development Plan, and Development Agreement and General Plan Amendment for Meadowbrook Village/Residential
2. Lead agency name and address: City of Escondido, 201 North Broadway, Escondido, CA 92025

3. Contact person and phone number: Diana Delgadillo, Associate Planner
4. Project location: Between Iris Lane and North Broadway, and east of North Broadway (APNs 224-300-17 and 226-840-13, -14, -15, 224-130-54, and 226-840-13)
5. Project sponsor's name and address: Stewardship Foundation, 1508 West Mission Road, Escondido, CA 92029

6. General Plan designation: Urban 1(UI) and Suburban (S)
7. Zoning: R-1-10, PD-R 5.5
8. Description of project: (Describe the whole action involved, including, but not limited to, later phases of the project and any secondary, support, or off-site features necessary for its implementation. Attach additional sheets if necessary.)
See Attached
9. Surrounding land uses and setting (briefly describe the project's surroundings):
North: Village Road and single-family residences
South: Undeveloped land, a single-family residence, and River Village townhomes
East: N. Broadway, undeveloped land, Calvin Christian High School, Calvin Christian School
West: Single-family residences
10. Other public agencies whose approval is required (e.g., permits, financing approval, or participation agreement).

California Department of Fish and Wildlife, Army Corps of Engineers, Regional Water Quality,
Department of Fish and Game

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

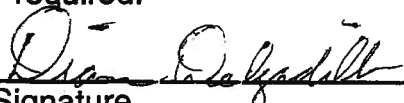
The environmental factors checked below potentially would be affected by this project involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- | | | |
|---|---|--|
| ☐ Aesthetics | ☐ Agriculture Resources | ☐ Air Quality |
| ☒ Biological Resources | ☒ Cultural Resources | ☒ Geology/Soils |
| ☒ Hazards & Hazardous Materials | ☒ Hydrology/Water Quality | ☐ Land Use/Planning |
| ☐ Mineral Resources | ☒ Noise | ☐ Population/Housing |
| ☐ Public Services (Fire) | ☐ Recreation | ☒ Transportation/Traffic |
| ☐ Utilities/Service Systems | ☐ Mandatory Findings of Significance | |

DETERMINATION: (To be completed by the Lead Agency)

On the basis of this initial evaluation:

- ☐ I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION shall be prepared.
- ☒ I find that, although the proposed project might have a significant effect on the environment, there would not be a significant effect in this case because revisions in the project have been made by, or agreed to, the project proponent. A MITIGATED NEGATIVE DECLARATION shall be prepared.
- ☐ I find that the proposed project might have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT shall be required.
- ☐ I find that the proposed project might have a "potentially significant impact" or "potentially significant unless mitigated impact" on the environment, but at least one effect: 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT shall be required, but it must analyze only the effects that remain to be addressed.
- ☐ I find that, although the proposed project might have a significant effect on the environment, because all potentially significant effects: (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further shall be required.


Signature

December 1, 2003
Date

Diana Delgadillo
Printed Name

City of Escondido
For

EVALUATION OF ENVIRONMENTAL IMPACTS:

1. A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project would not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
2. All answers must take into account the whole action involved, including off-site, on-site, and cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. Once the lead agency has determined that a particular physical impact might occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect might be significant. If there are one or more "Potentially Significant Impact" entries once the determination is made, an EIR shall be required.
4. "Negative Declaration: Less Than Significant with Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Than Significant Impact." The lead agency must describe the mitigation measures and briefly explain how they reduce the effect to a less than significant level (mitigation measures from Section XVII, "Earlier Analyses," may be cross-referenced).
5. Earlier analyses may be used where an effect has been adequately analyzed in an earlier EIR or Negative Declaration, pursuant to the tiering, program EIR, or other CEQA. Section 15063(c)(3)(D). In this case, a brief discussion should identify the following:
 - a. Earlier Analysis Used. Identify and state where it is available for review.
 - b. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of an adequately analyzed earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c. Mitigation Measures. For effects that are "Less than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
6. Lead agencies are encouraged to incorporate references to information sources for potential impacts into the checklist (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
7. Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.

8. This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies normally should address the questions from this checklist that are relevant to a project's environmental effects in whatever format is selected.
9. The explanation of each issue should identify:
 - a. The significance of criteria or threshold, if any, used to evaluate each question; and
 - b. The mitigation measure identified, if any, to reduce the impact to less than significant

SAMPLE QUESTION

Issues:

Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
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I. LAND USE AND PLANNING

Would the project:

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a. Physically divide an established community? (1) | ☐ | ☐ | ☐ | ☒ |
| b. Conflict with any applicable land-use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to, the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect? (1, 3) | ☐ | ☐ | ☐ | ☒ |
| c. Conflict with any applicable habitat conservation plan or natural community conservation plan? (1, 2) | ☐ | ☐ | ☐ | ☒ |
| d. Have a substantial adverse effect on a scenic vista? (1, 8) | ☐ | ☐ | ☐ | ☒ |
| e. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway? (7,9) | ☐ | ☐ | ☐ | ☒ |
| f. Substantially degrade the existing visual character or quality of the site and its surroundings? (7, 9) | ☐ | ☐ | ☐ | ☒ |
| g. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area? (7, 9) | ☐ | ☐ | ☐ | ☒ |

II. AGRICULTURE RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. Would the project:

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use? (1, 2) | ☐ | ☐ | ☐ | ☒ |
| b. Conflict with existing zoning for agricultural use, or a Williamson Act contract? (1, 2) | ☐ | ☐ | ☐ | ☒ |

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
c. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use? (1, 2)	☐	☐	☐	☒

III. TRANSPORTATION/TRAFFIC

Would the project:

a. Cause an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system (e.g., result in a substantial increase in either the number of vehicle trips, the volume-to-capacity ratio on roads, or congestion at intersections)? (2, 4, 9)	☐	☒	☐	☐
b. Exceed, either individually or cumulatively, a level of service standard established by the county congestion management agency for designated roads or highways? (2, 4, 9)	☐	☒	☐	☐
c. Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks? (2, 4, 9)	☐	☐	☐	☒
d. Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? (2, 4, 9)	☐	☐	☐	☒
e. Result in inadequate emergency access? (2, 8, 9)	☐	☐	☐	☒
f. Result in inadequate parking capacity? (2, 8, 9)	☐	☐	☐	☒
g. Conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., bus turnouts, bicycle racks)? (1, 2, 8)	☐	☐	☐	☒

IV. AIR QUALITY

Where applicable, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

a. Conflict with or obstruct implementation of the applicable air quality plan? (2, 4)	☐	☐	☒	☐
b. Violate any air quality standard or contribute substantially to an existing or projected air quality violation? (2, 9)	☐	☐	☒	☐

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
c. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)? (2, 9)	☐	☐	☒	☐
d. Expose sensitive receptors to substantial pollutant concentrations? (2, 9)	☐	☐	☒	☐
e. Create objectionable odors affecting a substantial number of people? (2, 9)	☐	☐	☐	☒

V. BIOLOGICAL RESOURCES

Would the project:

a. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? (1, 2, 8, 10)	☐	☒	☐	☐
b. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? (1, 2, 8, 10)	☐	☒	☐	☐
c. Have a substantial adverse effect on federally projected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means? (1, 2, 8, 10)	☐	☒	☐	☐
d. Interfere substantially with the movement of any native resident or migratory fish or wildlife species, or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites? (1, 2, 8)	☐	☐	☒	☐
e. Conflict with any local policies or ordinances protecting biological resources such as a tree preservation policy or ordinance? (1, 2)	☐	☐	☐	☒
f. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan? (1, 2)	☐	☒	☐	☐

Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
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VI. CULTURAL RESOURCES

Would the project:

- | | | | | |
|--|--------------------------|-------------------------------------|--------------------------|-------------------------------------|
| a. Cause a substantial adverse change in the significance of a historical resource as defined in §15064.5? (1, 2, 11) | ☐ | ☒ | ☐ | ☐ |
| b. Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5? (1, 2, 11) | ☐ | ☐ | ☐ | ☒ |
| c. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature? (1, 2, 11) | ☐ | ☐ | ☐ | ☒ |
| d. Disturb any human remains, including those interred outside of formal cemeteries? (1, 2, 11) | ☐ | ☐ | ☐ | ☒ |

VII. GEOLOGY AND SOILS

Would the project:

- | | | | | |
|---|--------------------------|--------------------------|-------------------------------------|-------------------------------------|
| a. Expose people or structures to potentially substantial adverse effects, including the risk of loss, injury, or death involving: | | | | |
| i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42. (1, 2) | ☐ | ☐ | ☒ | ☐ |
| ii. Strong seismic ground shaking? (1, 2) | ☐ | ☐ | ☒ | ☐ |
| iii. Seismic-related ground failure, including liquefaction? (1, 2) | ☐ | ☐ | ☒ | ☐ |
| iv. Landslides? (1, 2) | ☐ | ☐ | ☐ | ☒ |
| b. Result in substantial soil erosion or the loss of topsoil? (1, 2) | ☐ | ☐ | ☐ | ☒ |
| c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse? (1, 2) | ☐ | ☐ | ☐ | ☒ |
| d. Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property? (1, 2) | ☐ | ☐ | ☐ | ☒ |

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
e. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater? (8)	☐	☐	☐	☒

VIII. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials? (1, 2, 9)	☐	☐	☐	☒
b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? (1, 2, 9)	☐	☒	☐	☐
c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school? (1, 2, 9)	☐	☐	☐	☒
d. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment? (6)	☐	☐	☐	☒
e. For a project located within an airport land-use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in safety hazard for people residing or working in the project area? (1)	☐	☐	☐	☒
f. For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area? (1)	☐	☐	☐	☒
g. Impair implementation of, or physically interfere with, an adopted emergency response plan or emergency evacuation plan? (1, 2)	☐	☐	☐	☒
h. Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands? (1, 2)	☐	☐	☐	☒

Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
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IX. HYDROLOGY AND WATER QUALITY

Would the project:

- | | | | | |
|---|--------------------------|-------------------------------------|-------------------------------------|-------------------------------------|
| a. Violate any water quality standards or waste discharge requirements, including but not limited to increasing pollutant discharges to receiving waters (Consider temperature, dissolved oxygen, turbidity and other typical storm water pollutants)? (1, 2, 8) | ☐ | ☐ | ☒ | ☐ |
| b. Have potentially significant adverse impacts on ground water quality, including but not limited to, substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)? (1, 2, 8) | ☐ | ☐ | ☒ | ☐ |
| c. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river in a manner which would result in substantial/increased erosion or siltation on- or off-site? (1, 2, 8) | ☐ | ☒ | ☐ | ☐ |
| d. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site and/or significant adverse environmental impacts? (1, 2, 8) | ☐ | ☐ | ☐ | ☒ |
| e. Cause significant alteration of receiving water quality during or following construction? (8) | ☐ | ☐ | ☐ | ☒ |
| f. Cause an increase of impervious surfaces and associated runoff? | ☐ | ☐ | ☒ | ☐ |
| g. Create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff? (1, 2, 8) | ☐ | ☐ | ☒ | ☐ |
| h. Cause potentially significant adverse impact on ground water quality? (1, 2, 8) | ☐ | ☐ | ☐ | ☒ |
| i. Cause or contribute to an exceedance of applicable surface or ground water receiving water quality objectives or degradation of beneficial uses? (1, 2) | ☐ | ☐ | ☐ | ☒ |
| j. Is the project tributary to an already impaired water body, as listed on the Clean Water Act Section 303(d) list? If so, can it result in an increase in any pollutant for which the water body is already impaired? (1, 2, 8) | ☐ | ☐ | ☐ | ☒ |

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
k. Create or exacerbate already existing environmentally sensitive areas? (1, 2)	☐	☐	☒	☐
l. Create potentially significant environmental impact on surface water quality, to either marine, fresh, or wetland waters? (1, 2, 10)	☐	☐	☐	☒
m. Impact aquatic, wetland or riparian habitat? (1, 2)	☐	☐	☐	☒
n. Otherwise substantially degrade water quality? (1, 2)	☐	☐	☐	☒
o. Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map? (1, 2)	☐	☒	☐	☐
p. Place within a 100-year flood hazard area structures which would impede or redirect flood flows? (1,2)	☐	☒	☐	☐
q. Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam? (1, 2)	☐	☐	☐	☒
r. Inundation by seiche, tsunami, or mudflow? (1, 2, 9)	☐	☐	☐	☒

X. MINERAL RESOURCES

Would the project:

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state? (1,2) | ☐ | ☐ | ☐ | ☒ |
| b. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan, or other land-use plan? (1, 2) | ☐ | ☐ | ☐ | ☒ |

XI. NOISE

Would the project result in:

- | | | | | |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a. Exposure of persons to, or generation of, noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies? (1, 2, 9) | ☐ | ☐ | ☒ | ☐ |
| b. Exposure of persons to, or generation of, excessive groundborne vibration or groundborne noise levels? (1, 2, 9) | ☐ | ☐ | ☒ | ☐ |

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
c. A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project? (1, 2, 9)	☐	☐	☒	☐
d. A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project? (1, 2, 9)	☐	☐	☒	☐
e. For a project located within an airport land-use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels? (1, 2, 9)	☐	☐	☐	☒
f. For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels? (1, 2, 9)	☐	☐	☐	☒

XII. POPULATION AND HOUSING

Would the project:

a. Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)? (1, 2)	☐	☐	☒	☐
b. Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere? (1, 2)	☐	☐	☐	☒
c. Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere? (1, 2)	☐	☐	☐	☒

XIII. PUBLIC SERVICES

Would the project:

- a. Result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

Fire protection? (2, 8)	☐	☐	☐	☒
Police protection? (2, 8)	☐	☐	☐	☒
Schools? (2, 8)	☐	☐	☐	☒
Parks? (2, 8)	☐	☐	☐	☒

Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
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Other public facilities? (2, 8)

☐	☐	☐	☒
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XIV RECREATION

a. Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated? (1, 2, 8)

☐	☐	☒	☐
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b. Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment? (1, 2, 8)

☐	☐	☐	☒
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XV. UTILITIES AND SERVICE SYSTEMS

Would the project:

a. Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board? (1, 2)

☐	☐	☐	☒
--------------------------	--------------------------	--------------------------	-------------------------------------

b. Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? (1, 2, 8)

☐	☐	☐	☒
--------------------------	--------------------------	--------------------------	-------------------------------------

c. Require, or result in, the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? (1, 2, 8)

☐	☐	☐	☒
--------------------------	--------------------------	--------------------------	-------------------------------------

d. Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed? (1, 2, 8)

☐	☐	☐	☒
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e. Result in a determination by the wastewater treatment provider which serves, or may serve, the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments? (2, 8)

☐	☐	☐	☒
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f. Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs? (2, 8)

☐	☐	☐	☒
--------------------------	--------------------------	--------------------------	-------------------------------------

g. Comply with federal, state, and local statutes and regulations related to solid waste? (2)

☐	☐	☐	☒
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Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
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XVI MANDATORY FINDINGS OF SIGNIFICANCE

- | | | | | |
|---|--------------------------|--------------------------|-------------------------------------|-------------------------------------|
| a. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number, or restrict the range, of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory? | ☐ | ☐ | ☐ | ☒ |
| b. Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.) | ☐ | ☐ | ☒ | ☐ |
| c. Does the project have environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly? | ☐ | ☐ | ☐ | ☒ |

Source of Information/Material Used in Preparation of this Analysis

1. Escondido General Plan – 1990
2. Escondido General Plan EIR
3. Escondido Zoning Code and Land Use Map
4. SANDAG Summary of Trip Generation Rates
5. Escondido Drainage Master Plan (1995)
6. County of San Diego Health Department, Hazardous Material Management Division (HMMD) Hazardous Sites List
7. Site Visits/Field Inspection
8. Comments from Other Departments:
 - Engineering
 - Building
 - Fire

DFG
Fish & Wildlife
Army Corps of Engineers
Caltrans

9. Project Description and Preliminary Information
10. Biological Report by Dudek and Associates, Inc. dated September 2003
11. Draft Conceptual Wetlands Mitigation and Monitoring Plan dated October 2003
12. Cultural Resources Study prepared by ASM dated 1-23-01
13. Traffic Impact Analysis Glenbrook Village, prepared by LLG, Inc. Revised October 15, 2003
14. Geotechnical Investigation prepared by GEOCON dated 1-23-02
15. Phase I Environmental Site Assessment of Glenbrook Village, dated 12-16-02
16. HEC-RAS Existing and Post-Project Results, prepared by Masson & Assoc., October, 2003
17. An Archaeological Survey for the Glenbrook Village Project Escondido, California dated March 17, 2003
18. Acoustical Analysis Report for Meadowbrook Village, dated February 25, 2003
19. Air Quality Conformity Assessment Construction Grading and Hauling Operations for Meadowbrook Village Residential Subdivision – Escondido ISE Report #03-110, prepared by Investigative and Engineering, October 20, 2003

**Meadowbrook Village and Adjacent Single-Family Residential
Initial Study Part II
ER 2002-25**

**2002-69-CUP, 2003-43-DP/DA, 2003-2-GPA
TR 864 and PM 2003-20**

Project Description:

The following evaluates the potential environmental impacts associated with a 143-unit care facility in one contiguous area, an eighteen-lot tentative map, and a four-lot parcel map. The attached environmental Initial Study is consistent with the California Environmental Quality Act (CEQA) Guidelines, and has been used to focus this study on physical factors that may be impacted by the proposed project. This Initial Study will serve to identify and evaluate any effects determined to be potentially significant.

Exhibit 1 illustrates the three related areas that are addressed by the initial study and include the following:

The Stewardship Foundation has submitted a Conditional Use Permit for a proposed care facility with 143 units. It is proposed to be a combination of detached units, critical care facility, and Alzheimer's unit. The project will also include improvements to Reidy Creek and North Broadway to address flooding along Broadway. The proposed development consists of 65 semi-independent units, 51 congregate/assisted living units, and 27 Alzheimer's units with associated public infrastructure improvements such as circulation, franchise utilities, storm drains, and water and sewer lines. Additionally, a small retail facility, community buildings, maintenance structures, and a pedestrian bridge over Reidy Creek are proposed. Existing structures on site include a single-story, single-family residence, and asphalt/gravel driveway. A large rectangular single-story corrugated metal and wood-frame storage barn is currently located north of the existing residence.

The proposal also includes an 18-lot subdivision for 17 single-family residential units located east of the proposed care facility. The applicant proposes clustering of the units on 8.5 acres located in the PD-R 5.5 zone. The proposal also includes a development plan for the development of the residences. The 18th lot will provide a portion of the on-site mitigation for the biological impacts of the project.

The third component of the environmental review is a 4-lot parcel map located to the south of the proposed care facility for the purpose of developing single-family residences and is located between Iris Lane and North Broadway with access taken from Iris Lane. A portion of this site will also provide a portion of the mitigation area for biological impacts.

Environmental Setting:

Care Facility

The 26.33-acre property contains one single-family house in the northwest portion of the site and related accessory structures. The home appears to have been constructed in the 30s or 40s and

will be removed as part of the development of the property. The site is generally flat at with an elevation of between 711 feet above mean sea level (AMSL) and 696 AMSL. The site consists of native riparian vegetation and non-native uplands and land covers, including southern willow scrub, disturbed southern willow scrub, freshwater marsh, oak riparian forest, herbaceous wetland, disturbed wetlands, giant reed habitat, mesic meadow, alkali weed-dominated meadow, annual (non-native) grassland, disturbed habitat, eucalyptus woodland, ornamental landscaping, ruderal habitat and developed land. Adjacent land uses are as follows:

- North: Village Road and single-family dwellings
- South: Undeveloped land, a single-family residence, and River Village townhomes
- West: Two-family residences
- East: North Broadway, undeveloped land, Calvin Christian High School

Eighteen-Lot Subdivision: The project site is 8.2 acres and consists of disturbed, vacant land with steep slopes along the eastern boundary and is bisected by Reidy Creek. The northeastern portion of the site is relatively flat and dominated by disturbed wetland annual grassland adjacent to the existing riparian corridor of Reidy Creek. The applicant proposes to develop a 17-lot residential subdivision with the 18th lot as open space. The parcel is Zoned PD-R 5.5 which will require the applicant to process a development plan. Adjacent land uses are as follows:

- North: Mobile Home Park
- South: Calvin Christian High School
- East: Single-Family Residential
- West: Vacant Land

Four-Lot Parcel Map: The proposal site is 1.2 acres and is vacant. The site consists of disturbed vacant land. The site is relatively flat with relief from west to east. Reidy Creek borders the easterly property line. The existing site is within the Floodway and the proposal includes grading to raise the site above the 100-year flood plain. The proposal includes a parcel map to allow the construction of four single-family residences. Adjacent land uses are as follows:

- North: Vacant Land
- South: Single-Family Residences
- East: Calvin Christian High School
- West: Single-Family Residences

I. Land Use and Planning

City of Escondido Significance Criteria

Significant land use impacts would occur if the project substantially conflicted with established uses, disrupted or divided an established community or resulted in a substantial alteration to the present or planned land uses. Consistency with the City of Escondido General Plan and zoning and other applicable environmental plans and policies, is evaluated in making a determination of potential significant land use impacts. Aesthetic impacts would be significant if the project resulted in the obstruction of any scenic view or vista open to the public; damage of significant scenic resources within a designated State scenic highway, create an aesthetically offensive site open to the public, and/or substantial degradation of the existing visual character or quality of the site and its surroundings. Significant aesthetic impacts would also occur if the project generated new sources of light or glare that adversely affected day or nighttime views in the

area, including that which would directly illuminate or reflect upon adjacent properties or could be directly seen by motorists or persons residing, working or otherwise situated within sight of the project.

Care Facility

The City of Escondido General Plan designates the site as Suburban with a maximum density of 3.3 dwelling units per acre depending on slope. Single-family residential development or higher is located to the north, south, and west and a high school to the east. The density is appropriate where the traditional neighborhood character of detached single-family units prevails. The site is currently vacant except for one single-family dwelling and a barn. The existing single-family dwelling is an historic structure; however, it is not listed on the local register. Prior to demolition of the structure the applicant will be required to comply with Article 40 – Demolition of Historic Resources. Even though the site of the proposed care facility would be allowed to develop only 86 single-family residences on the site under the R-1-10 zone designation, a care facility is a conditionally permitted use which allows some discretion with regard to housing type. Since most of the care facility units occur within a congregate living arrangement, the demand on traffic and public services is not as great as with a comparable number of single-family dwellings. The residential nature of the project is in keeping with the surrounding uses which include multi-family residential.

Eighteen-Lot Subdivision

The City of Escondido General Plan designation for this site is Urban 1 with a maximum dwelling unit potential of 5.5 dwelling units per acre, depending on slope. The zoning for the site is PD-R 5.5 which requires a development plan. A preliminary and precise development plan will be processed as part of the approval for the proposed tentative map. The open space lot proposed as part of this subdivision will be the site for a portion of the biological mitigation for the care facility.

Four-Lot Parcel Map

The General Plan designation of the proposed four-lot parcel map is Suburban.

The extent of dwelling units permitted on the proposed development is dependent on the topography of the site. The General Plan indicates that the maximum development yield of Suburban lands shall be sensitive to topography and be calculated according to the following slope categories:

- 0-25%: 3.3 dwelling units per 1 acre
- 25-35% 1.5 dwelling unit per 1 acre
- 35+ 1 dwelling unit per 20 acres

The minimum lot size shall be 10,000 square feet, unless the development is clustered. The Zone Designation for the site is R-1-10 and permits this designation conditionally permits care facilities.

All three components of the project are characterized as "in-fill" because development is planned within an established residential neighborhood and the project is virtually surrounded by development. Because the proposed project would be consistent with existing adopted City of Escondido land use policies, no significant land use impact would occur as a result of the proposed project.

The project site is not located on a ridgeline identified in the Community Open Space/Conservation Element of the General Plan.

The applicants will improve the aesthetic quality of the area by placing existing overhead utility lines underground, where required, in accordance with City Ordinance. This will avoid the visual impact of overhead utility lines.

The proposed project would not disrupt or divide the physical arrangement of the area since the proposed use would be consistent with the underlying residential zone designation that permits residential care facilities subject to the approval of a Conditional Use Permit. The project is consistent with the General Plan designation of Suburban and Urban 1 since residential care facilities may be provided in residential areas.

Residential projects typically do not directly illuminate or reflect glare upon adjacent properties, therefore no significant light or glare impact would result from the proposed project. Development of the proposed project will also not obstruct scenic views or vistas open to the public since neither the City nor the State designates Broadway/Iris Lane as a scenic resource.

Adequate public facilities are available to all portions of the project.

II. Agricultural Resources

City of Escondido Significance Criteria

Project impacts to agricultural resources would be significant if they lead to direct or indirect loss of Prime Farmland, Unique Farmland or Farmland of Statewide Importance, defined by the California Department of Conservation, or conflicted with the City's existing agricultural zoning or Williamson Act Contract.

The parcels are located on a flood plain west of foothills of undifferentiated granitic rocks of the mid-Cretaceous southern California Batholith that characterize the northern Escondido area. The site has been used for agricultural purposes in the past; however the site is of limited size and is surrounded by urban development. The property is also not the subject of a Williamson Act Contract or other agricultural land contract.

The California Department of Conservation, which publishes farmland conservation reports, classifies the subject area as "Other Land" which is defined as:

"Rural development, marginal agricultural lands, tracts not suitable for grazing, government lands not available for agricultural use, road systems and vacant land surrounded on all sides by urban development."

The development of a care facility and single-family residences on the site would therefore not result in significant individual or cumulative impacts to agricultural resources.

III. Transportation/Traffic

City of Escondido Significance Criteria

According to the City of Escondido Environmental Quality Regulation (Article 47, Sec. 33-924), impacts would be considered significant if the project:

- 1. Caused the level of service (LOS) of a circulation element street to fall below a mid-range of LOS "D" and /or added more than 200 ADT to a circulation element street with a LOS below the mid-range "D" yet above LOS "F". According to the Escondido General Plan, the minimum acceptable LOS is "C".*
- 2. Exceeded, either individually or cumulatively, a level of service standard established by the county congestion management agency for designated roads and highways.*
- 3. Resulted in a change of air traffic patterns, including either an increase in traffic levels or in a location that results in substantial safety risks or increased hazards due to a design feature.*
- 4. Results in inadequate emergency access or parking capacity, or the project conflicts with adopted policies, plans, or programs supporting alternative transportation (e.g., bus turnouts, bicycle racks).*

Circulation Policy D2.3 of the 1993 City of Escondido Circulation/Transportation Plan states that:

1. Due to the physical design characteristics, environmental resource considerations, existing development, freeway interchange impacts and incomplete system improvements, level of service "C" may not be feasible in all areas at all times. However, level of service "C" should be pursued in the ultimate implementation of the circulation system.

A traffic impact study for the proposed project was completed on February 27, 2003 and revised on October 15, 2003 by LLG Engineering and is incorporated by reference and is available for review at the Planning Division of the City of Escondido. The results of the impact study are summarized below.

The scope of the analysis was developed in conjunction with the City of Escondido, a review of approved traffic studies completed in the project are, a working knowledge of the local transportation system, and the SANTEC/ITE Guidelines for Traffic Impact Studies in the San Diego Region April 2002. The total number of units proposed for the care facility was segregated based on tenant makeup (i.e. assisted living/full care residents or active residents) to best reflect the trip generation of the project. Therefore, the specific land use designation used for the trip generation was "Retirement Community" (65 units) for active residents and "Congregate Care Facility" (113 units) for assisted living/full care residents. The "Retirement Community" land use is expected to generate more traffic than the "Congregate Care Facility" land use on a trip

per dwelling unit basis. The SANDAG "Estate Home" rate was used to estimate the traffic for the two subdivisions.

Summary:

Care Facility

The care facility proposes the construction of Access to the care facility will be provided to the site via North Broadway and Iris Lane. The Iris driveway will be gate controlled and would be closed from the hours of 6 p.m. to 7 a.m. and during these hours the North Broadway driveway would provide the only access to the site.

Eighteen-Lot Single-Family Home Subdivision

An 18-unit single-family subdivision is also included as part of the project. This component of the project is located east of North Broadway, and north of Stanley Avenue. Access to the site is proposed from North Broadway.

Four-Unit Single Family Home Subdivision

In addition to the residential complex, a 4-unit single-family home subdivision is also proposed. The project site is located south of the residential care facility complex and lies between Iris Lane and North Broadway. Full access is proposed via one access point on Iris Lane via Cheyenne Lane.

Existing Conditions

Existing AM and PM peak hour traffic volumes were collected at key area intersections to capture peak commuter activity. The AM and PM peak hour intersection turning movement counts were conducted on April 25th and May 1st, 2002 with the exception of North Broadway and Vista Avenue which was counted on November 7, 2001.

Project Traffic

The proposed project would add approximately 737 daily trips to the local circulation system, with 15 inbound/25 outbound trips during the AM peak hour and 38 inbound/23 outbound trips during the PM peak hour. The analysis considered three scenarios that could potentially impact the local circulation system: "existing plus project", "existing plus approved projects", and "existing plus approved projects plus project". Estimated trips from the proposed project were added to the existing traffic volumes. Table 1 provides a comparison of the existing and existing plus project conditions.

Cumulative Projects

Five cumulative projects were included in this analysis including: the ISKON Cultural Center, The Elks Lodge of Escondido, a 44-unit residential development, a 225-unit residential development with golf course, and a 42-unit detached dwelling unit project.

The signalized intersection of North Broadway/Country Club Lane/Rincon Avenue is calculated to continue to operate at LOS C for both the AM and PM hours and the signalized intersection of Centre City Parkway/Iris Lane is calculated to continue to operate at LOS C and B for the AM and PM hours respectively, with the addition of cumulative project traffic.

The unsignalized intersections are calculated to continue to operate at mid-level LOS D or better during the peak hours with the exception of Iris Lane/Country Club Lane (LOS F), North Broadway/Vista Avenue (LOS F), North Broadway/Project driveway (below mid-level LOS D > 30.1). Such poor intersection operations are due to cumulative projects adding substantial traffic to North Broadway and Country Club Lane, therefore further exacerbate minor street left-turn delays at these intersections.

All roadway segments within the study area are calculated to operate at LOS C or better, except the roadway segment of North Broadway between Village Road and Vista Avenue which is calculated to operate at LOS F. However, the proposed widening of this segment would improve operations to LOS A.

Table 1 - Near-Term Unsignalized Intersection Operations

Intersection (Control Type)	Peak Hour	Minor Street Movement	Existing		Existing + Project		Delay Increase	Sig	Existing + Project + Cumulative	
			Delay	LOS	Delay	LOS			Delay	LOS
Iris Lane/ Country Club Lane (Two-way stop)	AM	SB LTR	45.7	E	47.2	E	1.5	No	>80	F
		NB LTR	20.5	C	25.8	D	5.3	No	25.8	D
	PM	SB LTR	20.6	C	20.9	C	0.3	No	28.5	D
		NB LTR	15.7	C	16.0	C	0.3	No	19.6	C
Iris Lane/ Project Driveway (Two-way stop)	AM	WB LR	N/A	N/A	10.8	B	N/A	No	11.1	B
	PM	WB LR	N/A	N/A	10.7	B	N/A	No	11.2	B
N. Broadway/ Village Road (Two-way stop)	AM	EB LR	27.9	D	28.3	D	0.4	No	39.7	E
	PM	EB LR	14.2	B	14.4	B	0.2	No	18.1	C
N. Broadway/ Stanley Avenue (Two-way stop)	AM	WB LR	23.8	C	24.1	C	0.3	No	32.4	D
	PM	WB LR	13.1	B	13.3	B	0.2	No	16.0	C
N. Broadway/ Vista	AM	WB L	>50.0	F	>50.0	F	>2.0	Yes	>50	F
	PM	WB L	17.2	C	17.6	C	0.4	No	24.5	C

Avenue (Two-way stop)										
N. Broadway/ Project Driveway (Two-way stop)	AM	EB LTR	N/A	N/A	27.1	D	N/A	No	29.6	D
		WB LTR	N/A	N/A	21.7	C	N/A	No	23.7	C
	PM	EB LR	N/A	N/A	14.3	B	N/A	No	15.5	C
		WB LTR	N/A	N/A	19.4	C	N/A	No	22.0	C

North Broadway Reclassification: North Broadway between Country Club Lane/Rincon Avenue and Vista Avenue is classified as a Major Road, per the City of Escondido General Plan Circulation Element. A Major Road typically has a curb-to-curb width of 82 feet with a ROW of 102 feet (82/102). A review was conducted to determine if downgrading this segment to a Collector was warranted. A Collector cross-section is typically 64 curb-to-curb with an 84-foot ROW. A General Plan Amendment is also being proposed to redesignate this portion of North Broadway from a Major Road to a Collector.

The volume on North Broadway between Village Road and Vista Avenue is projected at 13,000 ADT for the Year 2020. Under a Collector classification with a capacity of 34,200 ADT, this segment is calculated to operate at LOS A. Therefore, Year 2020 volumes can be sufficiently accommodated with North Broadway downgraded from Major to Collector.

The project is calculated to add traffic to the intersection of North Broadway/Vista Avenue. This intersection is currently operating at LOS F for the westbound left-turn in the AM peak period and continues to operate at LOS F with the addition of project traffic. Provision of signalization at this intersection will mitigate this impact to below a level of significance.

The project is also calculated to add traffic to the two-lane street segment of North Broadway fronting the project site, between Village Road and Vista Avenue, which is operating under capacity constrained conditions (LOS E) with the addition of project traffic. Improvement of this portion of North Broadway will reduce this impact to below a level of significance.

Implementation of the following mitigation measures will reduce the traffic/circulation impact of the project to less than significant:

Transportation/Traffic Mitigation Measures:

1. The developer shall construct a signal at the intersection of North Broadway and Vista Avenue prior to issuance of certificate of occupancy;
2. The developer shall improve the portion of North Broadway between Village Road and Vista Avenue to City of Escondido collector street standards prior to issuance of certificate of occupancy;
3. The developer shall provide dedicated inbound left-turn pockets for the project driveways on North Broadway and Iris Lane prior to issuance of certificate of occupancy; and

4. The developer shall provide egress project driveways to be a minimum of 24 feet wide to improve driveway operations and accommodate simultaneous left- and right-turn outbound movements prior to issuance of certificate of occupancy.

IV. Air Quality

City of Escondido Significance Criteria:

Project impacts exceeding any of the following South Coast Air Quality Management District (SCAQMD) daily emissions criteria can be considered significant:

- | | |
|---------------------------|----------|
| • Carbon Monoxide | 550 lbs. |
| • Reactive Organic Gases | 55 lbs. |
| • Oxides of Nitrogen | 55 lbs. |
| • Fine Particulate Matter | 150 lbs. |

An Air Quality Conformity Assessment Construction Grading and Hauling Operations report has been prepared for the Meadowbrook Village. This report is incorporated into this document and can be reviewed at the Planning Division for the City of Escondido. A summary of the assessment follows. The project area is within the San Diego Air Basin (SDAB). Air quality at a particular location is a function of the kinds and amounts of pollutants being emitted into the air locally, and throughout the basin, and the dispersal rates of pollutants within the region. The major factors affecting pollutant dispersion are wind, speed and direction, the vertical dispersion of pollutants (which is affected by inversions) and the local topography. The air basin currently is designated a state and federal non-attainment area for ozone and particulate matter. However, in the SDAB, part of the ozone contamination is derived from the South Coast Air Basin (located in the Los Angeles area). This occurs during periods of westerly winds (Santa Ana condition) when air pollutants are windborne over the ocean, drift to the south and then, when the westerly winds cease, are blown easterly into the SDAB. Local agencies can control neither the source nor transportation of pollutants from outside the basin. The Air Pollution Control District (APCD) policy therefore, has been to control local sources effectively enough to reduce locally produced contamination to clean air standards.

For long-term emissions, the direct impacts of a project can be measured by the degree to which the project is consistent with regional plans to improve and maintain air quality. Local air-quality impacts are directly related to the number of vehicle trips and operation levels on adjacent streets and intersections. For planning purposes, the APCD assumed the City's General Plan designation of Estate II in calculating air quality impacts. According to CEQA Guidelines, a project normally is considered to have a significant air quality impact if it violates any ambient air quality standard, contributes substantially to an existing or projected air-quality violation or exposes sensitive receptors to substantial pollution concentrations.

Emissions resulting from developing the site would be directly related to the amount of vehicular traffic generated by the facility. The project traffic study (dated February 27, 2003 and revised October 15, 2003) calculated the project would generate 737 ADT (1998 SANDAG Vehicle Trip Generation Rate table). An area with a greater number of vehicle trips was evaluated in the General Plan update that analyzed 1400 ADT (Area 4 - Bamber) and determined the air quality thresholds would not be exceeded for air quality. Therefore, a residential project generating 737

ADT would not generate daily emissions that exceed South Coast Air Quality Management District's (SCAQMD) daily emissions criteria.

Consequently, while the proposed project would have an incremental impact to basin-wide air-quality issues resulting from the cumulative impacts of thousands of sources, the individual impacts attributed to this project are immeasurably small on a regional scale and will not cause ambient air-quality standards to be exceeded. Since the project would not materially degrade the levels of service on adjacent streets and intersections, and would not violate daily emissions thresholds, the project will not have a significant impact on air quality and no mitigation measures are required.

Construction-Related Emissions

Investigative Science and Engineering, inc. prepared an air quality conformity assessment construction grading and hauling operations for the project dated October 20, 2003 and is available at the Planning Division of the City of Escondido for review. Construction-related activities are temporary, short-term sources of air emissions. Sources of construction-related air emission include: fugitive dust from grading activities, construction equipment exhaust, construction-related trips by worker, delivery trucks and material-hauling trucks, and construction-related power consumption. The air quality analysis predicted onsite diesel-fired construction emission rates as follows:

Criteria Pollutant	Aggregate Site Emission Rates (grams/second)	Average Area Emission Rates (grams/m ² /second)
CO	1.280	8.7842×10^{-6}
NO _x	3.0960	21.2402×10^{-6}
SO _x	0.2737	1.8777×10^{-6}
PM ₁₀	0.2301	1.5786×10^{-6}

The predicted diesel-fired emission concentrations with significance are as follows:

Criteria Pollutant	Pollutant Concentration	Pollutant Risk from Equation (1 in 1 million per $\mu\text{g}/\text{m}^3$)	Significant?
CO	280.7	0.0842	No
NO _x	678.6	0.2035	No
SO _x	59.9	0.0179	No
PM ₁₀	50.4	0.0151	No

Diesel risk calculated using: Risk = F9wd) x EMFAC x URF/Dilution, based upon ARB 1999 Staff Report from the Scientific Review Panel (SRP) on Diesel toxics with URF = 300×10^{-6} cancer per $\mu\text{g}/\text{m}^3$ inhaled in a 70-year lifetime. Values have been rounded to four significant decimal places.

Dust from grading and other site preparation would generate particulate matter emission. Due to the small amount of grading, and with appropriate use of grading and operation procedures (in conformance with APCD Best Management Practice for dust control), the project would not generate significant particulate matter or dust. The City of Escondido Grading Ordinance and erosion control requirements include provisions for dust control to reduce impacts to air quality during grading and construction activities. At a minimum, these ordinances and provisions require projects to perform regular watering and timely revegetation of disturbed areas to minimize the dust and airborne nuisance impacts to off-site receptors. Emissions from

construction equipment, worker and delivery and material-hauling trucks, and construction-related power consumption would be temporary and would result in an extremely small contribution to the SDAB and therefore would not result in a significant impact.

V. Biological Resources

City of Escondido Significance Criteria

Project impacts upon biological resources may be significant if the project generates impacts that create any of the following results:

- *Substantial direct or indirect-effect on any species identified as a candidate, sensitive, or special status in local/regional plans, policies or regulations, or by the State of California Department of Fish and Game (F & G) or U.S. Fish and Wildlife Service (U.S. FWS);*
- *Substantial effect upon sensitive natural communities identified in local/regional plans, policies, regulations or by the agencies (F & G-U.S. FWS);*
- *Substantial affects (e.g. fill, removal, hydrologic interruption) upon federally protected wetlands under Section 404 of the Clean Water Act;*
- *Substantial interference with movement of native resident or migratory wildlife corridors or impeding the use of native wildlife nursery sites;*
- *Conflict with any local policies/ordinance that protect biological resources (e.g. tree preservation policy or ordinance)*
- *Conflict with provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved habitat conservation plan.*

Dudek and Associates prepared the Biological Resources Report and Impact Analysis for the Meadowbrook Villages Development Project and single-family residential projects dated September 2003, and a Draft Conceptual Wetlands Mitigation and Monitoring Plan dated October, 2003. Both documents are available in the Planning Division located at 201 North Broadway and are summarized below.

The project is located on the U.S. Geological Survey (USGS) 7.5 minute map, Valley Center quadrangle, in an unsectioned portion of R2W, T12S, latitude 33° 08' 41"N, and longitude 117° 05' 26" W. The project area is located in an urbanized area of Escondido with the exception of the undeveloped natural areas associated with Reidy Creek. The creek bisects the southeast corner of the property, extends offsite and northeast toward Rincon Avenue and offsite southwest toward Center City Parkway. The rest of the site has been disturbed. A residence and an abandoned barn are the only existing structures on the site.

The project would result in a total of 2.16 acres of wetlands impact along Reidy Creek, including 0.39 acres of ACOE/CDFG joint jurisdictional wetlands, and 1.77 acres of CDFG only jurisdictional wetland impacts. A total of 2.14 acres are direct impacts to existing southern willow scrub, disturbed southern willow scrub, freshwater marsh, giant reed, and oak riparian forest communities. The remaining 0.02 acres of impacts are indirect impacts to existing oak riparian forest. Additionally, the Biological Resources Report identified 20.44 acres of non-native grassland. The loss of this habitat will be mitigated at a ratio of 0.5:1 at an agency-approved mitigation bank

Dudek conducted vegetation mapping and a wetlands delineation of the project study area in April and May 2002. Vegetation classification followed Holland's "*Preliminary Descriptions of the Terrestrial Natural Communities of California*", dated 1986, where appropriate, but those areas classified as mesic meadow and alkali-weak dominated meadow failed to conform to the classifications discussed in the manual. Therefore, modifications or additions to the vegetation classifications in Holland were made to accommodate the lack of conformity. Both habitat types are located in a fallow field, which has been repeatedly subject to weed abatement practices and is now dominated primarily by non-native grassland habitat. Upon completion of the wetlands delineation, it was determined that although these two areas contained some wetlands vegetation at the time of the mapping effort, the vegetation was scattered throughout these areas and occurred as a mosaic with non-native grasses and forbs including bromes (*Bromus* spp.), mustard (*Brassica* sp.), and wild radish (*Raphanus sativus*).

With respect to the definition of a meadow, seasonality and reliability of yearly water inflows and outflows typically determine the type of meadow present onsite. Those meadows occurring in areas with deep to moderately deep water tables tend to be drier and are usually dominated by grasses and low-lying herbs. Those meadows occurring in areas where the water table is closer to the surface tend to support more emergent, obligate wetland species like bulrush (*Scirpus* spp.), and sedges (*Carex* spp.). Groundwater levels were recorded by Dudek biologists in July 2003. Results of the analysis show that groundwater elevations were generally located at least six feet below the existing ground surface. Upon completion of the proposed project, groundwater will be generally located within two inches of the proposed finish grade levels for the constructed channel. Due to the circumstances discussed above, these two areas were not classified as jurisdictional wetlands pursuant to the California Fish and Game Code.

To provide increased flood-storage potential for the Reidy Creek watershed and to help mitigate for permanent impacts to wetlands, the Foundation proposes to create a high-flow channel. An overflow channel will be created onsite to provide 100-year flood protection and to accommodate higher water flows in Reidy Creek, without resulting in damage to existing roadways and adjacent properties. The overflow channel will connect to the existing low-flow channel located at the far southern portion of the property. The high-flows from Reidy Creek will be captured approximately 1180' north of the Stanley Avenue pipe/culvert, and directed west into a series four vaulted culverts installed under the intersection of north Broadway and Stanley Avenues. The flows will then be directed approximately 1000 feet south through a constructed channel to join existing flows from the Reidy Creek Culvert under North Broadway. The constructed channel extends another 600 feet south to join the existing low-flow channel at the downstream end of the development project.

The bottom of the overflow channel will contain a meandering low-flow channel that will directly tie into the existing low-flow channel of Reidy Creek as it exits under North Broadway. Graded slopes along the overflow channel edge will generally consist of 4:1 and 3:1 slopes, providing a moderate transition from a broad fresh-water marsh habitat just above the low-water mark, to southern willow scrub, mule fat scrub, and coast live oak woodland higher along the exterior margins of the slopes. Onsite seasonal hydrology is expected to sustain all of the planted wetlands within the overflow channel and slopes in perpetuity.

The onsite mitigation program will include the following:

- Creation of an overflow channel west of the existing Reidy Creek through the Meadowbrook Village development property;
- Creation of a low-flow channel to tie into the existing Reidy Creek low-flow channel at the upstream and downstream ends of the project;
- Installation of above-ground irrigation and native wetland container plants on the graded slopes of the overflow channel;
- Application of a native wetland hydro-seed mix on all graded areas within the overflow channel and slopes; and
- A five-year maintenance, monitoring, and reporting program in accordance with agency standards.

The applicant has provided a mitigation plan, which is on file with the Planning Division of the City of Escondido and is incorporated by this reference, that proposes both onsite and offsite mitigation. The onsite mitigation area is adjacent to Reidy Creek near North Broadway Avenue and would ensure no net loss of wetland habitat. The originates northeast of the intersection of Stanley and North Broadway Avenues, on the west bank of Reidy Creek, and continues on the west side of North Broadway south to its intersection with Vista Avenue.

Proposed Wetland Mitigation for Biological Resources

HABITAT TYPE	PROJECT IMPACTS IN ACRES/ MITIGATION RATIO	CREATION AND ENHANCEMENT MITIGATION ACREAGE		TOTAL MITIGATION IN ACRES
		OFFSITE ENHANCMENT	ONSITE CREATION	
Wetlands Habitat Type – ACOE/CDFG Joint Jurisdiction				
Southern Willow Scrub	0.06 x 3:1	0.12 Acre Disturbed Southern Willow Scrub	0.06 Acre Southern Willow Scrub	0.18
Freshwater Marsh	0.33 x 1:1	None	0.33 Acre Freshwater Marsh	0.33
Wetlands Habitat Type – CDFG Only Jurisdiction				
Southern Willow Scrub	1.18 x 3:1	2.36 Acre Disturbed Southern Willow Scrub	1.18 Acre Southern Willow Scrub	3.54
Disturbed Southern Willow Scrub	0.15 x 3:1	0.30 Acre Disturbed Southern Willow Scrub	0.15 Acre Southern Willow Scrub	0.45
Oak Riparian Forest	0.02 x 3:1	None	0.06 Acre Coast Live Oak Riparian Woodland	0.06
Freshwater Marsh	0.01 x 1:1	None	0.01 Acre Mule Fat Scrub	0.01
Giant Reed	0.41 x 1:1	None	0.41 Acre Mule Fat Scrub	0.41
CDFG Only Jurisdiction Mitigation Totals		2.66 Acre	1.81 Acre	4.47
Total Mitigation Area		2.78	2.20 Acres	4.98

The proposed offsite enhancement is located east of Rancho Santa Fe Road, north of El Camino del Norte Road, and immediately east of Lone Jack Road, in the City of Encinitas, California. The site is situated in a former manmade lake bed. The site contains approximately 24 acres of disturbed southern willow scrub, of which approximately 2.8 acres is proposed to be enhanced. The offsite mitigation program will include enhancement of existing degraded wetlands within the Lake Val Sereno with a five-year maintenance, monitoring, and reporting program in

accordance with agency standards, and in conjunction with the onsite mitigation program. Should this site not be suitable for off-site mitigation, another agency-approved mitigation bank will be used.

Much of the onsite mitigation area is currently separated from the surface hydrology of Reidy Creek and is composed primarily of fallow agricultural land, areas dominated by giant reed (*Arundo donax*), and some existing riparian areas dominated by native and non-native trees. The site does not provide hydrologic functions such as dynamic or long-term surface water storage or energy dissipation, but the site does store subsurface water in the predominantly sandy loams and loams onsite, and therefore contributes to moderation of groundwater flows into Reidy Creek. The majority of the site does not provide biogeochemical functions such as nutrient cycling and retention of particulate because of the lack of surface water interaction with the existing Reidy Creek stream channel, but the site does remove imported compounds (subsurface flow through dense sand substrates), and exports organic carbon to downstream areas through soil formation and leaf litter accumulation in areas of existing southern willow scrub. Habitat functions onsite are minimal due to the high degree of disturbance on the stream banks and adjacent upland areas. The low percent of vegetative cover, low diversity of plant species, and lack of shrub and tree canopies limits the available wildlife habitats for both terrestrial and riparian-adapted wildlife species, and limits wildlife presence onsite.

Because the onsite habitat could potentially provide a habitat for the least Bell's Vireo, focused surveys were conducted from April through June 2003. The survey was conducted following the currently accepted protocol (January 19, 2001) of the U.S. Fish and Wildlife Service (USFWS) which consists of eight visits and were conducted between dawn and 11:00 a.m. The results of the survey were negative. Construction in areas adjacent to the creek will be phased and timed to avoid the breeding season for the least Bell's Vireo. Should construction activities occur during the breeding season for this species, the USFWS and CDFG will be consulted. Since current survey results for this species are negative additional focused surveys are not warranted.

Prior to commencement of construction activities, a qualified biologist will conduct a pre-construction nesting bird survey within and adjacent to the project construction area within 24 to 72 hours prior to construction. This survey is necessary to assure avoidance of impacts to nesting native birds (per the Migratory Bird Treaty Act). If nesting birds are detected within vegetation which is to be impacted, the nest location(s) shall be protected until fledging occurs and construction activities will not occur within a buffer area deemed appropriate by project biologists. If an active raptor nest is detected within or adjacent to the proposed construction activities, nest locations will be identified with flagging and mapped on a topographic base such that any avoidance required can be communicated to the contractor and immediately implemented. The biologist will then consult with the wildlife agencies regarding adequate avoidance measures and buffer distances. The City and contractor will be notified of any nest locations and required avoidance measures within 24 to 48 hours of completion of the survey.

During high-water events, the culvert under Stanley Avenue becomes breached and surface water sheet flows over Stanley and North Broadway Avenues causing traffic concerns and impacts to the adjacent school and private residences. Construction of the high-flow channel, which has been designed to accommodate a 100-year storm, and is therefore, required by the City to help eliminate adverse impacts to the surrounding private residences, roadways, and school caused by flooding. If the high-flow channel is not constructed, flooding will continue to

degrade and erode Stanley Avenue and North Broadway and threaten the school and adjacent private homes. Due to the constrained nature of the development site and the size of the high-flow channel, onsite mitigation can only occur within the high-flow channel. If the high-flow channel is not available for on-site mitigation, the channel would be left un-vegetated which could result in the introduction of non-native species from upstream sources as well as creation of large pools of standing water, which could attract mosquitoes and other vectors. The remainder of the site is small enough that in order to achieve a "no net loss" of wetland vegetation the high-flow channel is necessary for this mitigation.

Short-term edge effects from dust and noise which could temporarily disrupt habitat and species vitality and construction soil erosion and runoff could have a negative impact to the proposed on-site wetland mitigation area. Therefore, the following mitigation measures shall be implemented to mitigate for any short-term edge effects that may occur during construction:

- No machinery fluids will be added or changed on the revegetation site or near the stream channel; the refueling of machinery will occur within designated upland areas and only over areas with a non-permeable membrane installed;
- Only machinery necessary to perform the minor grading and plant material installation will be allowed on-site and each machine shall be removed immediately after its task is complete;
- No dumping of debris or stockpiling of soil will occur in or near the stream channel on-site; and,
- Construction access to the site will be limited to designated areas containing non-native, exotic, or invasive plants.

All project grading shall be subject to the typical restrictions and requirements that address erosion and runoff, including the federal Clean Water Act, National Pollution Discharge Elimination System (NPDES), and preparation of a Storm Water Pollution Prevention Plan (SWPPP). As referenced in Section IX of this document, under the NPDES, all development and significant redevelopment is required to implement best management practices (BMPs) to limit urban pollutants and to ensure that siltation and erosion are minimized within Reidy Creek. BMPs will be incorporated into the final design of the project as part of the SWPPP and the Standard Urban Stormwater Mitigation Plan (SUSUMP).

Grading and construction within the project study area would generate temporary noise impacts. However, as stated in Section XI of this document, modern construction equipment, properly used and maintained, meets the noise limits contained in the City's Noise Ordinance and all aspects of the proposed project are required to comply with the City's Noise Ordinance, as specified in Section XI. Regarding noise issues during the bird nesting season, construction activities within or adjacent to wetlands will be phased and timed, where feasible, to avoid the bird nesting season, which typically extends from March 15 through August 30, as stated in the Biological Resources Report, dated September 2003. However, should construction activities occur during this time period, noise levels shall remain below 60 dBA L_{eq} to protect nesting birds in Reidy Creek. Should noise levels exceed 60 dBA L_{eq} , noise attenuation measures such as temporary noise barriers will be installed.

Post-construction, long-term edge effects may include potential anthropogenic uses, noise, lighting, and invasion by exotic plant and wildlife species. To offset potential adverse edge effects caused by implementation of the proposed project, features such as directional lighting (i.e., the incorporation of back and side shields on lighting fixtures and low-sodium vapor lighting), native landscaping, and permanent fencing will be implemented to ensure that wildlife species using the adjacent wetlands habitat are protected. Plant species including California wild rose (*Rosa Californica*), southwestern spiny rush (*Juncus acutus* ssp *leopoldii*), and California blackberry (*Rubus ursinus*) have been included in the plant palette to discourage anthropogenic uses and pet intrusion. Section V of this document states that pets and domesticated animals will not be permitted in the mitigation site. To enforce this measure, chain-link or wrought-iron (with closely spaced posts) fencing will be installed along the perimeter of the senior living facility and residential subdivisions to preclude the intrusion of pets and people into the mitigation areas. Noise issues resulting from the proposed development are not expected to occur due to the proposed uses of the site (i.e., senior living facility and two residential subdivisions). A majority of the noise generated in the project study area will continue to result from vehicle traffic along North Broadway and North Iris Lane. However, as stated in Section XI, all noise generated by the project will be required to comply with the City's Noise Ordinance, which states that 60 CNEL exposure is acceptable for residential land uses. To help reduce noise issues caused by the adjacent roadways, two permanent sound barriers will be constructed along North Iris Lane and between North Broadway and the residences just east of North Broadway. The sound barrier along North Broadway will not only help to reduce noise impacts to the adjacent residential subdivision but also to the adjacent creek.

Two storm drain outlets are proposed to collect periodic runoff from the project site and have been designed to direct runoff into the proposed high-flow channel. Prior to discharge the runoff will be treated via a vegetated swale along the western channel banks. Because the runoff at these locations is expected to be small in nature, erosion is not anticipated to occur at the points of discharge or downstream of these points.

Construction of the proposed development site would not preclude the use of onsite and adjacent habitat by wildlife or hinder its suitability as a corridor or linkage. Therefore, there would be no significant impacts to habitat linkages or wildlife corridors on the development site. Construction of the arch culverts under North Broadway and implementation of the flood control measures onsite may temporarily hinder wildlife movement while construction crews install the culverts. However, the installation of larger culverts will improve the use of Reidy Creek as a wildlife corridor because they will allow wildlife to use the culverts to access upstream and downstream areas without crossing Broadway Avenue. Due to the temporal loss of riparian habitat associated with the creek improvements, temporary impacts to wildlife corridors and habitat linkages is considered significant but mitigable to a level which is less than significant with the following mitigation measures:

Biological Mitigation Measures:

- 1. The developer shall have resource agency approval to create an overflow channel west of the existing Reidy Creek through the Meadowbrook Village development property prior to issuance of grading permits;**

2. The developer shall have resource agency approval for the creation of a low flow channel to tie into the existing Reidy Creek low flow channel at the upstream and downstream ends of the project prior to issuance of grading permits;
3. The developer shall have resource agency approval to install all of the above ground irrigation and native wetland container plants on the graded slopes of the overflow channel prior to issuance of grading permits;
4. The developer shall mitigate the loss of 20.44 acres of non-native grassland at a ratio of 0.5:1 in a resource agency-approved mitigation bank prior to issuance of grading permit; and
5. Prior to issuance of grading permits the developer shall have agency approval for the mitigation of the loss of wetland habitat with 2.20 acres provided on-site and 2.78 acres to be located at a resource agency-approved mitigation bank as noted in the following chart:

HABITAT TYPE	PROJECT IMPACTS IN ACRES/ MITIGATION RATIO	CREATION AND ENHANCEMENT MITIGATION ACREAGE		TOTAL MITIGATION IN ACRES
		OFFSITE ENHANCMENT	ONSITE CREATION	
Wetlands Habitat Type – ACOE/CDFG Joint Jurisdiction				
Southern Willow Scrub	0.06 x 3:1	0.12 Acre Disturbed Southern Willow Scrub	0.06 Acre Southern Willow Scrub	0.18
Freshwater Marsh	0.33 x 1:1	None	0.33 Acre Freshwater Marsh	0.33
Wetlands Habitat Type – CDFG Only Jurisdiction				
Southern Willow Scrub	1.18 x 3:1	2.36 Acre Disturbed Southern Willow Scrub	1.18 Acre Southern Willow Scrub	3.54
Disturbed Southern Willow Scrub	0.15 x 3:1	0.30 Acre Disturbed Southern Willow Scrub	0.15 Acre Southern Willow Scrub	0.45
Oak Riparian Forest	0.02 x 3:1	None	0.06 Acre Coast Live Oak Riparian Woodland	0.06
Freshwater Marsh	0.01 x 1:1	None	0.01 Acre Mule Fat Scrub	0.01
Giant Reed	0.41 x 1:1	None	0.41 Acre Mule Fat Scrub	0.41
CDFG Only Jurisdiction Mitigation Totals		2.66 Acre	1.81 Acre	4.47
Total Mitigation Area		2.78	2.20 Acres	4.98

6. The applicant shall have resource agency approval for application of a native wetland hydro-seed mix on all graded areas within the overflow channel and slopes prior to issuance of grading permits;
7. Protection of all installed plant materials on the project site will be provided by temporary orange construction fencing installed along the edges of these features to protect all environmentally sensitive areas. The fencing locations will be approved by the Project Biologist prior to installation, and shall be installed around these areas prior to the beginning of vegetation clearing and grading. The fence will consist of orange snow fence attached to metal T-posts. All fencing materials must be a minimum of 4-feet high to prevent construction equipment and personnel from entering environmentally sensitive areas. The protection fence will remain in-place until restoration/enhancement activities are complete. Approximately 4500 linear feet of fencing is anticipated to be necessary to protect the mitigation area;

8. Prior to the issuance of grading permits, the applicant shall prepare a five-year maintenance, monitoring, and reporting program in accordance with resource agency standards;
9. Documentation that pets and/or domesticated animals will not be permitted within the onsite mitigation site shall be provided on grading and building plans and be achieved in a manner acceptable to the resource agencies;
10. The applicant shall demonstrate that no machinery fluids will be added or changed on the revegetation site or near the stream channel; refueling of machinery will occur within designated upland areas and only over areas with a non-permeable membrane installed to be noted on grading and building plans;
11. A note shall be included on all grading and building plans that only machinery necessary to perform the minor grading and plant material installation will be allowed on site and each machine shall be removed immediately after its task is complete;
12. A note shall be included on all grading and building plans that no dumping of debris or stockpiling of soil will occur in or near the stream channel on site;
13. A note shall be included on all grading and building plans that construction access to the site shall be limited to designated areas containing non-native, exotic, or invasive plants; and
14. A note shall be included on all grading and building plans that all onsite features to be preserved (including native salvage plants) in the existing riparian areas adjacent to the proposed mitigation site shall be avoided at all times.

VI. Cultural Resources

City of Escondido Significance Criteria

A significant impact to cultural resources would occur if implementation of the project causes substantial change to a historical or archaeological resource pursuant to Section 15064.5 of the California Environmental Quality Act Guidelines, the destruction of unique paleontological resources or unique geologic feature, or disturb any human remains.

An archaeological survey was conducted on March 10, 2003 and November 3, 2003, by James Clifford and Jeff Szymanski, staff archaeologists, under the direction of Brian F. Smith, Principal Investigator at BFSa and is incorporated into this document and is available at the Planning Division for the City of Escondido. The survey encompasses all components of the proposed project. The majority of the site had been disturbed by previous agricultural activities, including disking, and an existing residence. The archaeological survey of the project site did not result in the discovery of any archaeological sites, features or isolate artifacts. During a previous survey of the parcel, one historically significant structure was located on the property but it has since been moved. The structure currently located on the property was determined to be insignificant by the City of Escondido. The lack of any archaeological materials noted during the survey is not unexpected; except for the small area adjacent to Reidy Creek, the project does not exhibit the types of settings typically associated with prehistoric sites in this area.

A house is located on the site of the care facility that is considered historic but not significant. The City's Historic Preservation Commission reviewed the site for inclusion of two structures present on the site in the early 1990's. At that time the two structures were deemed to be of insignificant historic significance, and since that time one of the two structures has burned down.

VII. Geology and Soils

City of Escondido Significance Criteria

A significant geologic impact would occur if a project exposed people or structures to major geologic hazards such as earthquake damage (rupture, ground shaking, ground failure, and landslides), slope and/or foundation instability, erosion, soil instability or other problems of a geologic nature.

A geotechnical investigation prepared for the subject site dated December 16, 2002 and updated on June 26, 2002 has been prepared by WGR Southwest, Inc. and is available for review at the Planning Division of the City of Escondido. The report concludes that no soil or geologic conditions were found that would preclude the development of the property as planned, provided the recommendations of the report are followed. Exploratory borings indicate that the proposed cut areas should be rippable with moderate to heavy effort with heavy duty earthmoving equipment to a depth of at least 30 feet, but that some rock breakage may be necessary to facilitate the excavation and handling of large unweathered boulders (cores stones). If blasting is required, the contractor will be required to obtain the necessary permits and follow all City of Escondido procedures.

The geotechnical study indicates that there are no known active or potentially active faults which intercept the project site. The site is not located within an Alquist-Priolo Special Studies Zone, therefore, the potential for ground rupture at this site is considered low. The nearest active fault to the site is the Elsinore Fault, located approximately 16 miles to the west. The fault with the greatest seismic impact to the site is the Elsinore-Julian fault. Other nearby faults include the Elsinore-Temecula Fault, and the Newport-Inglewood Fault (offshore). According to the geotechnical investigation, the site is not considered to possess a significantly greater seismic risk than that of the surrounding area in general.

The project would be constructed in conformance with the recommendations in the geology reports and therefore a significant geology and soils impact would not occur.

VIII. Hazards and Hazardous Materials

City of Escondido Significance Criteria

A significant impact to the environment and the public associated with hazards and hazardous materials would result from a project if any of the following occurred:

- 1. Creation of a significant hazard to the public or the environment though routine transport, use or disposal of hazardous materials or from reasonably foreseeable upset and accident;*
- 2. Emission and/or handling of hazardous materials substances or waste within one-quarter mile of an existing or proposed school;*
- 3. Location of a project on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5;*
- 4. Location within an airport land-use plan or within two miles of a public airport. Or the project is located within the vicinity of a private air strip;*

5. *Impairment/interference with an adopted emergency response plan or emergency evacuation plan; and*
6. *Expose people or structures to a significant risk of loss, injury or death involving wild fires.*

A Phase I Environmental Site Assessment for the site dated December 16, 2002 was prepared by WGR Southwest, Inc. and is incorporated by reference. The Phase I Environmental Site Assessment may be reviewed in the Planning Division of the City of Escondido. A standard record review according to ASTM E 1572-00 was conducted for the subject property. The record review included publicly obtainable database from federal, state, and local records of potentially hazardous conditions concerning the subject site and adjacent properties within a 1 1/4 mile radius.

An existing house on the site appears to have been constructed in the 1930s or 1940s. Based on the age of the structure it is possible that asbestos-containing materials could be present in roofing or other building materials. Therefore the following mitigation is proposed:

- Prior to demolition, renovation, or any other activity that may disturb these materials, an accredited Building Inspector shall perform an inspection, or the affected materials shall be handled as asbestos containing.

A pesticide residue study was performed on the site by WGR Southwest, Inc. on February 21, 2003 and is incorporated by reference into this document. The study may be reviewed in the Planning Division of the City of Escondido. Undisturbed soil samples were collected in accordance with EPA Method 8081A (Organochlorine Pesticides), EPA Method 8141A (Organophosphorous Pesticides) and EPA Method 8151A (Chlorinated Herbicides) at Enviro-Chem, Inc. All samples results were negative or below the threshold established by the USEPA. Therefore, no mitigation for pesticide remediation is required.

Used batteries and two steel drums containing used oil were observed during the Phase I Environmental Assessment report, therefore the following mitigation is proposed:

- The used oil and used batteries shall be properly recycled and disposed of by a State of California licensed hazardous waste recycler.

Additionally, an abandoned well was observed on the subject site. State of California Well Standards (California Department of Water Resources Bulletin 74-90, Supplement to Bulletin 74-81) states that a well is considered "abandoned" or permanently inactive if it has not been used for one year, unless the owner demonstrates intention to use the well again. The on-site wells should be properly abandoned if they remain inactive for a period of one year. At the time of project approval, proper abandonment of the well will be made a condition of approval.

The site is not adjacent to or within two miles of an airport. The proposed development would not impair the City's emergency response plan according to discussions with the City Fire Department. The site will not expose people or structures to a significant risk of loss, injury or death involving wild fires since the site is in an urban setting and will be irrigated.

With implementation of the following mitigations no significant hazards and hazardous materials impact would occur as a result of the project.

Hazardous Materials Mitigation Measures:

1. Prior to demolition of the structure adjacent to Iris Avenue, renovation, or any other activity that may disturb materials involved in the demolition of the structures on site, an accredited Building Inspector should perform an inspection, or the affected materials shall be handled as asbestos containing.
2. The used oil and used batteries shall be properly recycled and disposed of by a State of California licensed hazardous waste recycler prior to issuance of grading permits.

IX. Hydrology and Water Quality

City of Escondido Significance Criteria:

Significant impacts associated with hydrology and water quality would result from the project if water quality standards or waste discharge requirements were violated; groundwater and surface water quality and quantity were substantially altered; drainage patterns were substantially altered so as to increase erosion/siltation and increase surface runoff; increased runoff would exceed the capacity of existing or planned drainage systems or add a substantial source of pollution; the project were located in a 100-year floodplain and cannot be protected; and, if the project exposed people to hydrological hazards, such as flooding or inundation by seiche, tsunami, or mudflow.

The property is relatively flat (generally less than 10% slope) and primarily drains from northwest to southeast to off-site drainage improvements. The amount of run-off from the site would be expected to incrementally increase due to the increase of impervious surfaces associated with the development of the parking lot and paved surfaces. An overflow channel is proposed onsite to provide 100-year flood protection and to accommodate higher water flows in Reidy Creek. The proposed overflow channel would connect to the existing low-flow channel located at the far southern portion of the property. The Engineering Division has determined that runoff from the project would not be considered significant and the project would not materially degrade the existing drainage facilities. The City would provide sewer and water service from mains within the adjacent street or easements; consequently, no significant impact is expected to occur to the groundwater table.

Portions of the project site lie within the Reidy Creek 100-year flood plain as defined by the current Flood Insurance Rate Map (FIRM) published by the Federal Emergency Management Agency (FEMA) for the City of Escondido. The existing defined channel currently crosses Stanley Avenue easterly of Broadway and flows along the east side of Broadway to a location approximately 500 feet south of Stanley. After crossing North Broadway the channel continues through the south easterly portion of the project site approximately 500 feet to the southerly boundary.

Reidy Creek has historically flooded in the vicinity of the intersection of North Broadway and Stanley Avenue for 1 or 2 year event storms. The existing channel from several hundred feet south of the project to several hundred feet north of Stanley Avenue does not have adequate capacity to carry the 100-year flows.

The Creek was evaluated from the crossing at Centre City Parkway (CCP) to just south of the Rincon Avenue Crossing. The 100-year flow established in the Drainage Study for the development of Brookside I, Escondido Tract 572, was used as the design flow at the northerly end of the reach. Within this reach there are two side tributaries, one at North Broadway and one at the northerly boundary of Escondido High School. A hydrologic (HEC-I) analysis was done to determine the 100-year flows for the portions of the channel downstream of the two side tributaries. The new design flows are as follows:

- Reach 1 - CCP to northerly boundary of Escondido High School 8,000 cfs
- Reach 2 - Northerly boundary of Escondido High School to Broadway 7,670 cfs
- Reach 3 - Broadway to Rincon Avenue 7,542 cfs

In order to provide sufficient culvert capacity at the North Broadway crossing, it will be necessary to deepen the existing channel approximately 5 feet and raise the elevation of the roadway approximately 5 feet. In order to minimize the impacts to the wetlands within the existing channel the alignment will be shifted onto the project site just north of Stanley Avenue and the existing defined channel will remain undisturbed.

As a result of widening and deepening the channel the HEC-RAS analysis indicate that the water surface elevation through the reach will not increase. As a condition of the project approval, the project applicant will be required to obtain a conditional letter of map revision (CLOMR) from FEMA prior to issuance of a grading permit and a letter of map revision (LOMR) from FEMA prior to occupancy.

Much of the project site lies within the 100-year regulatory floodplain of Reidy Creek. The proposed project will remove most of the site from the floodplain by filling much of the site and constructing a flood control channel and culverts designed to convey the 100-year flows. Approximately 11 square miles of tributary area drains to the project site, which results in a 100-year peak flow rate of approximately 7,700 cubic feet per second.

The channel has been designed with the help of the Corps of Engineers' HEC-RAS hydraulic modeling program, which simulates a steady (constant) flow through a river reach. Reidy Creek was modeled from Center City Parkway, downstream of the project site, to a drop structure immediately upstream of the project site. An existing (pre-project) condition model was prepared, along with a post-project condition model. The channel and culvert were designed to avoid negative impacts to neighboring properties. A Conditional Letter of Map Revision (CLOMR) is being prepared, which will demonstrate how the proposed project will safely convey the 100-year storm and not negatively impact upstream and downstream properties.

Site runoff could potentially contribute urban pollutants to the storm drain system. These pollutants typically involve automobile residues from roadways (e.g. motor oil, antifreeze, etc.). Under the National Pollutant Discharge Elimination System (NPDES) Stormwater Permit issued in 1990 to the County of San Diego and to the City of Escondido, as one of the co-permittees, all development and significant redevelopment is obligated to implement structural and non-structural non-point source pollution control measures known as Best Management Practices (BMPs) to limit urban pollutants reaching the waters of the U.S. to the maximum extent practicable. The NPDES permit requires the preparation of a site-specific Stormwater Pollution

Prevention Plan (SWPP). The implementation of this permit system requires that specific management practices be implemented at the time of construction.

Implementation of the above-noted design for the site and project conditions of approval will improve the existing hydrology and with the following mitigation will have a less than significant impact on hydrology:

Hydrology Mitigation Measure:

1. A conditional letter of map revision (CLOMR) from FEMA prior to issuance of grading permits and a letter of map revision (LOMR) from FEMA shall be obtained by the developer prior to occupancy.

X. Mineral Resources

Significance Criteria

Impacts to mineral resources would be substantial if the proposed project resulted in the loss of significant state or locally important mineral resources.

The proposed project would not substantially impact mineral resources as only a portion of the small site includes granitic rock. The limited size of the project would not substantially increase the use of, or result in the depletion of any nonrenewable natural resources.

XI. Noise

City of Escondido Significance Criteria

Significant noise impacts would occur if the project; exposed persons to, or generated noise levels in excess of standards established in the local general plan or noise ordinance or applicable standards of other agencies; exposed persons to, or generated excessive ground-borne vibration or ground-borne noise levels. Significant noise effects would also occur if the project resulted in substantial permanent or temporary/periodic increase in ambient noise levels in the project vicinity above noise levels existing without the project. According the General Plan Noise Policy E1.4, projects that increase noise levels by 5 dB or greater should be considered as generating a significant impact and should be mitigated.

The City's General Plan Noise Element contains noise policies, which outline acceptable noise levels associated with each type of land use. A 60 CNEL exposure is considered normally acceptable for residential land uses based upon the assumption that any buildings involved are of normal conventional construction, without any special noise insulation requirements. The City requires that noise levels be presented in terms of Community Noise Equivalent Level (CNEL). CNEL is a weighted sound level during a 24-hour period, after the addition of 5 decibels (dB) to average sound levels at evening hours (7 PM to 10 PM) and 10dB to the average night hours (10 PM to 7AM). The addition of 5 and 10 dB is applied to account for noise sensitivity during evening and nighttime hours.

Care Facility

An acoustic analysis was prepared by Eiler Associates on February 25, 2003. The analysis indicates that the on-site noise results from vehicle traffic on North Broadway and Iris Lane. With project buildings in place, calculations show that future exterior traffic noise levels will exceed the outdoor use noise limit at four proposed recreational areas; the putting green, chipping area, pool area, and Alzheimer's walking area. Due to the exceedance of the noise limit on some portions of this project, exterior mitigation will be required in the form of a sound attenuation barrier. The required sound attenuation barriers may be a single sound wall in design or a combination of a sound wall atop an earthen berm. The sound wall needs to solid with no cracks or gaps. Any proposed gates must be designed with overlapping closures. Additionally, a supplemental exterior-to-interior acoustical analysis will be necessary prior to approval of building plans to determine the exact nature and extent of acoustic mitigation.

Grading and construction within the project would create temporary noise impacts. Modern construction equipment, properly used and maintained, meet the noise limits contained in the City's Noise Ordinance. All noise generated by the project would be required to comply with the City's Noise Ordinance. Upon completion of the project, all construction noise from the project operations would be required to conform to the City's Noise Ordinance and because construction noise is temporary, no significant impact from construction noise would occur.

The interior noise analysis indicates that sound attenuation barriers will not block the traffic noise from higher floors or rooms with a direct line-of-sight to the roadways, and interior noise levels may consequently exceed the 45 CNEL requirement. Typical residential construction generally achieves at least a 15 dB noise attenuation in rooms, even with windows open. Mitigation to these upper floors is feasible and attainable through common construction practices (exterior wall construction and dual glazed windows). A supplemental exterior-to-interior acoustical analysis is necessary, prior to approval of building plans to determine the exact nature and extent of this mitigation. Therefore, the following mitigation is required for noise impacts:

- A sound barrier shall be constructed between North Iris and the putting green, chipping area, pool area, and the Alzheimer's walking area;
- Mitigation to upper floors and or unprotected rooms is attainable through common construction practices and would need to demonstrate the effectiveness of the mitigation with an acoustical analysis at the time building plans are submitted.

Seventeen-unit Subdivision

As with the care facility, an acoustic report was provided by Eilar Associates. As noted in the analysis for the care facility, the primary source of noise is the result of automobile and truck traffic along North Broadway. Therefore the mitigation for the noise will be similar:

- A sound wall shall be located between North Broadway and the residences just east of North Broadway.
- Mitigation to upper floors and or unprotected rooms is attainable through common construction practices and would need to demonstrate the effectiveness of the mitigation with an acoustical analysis at the time building plans are submitted.

Noise Mitigation Measures:

1. A sound barrier shall be constructed between North Iris and the putting green, chipping area, pool area, and the Alzheimer's walking area prior to occupancy;
2. A sound wall shall be located between North Broadway and the residences just east of North Broadway prior to occupancy; and
3. The developer shall provide documentation that noise impacts have been mitigated to an acceptable level (45 CNEL) to upper floors and/ or unprotected rooms through common construction practices with an acoustical analysis at the time building plans are submitted.

XII. Population and Housing

City of Escondido Significance Criteria

Significant population and housing impacts would occur if the proposed project induced substantial population growth in an area and, displaced substantial numbers of people or existing housing.

Population within the City would incrementally increase as a result of developing the proposed 197 dwelling units of the combined three projects under this review. The City's General Plan anticipates single-family residential uses on these project sites. The proposed project would provide a total of 197 dwelling units which is a higher density than described in the General Plan for the project site, however, the City's Zoning Ordinance allows a convalescent care facility through the Conditional Use Permit process which allows a different unit type. Ninety-seven of the units would be of a single-family dwelling style while the remaining 110 units would be in a congregate care building.

The proposed residential development would not be considered growth inducing since the project site is located within an established community, can be considered in-fill and provides services typically found in residential communities. Public facilities are readily available within the area to serve the project and expansion of the public facilities would not be necessary. The project would provide assisted living housing for the increasing population in the area. The displacement of the one existing home is not considered significant. Because of all the aforementioned reasons the project would not result in a significant impact to population and housing.

XIII. Public Services

City of Escondido Significance Criteria

Impacts would be significant if the project resulted in demands for wastewater treatment requirements in excess of the capacity of existing facilities. Or if the project triggered the need for construction of new water or wastewater treatment facilities or the expansion of existing facilities, the construction of which could cause significant environmental effects. The project would cause significant impacts if the project required/resulted in, the construction of new storm water drainage facilities or expansion of existing facilities or expansion of existing facilities, the

construction of which could cause significant environmental effects. Significant impacts would also occur if the project resulted in a determination by the wastewater treatment provider and/or a landfill operator, which serve, or may serve, the project that capacity of existing facilities to serve the project's projected demand in addition to the provider's existing commitments is inadequate.

Sewer Service – The proposed 17-unit residential subdivision has access to an 18-inch sewer line, located on North Broadway and can be extended to serve the project. Interviews with City Public Utilities staff have confirmed that treatment capacity exists at the wastewater treatment plant located on Hale Avenue for all components of the project.

Water Service – The site for the care facility and the four-lot parcel map are in the Rincon del Diablo Municipal Water District, and water service is available from Improvement District 1. An existing 24" water line along the southerly boundary must remain accessible.

The seventeen-unit subdivision is located within the City of Escondido water district where water service is available.

Storm Water/Refuse Collection – The Engineering Division indicated the proposed project would not require the construction of significant new storm drain facilities or adversely impact existing facilities. Escondido Disposal currently provides solid waste service to the site and the project would not result in a significant increase in solid waste. The proposed amendment would not result in any individual or cumulative impacts to utilities and service systems.

Fire –Care Facility:

The project will be served by the City of Escondido Fire Department Station #3. Fire protection is available for the site; however, for the care facility several conditions of approval will be made part of the project approvals including: the requirement for automatic fire sprinklers, appropriately located fire hydrants, requiring a standpipe system in multistory buildings, and all streets within the project will be fire lanes with no parking.

Seventeen-unit Subdivision:

Structures may require fire sprinkler systems; no parking is allowed on streets less than 28' wide and indicated as such by being red curbed and "No Parking Fire Lane" signs posted. Electric gates will require Fire Department approval. A method to provide on-going maintenance must be provided. Dead end roads or cul-de-sacs exceeding 800' require a secondary access. Fire hydrants providing needed fire flow must be located within 250' of all structures. A 100' clearance (fuel modification zones) must be provided between all structures and brush covered or riparian areas. The afore-noted items will be included as conditions of approval of the project.

Law Enforcement - The City of Escondido Police Department has indicated the ability to provide adequate service to the proposed development. Additional conditions of approval will be made a part of project approvals to improve security.

Schools - The site is within the Escondido Union School District and the Escondido Union High School District. The project would be in the boundaries of North Broadway Elementary and Rincon Middle School. The incremental impact of the proposed residential developments on the

school system would be offset by the impact fees collected upon issuance of building permits. Additionally, since the project would serve care facility residents only, the impact to the school district would be less than significant.

Even though the proposed care facility will add more residential units than would normally be allowed in R-1-10 zone the care facility is permitted with a conditional use permit. Even at the proposed greater density, the City of Escondido is able to provide the project with all needed services. All of the conditions of providing those services will be incorporated as conditions of approval to the project during the approval process. Therefore, there will be no significant impact to services requiring mitigation.

XIV. Recreation

City of Escondido Significance Criteria

Significant impact would occur if the project resulted in an increase of the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated. A significant impact would also occur if the project includes or requires the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment.

Development of the site would result in an incremental demand on the City's recreational facilities. However the development fees paid by this project would offset the anticipated impact on the existing facilities. The proposed project would not affect existing recreational opportunities since the site is not used for recreational activities and is not listed as a park site in the City's Master Plan of Parks, Trails and Open Space. Therefore no significant impact to recreational resources would occur as a result of the project.

XV. Mandatory Findings of Significance

No significant impacts that cannot be mitigated to a level of insignificance to the environment as a result of this project have been identified. Approval of the project is not expected to have any significant impacts, either long-term or short-term, nor will it cause substantial adverse effect on human beings, either directly or indirectly.

ATTACHMENT "A" **MITIGATION MONITORING REPORT**

PROJECT NAME: Meadowbrook Village

PROJECT DESCRIPTION: A Conditional Use Permit, Development Plan, 4-Lot Parcel Map, Development Agreement, and Tentative Map for an 18-lot Residential Subdivision, GPA

PROJECT LOCATION: Between Iris Lane and North Broadway and East of North Broadway

APPROVAL BODY/DATE: Planning Commission,
January 27, 2004

ENVIRONMENTAL CASE NO: ER 2002-25

ASSOCIATED CASE NO: 2002-69-CUP

TR 864, 2003-43-DP/DA, TPM 2003-20, 2003-02-GPA

CONTACT PERSON: Andrew Anema, Stewardship Foundation

PROJECT PLANNER: Diana Delgadillo

No.	Mitigation Measure	Location in Document	Responsibility for Implementation	Signature/Date Completed	Phase of Implementation	Comments
1.	The developer shall construct a signal at the intersection of North Broadway and Vista Avenue prior to issuance of certificate of occupancy.	Transportation/Traffic	Applicant		Prior to occupancy	
2.	The developer shall improve the portion of North Broadway between Village Road and Vista Avenue to City of Escondido collector street standards prior to issuance of certificate of occupancy	Transportation/Traffic	Applicant		Prior to occupancy	
3.	The developer shall provide dedicated inbound left-turn pockets for the project driveways on North Broadway and Iris Lane prior to issuance of certificate of occupancy	Transportation/Traffic	Applicant		Prior to occupancy	
4.	Egress project driveways shall be a minimum of 24 feet wide to improve driveway operations and accommodate simultaneous left- and right-turn outbound movements prior to issuance of certificate of occupancy	Transportation/Traffic	Applicant		Prior to occupancy	
5.	The developer shall have resource agency approval to create an overflow channel west of the existing Reidy Creek prior to issuance of grading permits	Biological Resources	Applicant		Prior to issuance of grading permit	
6.	The developer shall have resource agency approval for the creation of a low flow channel to tie into the existing Reidy Creek low flow channel at the upstream and downstream ends of the project prior to issuance of grading permits	Biological Resources	Applicant		Prior to issuance of Grading Permit	
7.	The developer shall have resource agency approval to install all of the above-ground irrigation and native wetland container plants on the graded slopes of the overflow channel prior to issuance of grading permits	Biological Resources	Applicant		Prior to issuance of Grading Permit	
8.	The developer shall mitigate the loss of 20.44 acres of non-native grassland at a ratio of 0.5:1 at a resource agency-approved mitigation site prior to issuance of grading permit	Biological Resources	Applicant		Prior to issuance of Grading Permit	

No.	Mitigation Measure	Location in Document	Responsibility for Implementation	Signature/ Date Completed	Phase of Implementation	Comments
9.	Prior to issuance of grading permits the developer shall have resource agency approval for the mitigation of the loss of wetland habitat with 2.20 acres to be provided onsite and 2.78 acres (see attached chart) to be located offsite at a resource agency approved location. The developer reserves the right to propose alternate wetland habitat mitigation plans subject to approval of the resource agencies	Biological Resources	Applicant		Prior to issuance of Grading Permit	
10.	The applicant shall have resource agency approval for application of a native wetland hydro-seed mix on all graded areas within the overflow channel and slopes prior to issuance of grading permits	Biological Resources	Applicant		Prior to issuance of Grading Permit	
11.	Protection of all installed plant materials on the project site will be provided by temporary orange construction fencing installed along the edges of these features to protect all environmentally sensitive areas. The fencing locations will be approved by the Project Biologist prior to installation, and shall be installed around these areas prior to the beginning of vegetation clearing and grading. The fence will consist of orange snow fence attached to metal T-posts. All fencing materials must be a minimum of 4-feet high to prevent construction equipment and personnel from entering environmentally sensitive areas. The protection fence will remain in-place until restoration/enhancement activities are complete. Approximately 4500 linear feet of fencing is anticipated to be necessary to protect the mitigation area	Biological Resources	Applicant		Prior to Grading Permit & Ongoing	
83						
12.	Prior to the issuance of grading permits, the applicant shall prepare a five-year maintenance, monitoring, and reporting program in accordance with resource agency standards	Biological Resources	Applicant		Prior to issuance of Grading Permit	
13.	Documentation that pets and/or domesticated animals will not be permitted within the onsite mitigation site shall be provided on grading and building plans and be achieved in a manner acceptable to the resource agencies	Biological Resources	Applicant		Prior to issuance of Grading and Building Permit	
14.	The applicant shall demonstrate that no machinery fluids will be added or changed on the revegetation site or near the stream channel; refueling of machinery will occur within designated upland areas and only over areas with a non-permeable membrane installed to be noted on grading and building plans	Biological Resources	Applicant		Prior to issuance of Grading and Building Permit	
15.	A note shall be included on all grading and building plans that no dumping of debris or stockpiling of soil will occur in or near the stream channel on site	Biological Resources	Applicant		Prior to issuance of Grading and Building Permit	

No.	Mitigation Measure	Location in Document	Responsibility for Implementation	Signature/ Date Completed	Phase of Implementation	Comments
16.	A note shall be included on all grading and building plans that construction access to the site shall be limited to designated areas containing non-native, exotic, or invasive plants	Biological Resources	Applicant		Prior to issuance of Grading and Building Permit	
17.	A note shall be included on all grading and building plans that all onsite features to be preserved (including native salvage plants) in the existing riparian areas adjacent to the proposed mitigation site shall be avoided at all times	Biological Resources	Applicant		Prior to issuance of Grading Permit	
18.	A sound barrier shall be constructed between North Iris and the putting green, chipping area, pool area, and the Alzheimer's walking area prior to occupancy	Noise	Applicant		Prior to occupancy	
19.	A sound wall shall be located between North Broadway and the residences just east of North Broadway prior to occupancy unless the applicant can demonstrate that acceptable noise levels have been achieved by other means	Noise	Applicant		Prior to occupancy	
20.	The developer shall provide documentation that noise impacts have been mitigated to an acceptable level (45 CNEL) to upper floors and/ or unprotected rooms through common construction practices with an acoustical analysis at the time building plans are submitted	Noise	Applicant		Prior to Issuance of Building Permit	
21.	Mitigation to upper floors and or unprotected rooms is attainable through common construction practices and the developer shall demonstrate the effectiveness of the mitigation with an acoustical analysis at the time building plans are submitted	Noise	Applicant		Prior to Occupancy	
22.	A conditional letter of map revision (CLOMR) from FEMA prior to issuance of grading permits and a letter of map revision (LOMR) from FEMA shall be obtained by the developer prior to occupancy	Hydrology	Applicant		Prior to Occupancy	
23.	Prior to demolition of the structure adjacent to Iris Avenue, renovation, or any other activity that may disturb materials involved in the demolition of the structures on site, an accredited Building Inspector should perform an inspection, or the affected materials shall be handled as asbestos containing	Hazardous Materials	Applicant		Prior to demolition	
24.	The used oil and used batteries shall be properly recycled and disposed of by a State of California licensed hazardous waste recycler prior to issuance of grading permits	Hazardous Materials	Applicant		Prior to issuance of Grading Permit	

ACKNOWLEDGEMENT OF ENFORCEABLE COMMITMENT

ER 2002-25

**Meadowbrook Care Facility and Single-Family Residential Project, TR 864, 2003-43-PD/DA, PM
2003-20, 2002-69-CUP, 2003-02-GPA**

The items listed on the attached Revised Mitigation Monitoring Program constitute an enforceable commitment pursuant to Section 21081.6(b) of the California Environmental Quality Act (Public Resources Code Sections 21000-21178.) The applicant will be required to provide and comply with all of the mitigation measures listed herein. These mitigation measures have also been included as conditions of the project approval.

1/20/04

Date

Andrew Anema



Applicant's Signature

PLANNING COMMISSION

Agenda Item No.: G.3

Date: April 8, 2014

CASE NUMBER: PHG 14-0011

APPLICANT: Verizon Wireless (FMHC representative)

LOCATION: Jesmond Dene Park is located on the southwestern corner of North Broadway and Jesmond Dene Road, addressed as 2401 N. Broadway (APNs 187-310-09 and 224-290-09).

TYPE OF PROJECT: Conditional Use Permit

PROJECT DESCRIPTION: A Conditional Use Permit to allow the installation, operation, and maintenance of a new Wireless Communication Facility for Verizon Wireless consisting of six panel antennas, a four-foot-diameter microwave dish and associated radio equipment mounted onto a new 71-foot high light pole located next to the baseball fields in Jesmond Dene Park. The project also includes a 30 kW emergency backup generator that would be located within a new 403 SF equipment building.

STAFF RECOMMENDATION: Approval

GENERAL PLAN DESIGNATION: P (Public Land/Open Space)

ZONING: OS-P (Open Space Parks)

BACKGROUND/SUMMARY OF ISSUES:

Verizon is proposing to construct a wireless communication facility which would place up to six, 6.5' panel antennas and a four-foot-diameter microwave dish on a new, approximately 71-foot-high light pole adjacent to the baseball fields at Jesmond Dene Park. Wireless communication facilities are an allowed use within the Open Space-Park (OS-P) zone subject to the approval of a Conditional Use Permit (CUP). The supporting electrical equipment and cabinets would be secured within a new masonry block building designed to match the other accessory buildings located within the park. The applicant also is proposing to install a 30 kilowatt (kW) emergency diesel generator within the equipment building. There currently is one additional wireless communication facility (T-Mobile) located within the park which consists of six panel antennas mounted onto a light pole adjacent to the baseball fields, along with a masonry block equipment enclosure.

Staff feels that the issues are as follow:

1. Whether the design and location of the proposed facility is appropriate for the site and consistent with the Wireless Facility Guidelines.
2. Whether the proposal is consistent with the Zoning Code standards for standby generators.

REASONS FOR STAFF RECOMMENDATION:

1. The proposed wireless facility is consistent with the Communication Antennas Ordinance because the antennas would be located on a new field light that would be similar in design and compatible with other field lights and an existing T-Mobile wireless facility located within the park. The supporting equipment would be located within a newly constructed masonry block building designed to match other accessory buildings located within the park.
2. The proposed 30 kW emergency diesel generator would not create any adverse compatibility, visual, noise, or air-quality impacts because it will be located within an enclosed equipment building within a city park well away from any residential properties or sensitive receptors. The generator is for emergency use only during power outages and

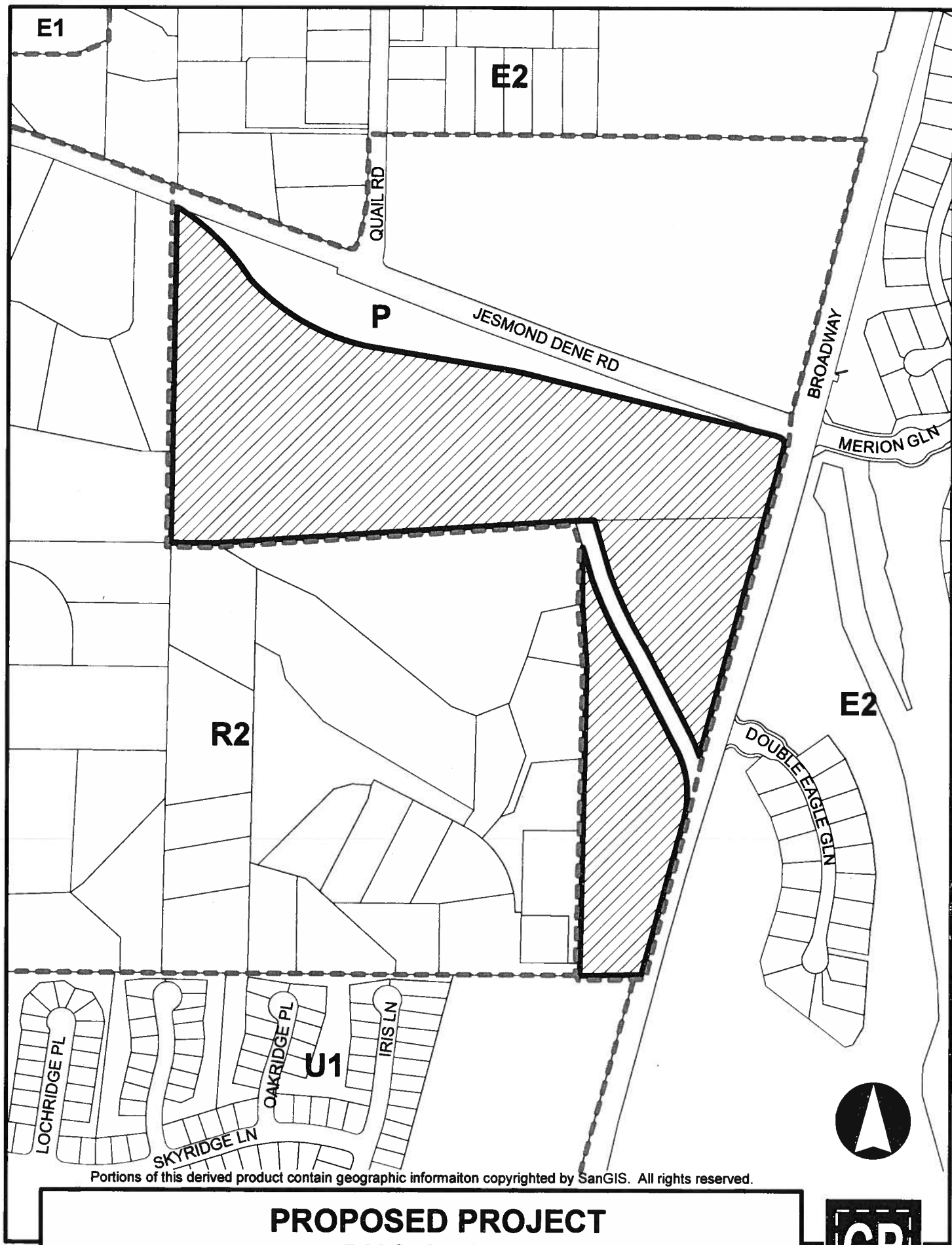
typically would be tested only once a month for maintenance purposes generally between the hours of 7:00 am and 5:00 pm.

3. Staff feels the proposed facility would not result in a potential health hazards to people in the area because the Radio Frequency (RF) study prepared for the proposed project indicates the facility would be within maximum permissible exposure (MPE) limits and Federal Communication Commission (FCC) radio frequency emission guidelines.

Respectfully Submitted,

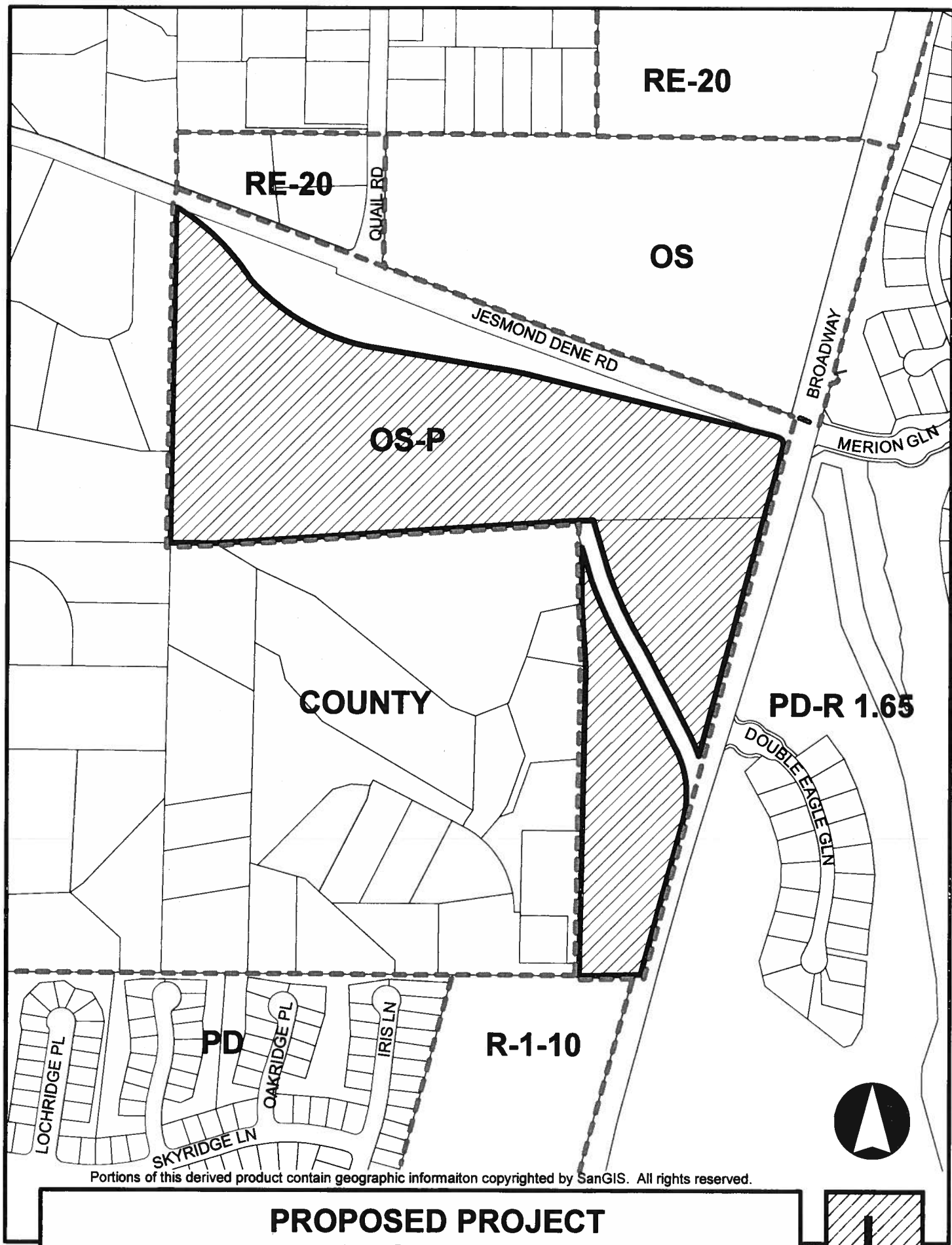


Jay Paul
Associate Planner



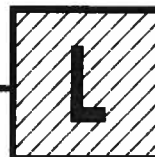
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PROPOSED PROJECT PHG 14-0011



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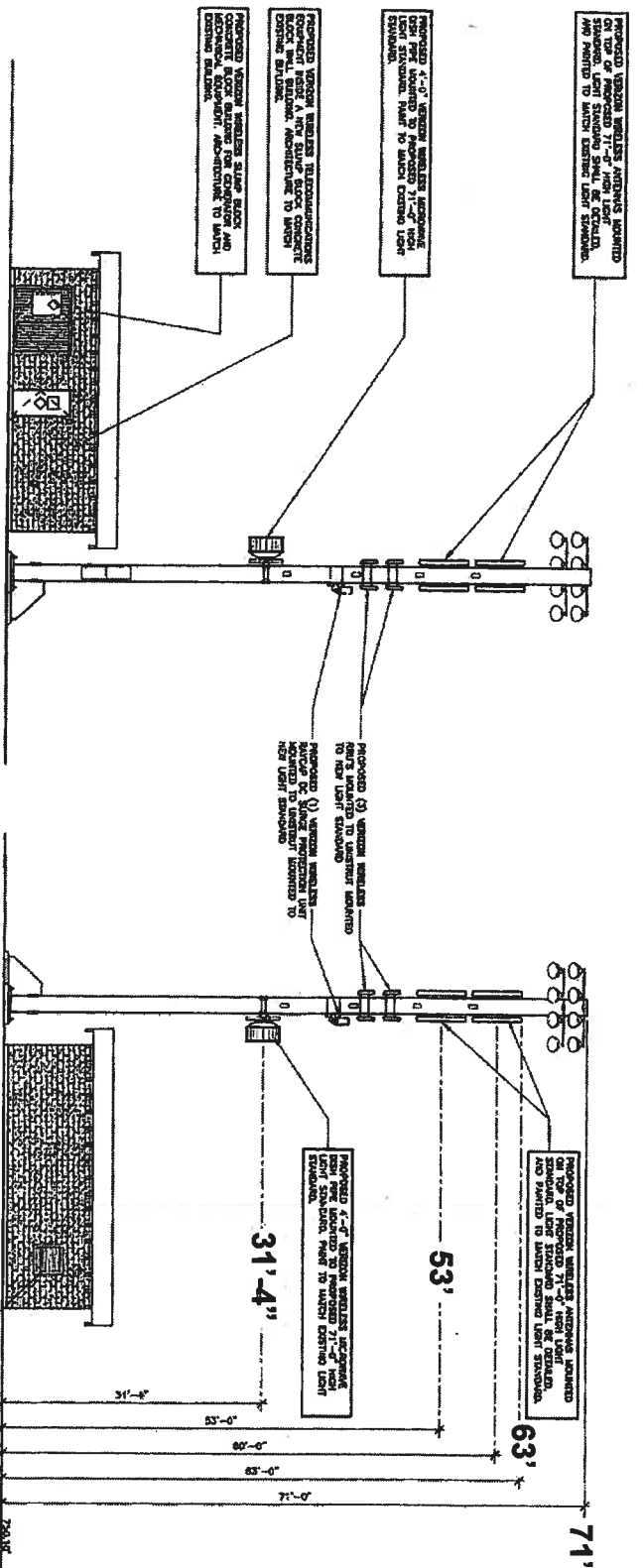
PROPOSED PROJECT
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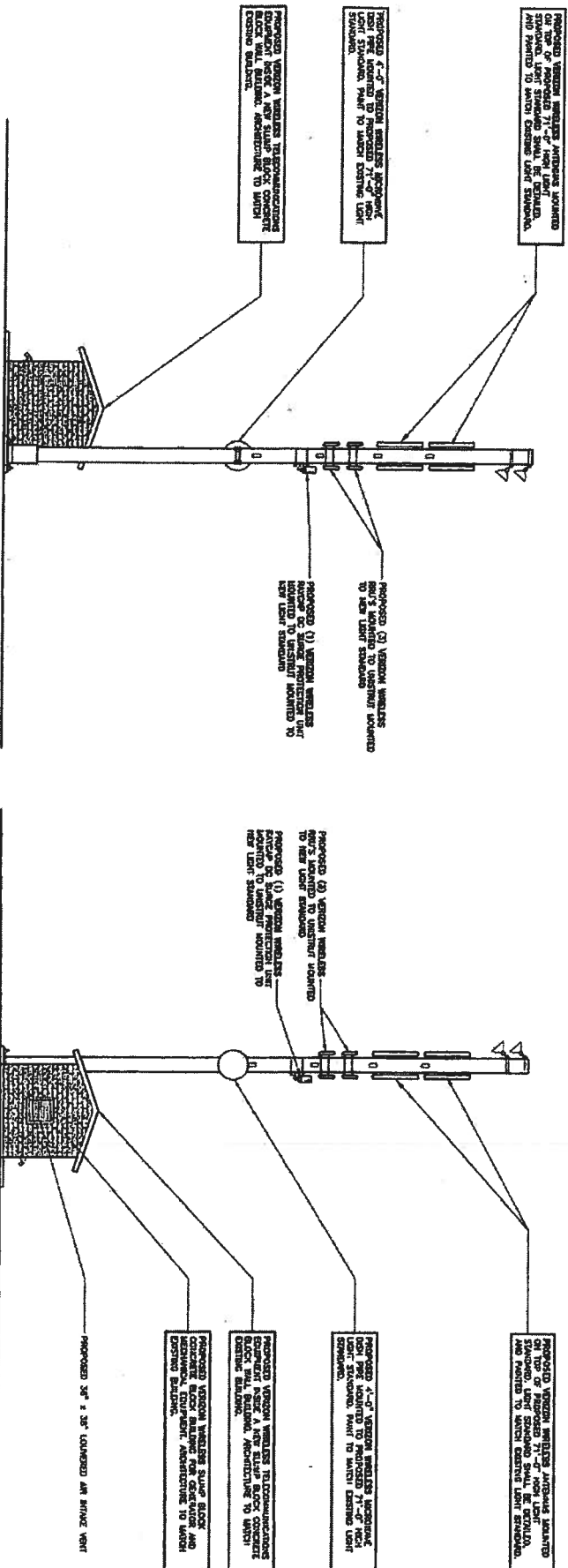
LOCATION/ZONING



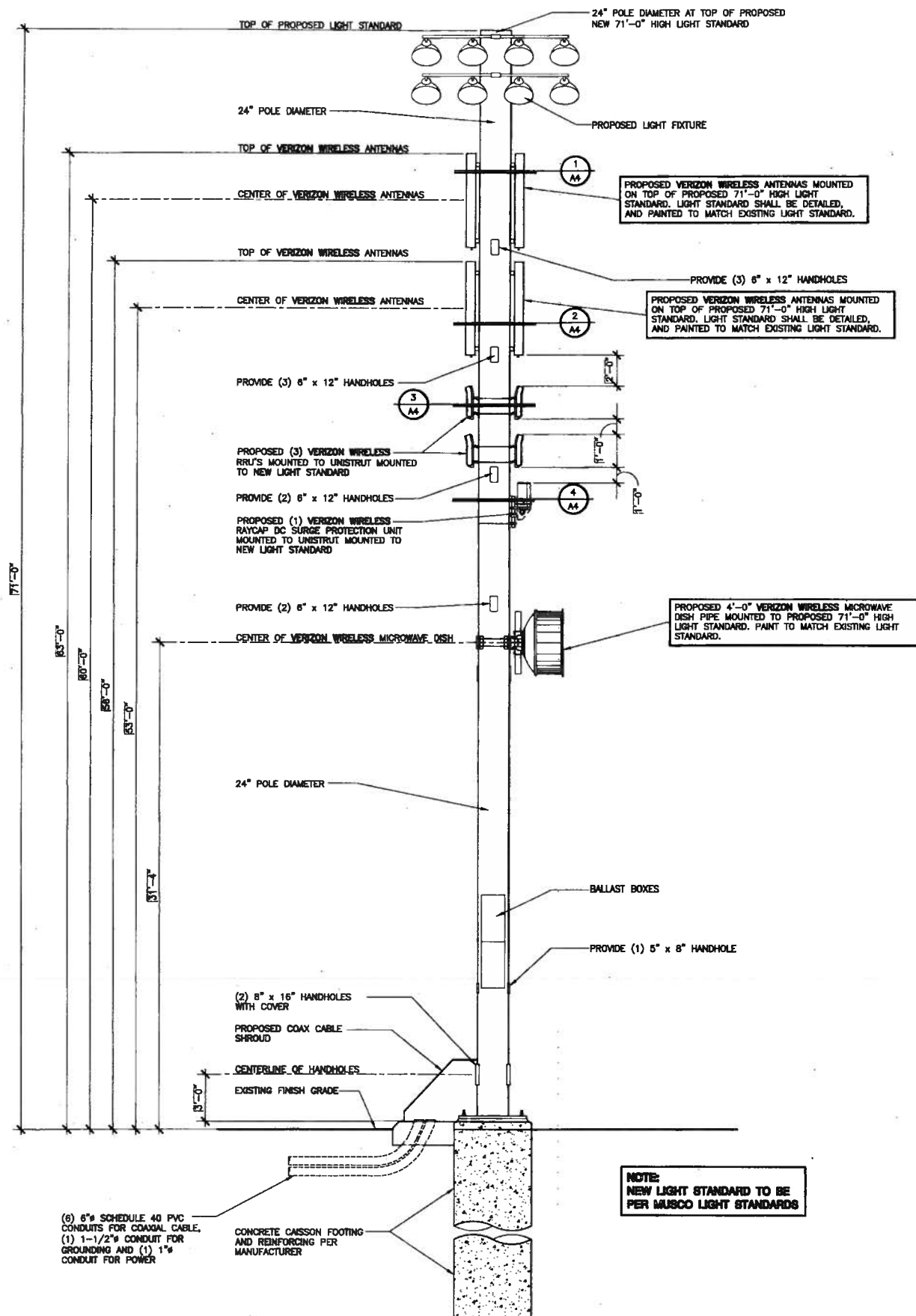
WEST ELEVATION



SOUTH ELEVATION



PROPOSED PROJECT PHG 14-0011

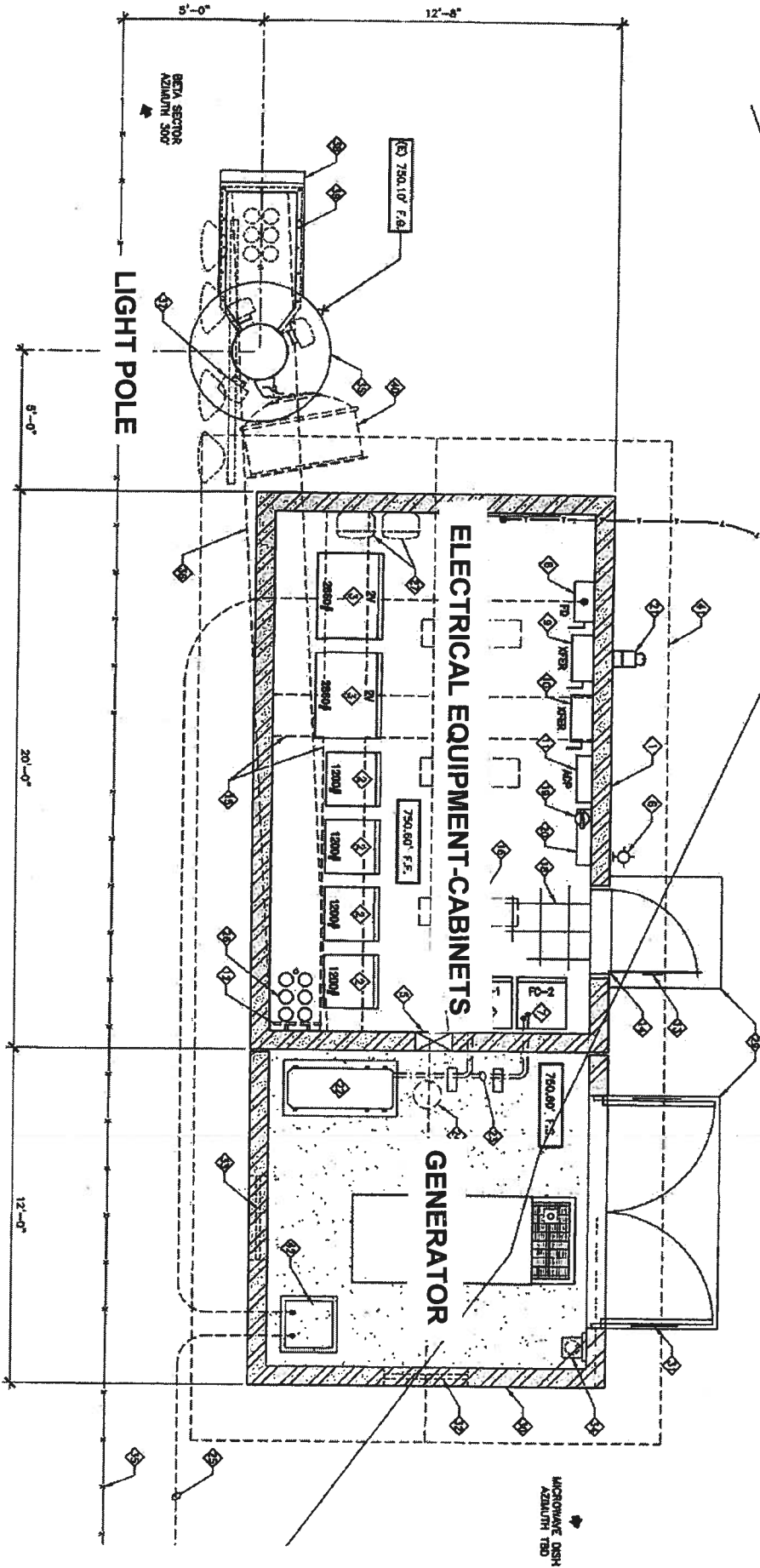


LIGHT STANDARD

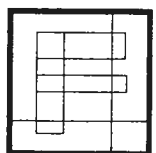
**PROPOSED PROJECT
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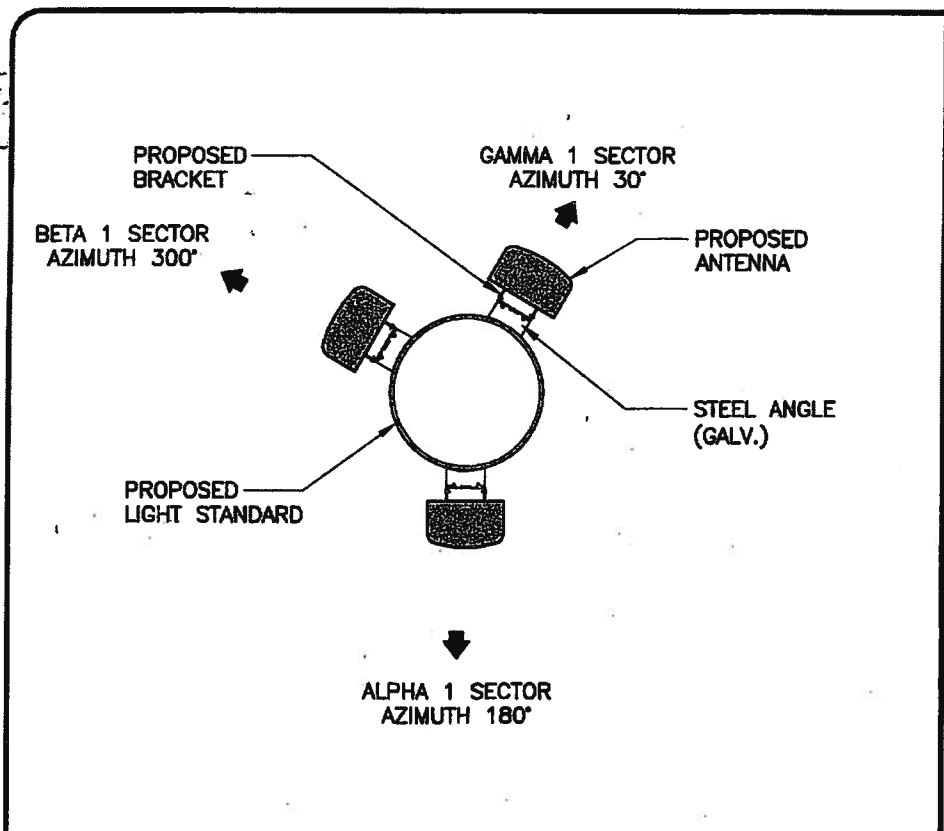
EQUIPMENT FLOOR PLAN



**PROPOSED PROJECT
PHG 14-0011**

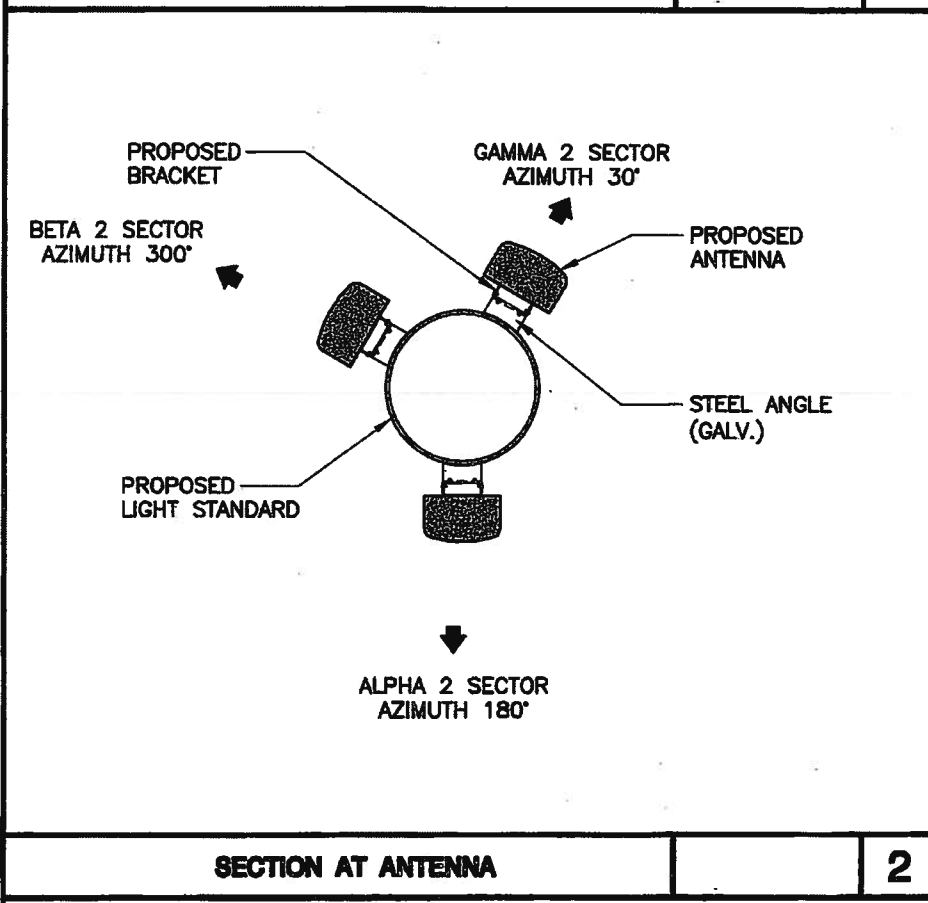


FLOOR PLAN



SECTION AT ANTENNA

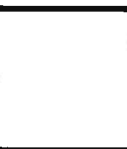
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SECTION AT ANTENNA

2

**PROPOSED PROJECT
PHG 14-0011**



SECTION AT ANTENNA

SCALE
1/2"=1'-0"

2

PROPOSED STAINLESS
STEEL MOUNTING BRACKET

PROPOSED
LIGHT STANDARD

STEEL ANGLE
(GALV.)

PROPOSED (3) VERIZON
WIRELESS RRU'S

SECTION AT RRU UNITS

3

PROPOSED
LIGHT STANDARD

PROPOSED PIPE
CLAMPS

PROPOSED 2"Ø STD.
STEEL PIPE

PROPOSED U-BOLT

PROPOSED (1) VERIZON
WIRELESS RAYCAP DC
SURGE PROTECTION UNIT

SECTION AT RAYCAPS

4

**PROPOSED PROJECT
PHG 14-0011**

ANALYSIS

A. LAND USE COMPATIBILITY/SURROUNDING ZONING

NORTH – PD-R 4.9 zoning (Planned Development-Residential 4.9 du/ac) - A City-owned golf course is located north of the park across Jesmond Dene Road. Estate residential development is located further to the northwest.

SOUTH – County zoning – Large rural-estate type lots are located south of the site along with open space/natural habitat areas.

EAST - PD-R 4.9 zoning (Planned Development-Residential 4.9 du/ac) - A city-owned golf course is located east of the Park across North Broadway. Single-family homes are located further northeast and southeast of the park across North Broadway.

WEST - County Zoning – Large estate lots and open space areas are located west of the park.

B. ENVIRONMENTAL STATUS

The proposal is exempt from the requirements of the California Environmental Quality Act (CEQA) in conformance with Section 15303, "New Small Facilities and Structures." A Notice of Exemption was issued on March 24, 2014. In staff's opinion, no project issues remain unresolved through compliance with code requirements and the recommended conditions of approval. The project will have no impact on fish and wildlife resources as no sensitive or protected habitat occurs within the project development area or will be impacted by the proposed facility.

C. GENERAL PLAN ANALYSIS

The General Plan land-use designation for the project site is Public Land/Open Space (P). General Plan Infrastructure Goal 7: (Section 17 Telecommunications, page III-50) encourages quality communication systems that enhance economic viability, government efficiency, and equitable access for all. The General Plan Telecommunication Policies also encourages the City to work with service providers to enhance the delivery of public services; require compatible designs that are designed in a manner to minimize visual impacts on surrounding uses; and support innovation in the design and implementation of state-of-the art telecommunication technologies and facilities. The proposed wireless facility project is consistent with the General Plan Public Land/Open Space designation because wireless facilities are allowed with the approval of a Conditional Use Permit in the Public Land/Open Space designation when compatible with the Communication Antennas Ordinance (Article 34) and compatible with the surrounding properties and the built environment. The location and design of the proposed facility would not impact any existing or planned recreational uses or trails within the park, nor would it impact any existing native habitat areas. Therefore, the proposed project would be in substantial compliance with any relevant General Plan criteria and underlying Open Space zone standards, and also is in conformance with the Wireless Service Facilities Guidelines as discussed in the analysis section below and project findings.

D. TELECOMMUNICATIONS ACT – LEGAL REQUIREMENTS:

In 1996, the U.S. Congress added a section to the Communications Act of 1934 to promote the expansion of personal wireless communications service, adding section 332(c)(7). This section preserves local zoning authority over the "placement, construction, and modification" of wireless facilities, while imposing certain federal requirements. Specifically, Section 332(c)(7) requires that state or local government decisions regarding wireless service facilities must not: 1) unreasonably discriminate between one cellular provider and another; or 2) prohibit or have the effect of prohibiting the provision of personal wireless services; or 3) be founded on "the environmental effects of radio frequency (RF) emissions **to the extent that such facilities comply** with the FCC's regulations" (emphasis added). Once the Commission is satisfied the project's RF emissions are within the federal thresholds, then the review must be based on otherwise applicable local zoning criteria. A denial of a proposed facility must not run afoul of the federal restrictions set forth as 1), 2) and 3) above.

E. PROJECT ANALYSIS

Appropriateness of the Proposed Design and Whether the Proposed Wireless Facility Would Be in Conformance with the Communication Antennas Ordinance

Verizon is proposing to install a new wireless communications facility adjacent to one of three baseball fields at Jesmond Dene Park. The proposed facility consists of a new, 71-foot-high light standard with new field lights adjacent to the outfield area of the field closest to the intersection of Broadway and Jesmond Dene Road. There currently is one other wireless facility located on an existing 70-foot-high light standard adjacent to the same baseball field. The proposed Verizon facility would be similar to the existing T-Mobile facility, which also contains six panel antennas. The proposed Verizon antennas would be mounted as flush as possible to the light standard making views from the surrounding residential properties not substantially different from the other light poles and the T-Mobile facility within the park. The Verizon facility would contain an additional four-foot-diameter microwave dish and additional radio units attached to the pole. All associated equipment, cabinets, and the emergency generator would be located within a newly constructed masonry block equipment building that would be similar in design to the existing wireless equipment building. The project has been conditioned to provide landscaping around the equipment building to provide some screening of the new building walls because it is within an open area of the park and visible from Broadway. Staff feels the location of the proposed facility would not create any negative visual impacts and would be in conformance with the Communication Antennas Ordinance because views of the site and the light pole would not be substantially different as seen from within the park and/or from surrounding properties, and the design of the facility is in scale and context with the surroundings.

Consistency with Zoning Code Standards for Standby Generators

The Escondido Zoning Code (Sec. 33-1122) requires a Conditional Use Permit for generators with a production capability of 5 kilowatts (kW) or greater. The proposed 30 kW diesel generator only would be used to provide backup power during a power disruption or extended outage, and also tested once each month for approximately 10 minutes for maintenance purposes, which results in an expected annual maintenance usage of approximately 2 hours. The San Diego Air Pollution Control District limits usage to 52 hours per year when not under emergency conditions. Emissions only occur during emergency situations, and for a very short time, to perform maintenance checks and operator training. Therefore, the proposed generator would not result in any adverse air-quality emissions due to the limited amount of hours a standby generator typically would be used. The generator also would not create any noise or compatibility issues with adjacent uses because the generator would be located within a completely enclosed masonry building which would provide appropriate attenuation. The equipment building also would be situated within the northeastern corner of the park (near intersection of Broadway and Jesmond Dene Park) and there are no residential structures or other sensitive receptors adjacent to or within close proximity to this area of the park.

Conformance with FCC Emission Requirements

Operation of the facility would generate radio frequency electromagnetic emissions (RF radiation) and the Federal Communication Commission (FCC) has developed Maximum Permissible Exposure (MPE) Limits for general public and occupational exposures to RF energy fields. The FCC guidelines incorporate two separate tiers of exposure limits that are based upon occupation/controlled exposure limits (for workers) and general public/uncontrolled exposure limits. A RF study was prepared for the project by Sitesafe, Inc. to determine whether the proposed communication facility complies with the FCC Radio Frequency Safety guidelines. The study assumes a worst case scenario with the facility operating at maximum capacity, and compares the figures to existing standards. A copy of the study has been attached with this report. The study indicates there are no modeled areas on any accessible ground-level walking/working areas related to the proposed Verizon antennas and the other wireless facility that exceed the FCC occupational or general public exposure limits. In addition, the maximum MPE level is listed at less than 1% for general public (ground level areas around the light standard).

SUPPLEMENT TO STAFF REPORT/DETAILS OF REQUEST

A. PHYSICAL CHARACTERISTICS

The approximately 38.37-acre site currently is developed with a City-owned park (Jesmond Dene Park), including three baseball fields, parking areas; open play area, unpaved trails and open-space/natural habitat areas. The park has frontage along North Broadway and Jesmond Dene Road with primary access from Broadway.

B. SUPPLEMENTAL DETAILS OF REQUEST

1. Property Size: Approximately 38.37 acres
2. Antenna Height: Approx. 71' top of light pole. The mid-point of the upper antenna panels is approximately 60 feet above grade (63 feet top of panels) and 53 feet to center of lower panel antennas.
3. Panels: Total of 6 (78" L x 15" W x 9.5" D). Three panel antennas mounted in an array onto a new light pole and stacked vertically in two arrays for a total of six mounted around the pole. The 4-foot diameter microwave dish will be located approximately 31'-4" feet high on the light standard.
4. Radio Units and Surge Protectors: 6 Remote Radio Units (RRUs)
1 Surge Protectors
5. Power Density: Less than 1% of the FCC General Public Limit for Maximum Permissible Exposure (MPE), on the ground level.
6. Equipment: Support equipment, cabinets, and emergency generator to be located within a new, approximately 403 SF masonry block equipment building (32'L x 12'-8"W x 13'H – top of roofline) designed to match existing accessory building in the park (gray split-face block, flat tile roof and exposed rafter tails painted dark brown).
7. Generator: 30 kW emergency standby diesel generator located within the new equipment building
8. Landscaping: Shrubs (min. 5 gallon) to be planted around the equipment building to provide appropriate context and to screen the enclosure. Existing irrigation extended to support the plantings.

EXHIBIT "A"
FINDINGS OF FACT
PHG 14-0011

1. The General Plan land-use designation on the site is Public Land/Open Space (P) which calls for the area to be developed with parks and open space uses. The Open Space - Parks (OS-P) zoning allows parks and recreational uses within the zone, including ball fields with light standards. General Plan Infrastructure Goal No. 7 (Telecommunications, page III-50) encourages quality communication systems that enhance economic viability, government efficiency, and equitable access for all. The General Plan also contains specific policies (Policies 17.1 – 17.9) that encourage the City to work with service providers to enhance the delivery of public services; require compatible designs that are designed in a manner to minimize visual impacts on surrounding uses; and support innovation in the design and implementation of state-of-the art telecommunication technologies and facilities.

Granting this Conditional Use Permit to allow a personal wireless communication facility on the subject property would be in conformance with these Goals and Policies, and would be based on sound principles of land use because the use is in response to services required by the community and the facility would enhance communication services in the city without posing a health threat to the surrounding area. The facility would incorporate a design that would be compatible with other similar structures within the park in conformance with the Communication Antennas Ordinance, which would minimize potential visual impacts from adjacent views. The equipment would be located within the new mechanical equipment building, which would eliminate any potential visual and/or noise impacts to adjacent properties. The proposed facility would not result in a substantial alteration of the present or planned land use since the project site is developed with a park and recreational uses and the new antennas would be located on a light standard that would be in character with other light standards around the ball fields. The facility also would not result in a potential health hazard to nearby residents since the facility would be within MPE (maximum permissible exposure) limits as indicated in the radio frequency analysis prepared for the project. The proposed facility would be in compliance with the City's Wireless Facility Guidelines, as discussed in the Planning Commission staff report.

2. Granting the Conditional Use Permit for the emergency backup diesel generator would be based upon sound principles of land use since the site is physically suitable to accommodate the project, the proposed generator will be screened from view from the surrounding streets and properties, the generator only is used for emergency power interruption and will be only run intermittently for monthly maintenance. The masonry block mechanical building would attenuate the sound from the generator to a negligible level.
3. The proposal would not cause deterioration of bordering land uses or result in any adverse visual impacts since the project incorporates a type of design that would fit onto a light standard and the associated equipment would be appropriately screened visually in an equipment enclosure.
4. The proposed personal wireless communication facility would not be hazardous to the health of nearby residents since the radio frequency (RF) analysis prepared for the project by Sitesafe concluded the maximum operation levels of radiation for the facility would be within the MPE (Maximum Permissible Exposure) limit established by FCC guidelines. All signage and mitigation measures cited within the report will be followed to ensure worker exposure is limited and unnecessary.
5. The proposal is exempt from the requirements of the California Environmental Quality Act in conformance with CEQA Section 15303, "New Small Facilities and Structures" and a Statement of Exemption was prepared for the proposed project. In staff's opinion, the request does not have the potential for causing a significant effect on the environment due to the relatively small size of the facility located on a light standard within a park. The project will have no impact on fish and wildlife resources as no sensitive or protected habitat occurs within the project area or will be impacted by the proposed development.

EXHIBIT "B"

CONDITIONS OF APPROVAL PHG 14-0011

General

1. All construction shall comply with all applicable requirements of the Escondido Zoning Code and requirements of the Planning Department, Director of Building, and the Fire Chief.
2. The legal description attached to the application has been provided by the applicant and neither the City of Escondido nor any of its employees assume responsibility for the accuracy of said legal description.
3. Prior to or concurrent with the issuance of building permits, the appropriate development fees and Citywide Facility fees shall be paid in accordance with the prevailing fee schedule in effect at the time of building permit issuance, to the satisfaction of the Director of Community Development.
4. All exterior lighting shall conform to the requirements of Article 1072, Outdoor Lighting (Ordinance No. 86-75).
5. All project generated noise shall conform to the City's Noise Ordinance (Ordinance 90-08).
6. All new utilities and utility runs shall be underground.
7. As proposed, the design, color and materials of the proposed facilities shall be in accordance staff report, exhibits and the project's Details of Request, including the following to the satisfaction of the Planning Division:
 - a. The proposed antennas, microwave dish, radio and support equipment, cables and support brackets shall be painted to match the light pole.
 - b. The equipment building shall be constructed from split-face block; include exposed heavy rafter tails (painted dark brown); and utilized similar roof tile to match the exterior materials of the existing wireless equipment building.
 - c. The project site is located within a high fire zone and the plans for the equipment building shall include enhanced construction details per the County Wildland-Urban interface requirements.
 - d. The new stadium lights shall be approved by the Community Development Department and shall include appropriate shields and adjusted to avoid glare to adjacent properties.
8. Medium to tall shrub species shall be installed around the equipment building (min. 5 gallon). The final shrub species shall be coordinated with the Community Services Department. Permanent irrigation also shall be provided. All required landscaping shall be permanently maintained in a flourishing manner. All irrigation shall be maintained in fully operational condition. The requirement shall be clearly noted on the plans. Any existing landscaping disturbed by the facility trenching/extension of utilities shall be replaced in kind before building final inspection. A note to replace existing landscaping/turf areas shall be noted on the building plans.
9. As per Federal Communication Commission (FCC) guidelines and requirements, Verizon or any subsequent operator/lease holder of the wireless facility shall investigate any valid complaints related to interference with electronic equipment in the surrounding area as may be required by the FCC. If it has been determined Verizon is the cause of such interference, and if such interference is determined to be related to the signal emitted from the facilities approved by this use permit, Verizon or any subsequent operator/lease holder shall solve the problem in a timely manner. Additionally, any interference with public safety communications shall be corrected immediately, to the satisfaction of the City of Escondido.

10. If requested by the City of Escondido, Verizon, or any subsequent operator/lease holder of the facilities shall permit co-location of other wireless providers on its facility (subject to City of Escondido approval) if it can be demonstrated that there would be no adverse effect on the existing facilities/operations.
11. In the event Verizon sells or leases its rights to a third party, Verizon shall submit current contact information to the Director of Community Development of such new owner in a timely manner to insure the City has the ability to interact with the new owner/lessee as to any use permit and compliance issues. Co-location of any new facilities not identified by this use permit shall require approval of the City of Escondido.
12. Verizon shall coordinate with the City of Escondido to select a qualified, independent third party consultant to conduct an actual power density measurement of the facility within 90 days after installation and under full operation of the facility. The results of the study shall be submitted to the Director of Community Development so that the theoretical power density study can be compared to the actual output.
13. Verizon or any subsequent operator/lease holder of the wireless facility shall be responsible for all maintenance of the facility, including the antennas and supporting equipment to ensure the condition of the facility does not appear weathered.
14. All communication facilities on the site shall be promptly removed upon non-use of the facilities, to the satisfaction of the Planning Division and Building Department.
15. Any permanent, temporary or stand-by emergency generators must be in conformance with the City's Ordinance and regulations regarding electric generating facilities.
16. No additional antennas or expansion of this facility shall be permitted without approval of the Director of Community Development subject to the appropriate review process and any necessary permits.
17. A sign conforming to ANSI C95.2 color, symbol and content, and other markings as appropriate, shall be placed close to the antennas with appropriate contact information in order to alert maintenance or other workers approaching the antennas to the presence of RF transmissions and to take precautions to avoid exposures in excess of FCC limits. The requirement for the appropriate signage/notice shall be indicated on the building plans.
18. The Conditional Use Permit shall be null and void if not utilized within twelve months of the effective date of approval.
19. This item may be referred back to the Planning Commission upon recommendation of the Director of Community Development for review and possible revocation or modification of the Conditional Use Permit upon receipt of nuisance complaints regarding the facility or non-compliance with the Conditions of Approval.
20. A copy of these Conditions of Approval shall be submitted with the building plans indicating compliance with all of the Conditions and Details of Request and exhibits contained in the Planning Commission staff report.
21. The City of Escondido hereby notifies the applicant that the County Clerk's Office requires a documentary handling fee of \$50.00 in order to file a Notice of Exemption for the project (environmental determination for the project). The applicant shall remit to the City of Escondido Planning Division, within two working days of the final approval of the project (the final approval being the hearing date of the Planning Commission or City Council, if applicable) a check payable to the "San Diego County Clerk" in the amount of \$50.00. In accordance with California Environmental Quality Act (CEQA) section 15062, the filing of a Notice of Exemption and the posting with the County Clerk starts a 35 day statute of limitations period on legal challenges to the agency's decision that the project is exempt from CEQA. Failure to submit the required fee within the specified time noted above will result in the Notice of Exemption not being filed with the County Clerk, and a 180 day statute of limitations will apply.
22. The building plans shall include structure design for the block equipment building and 71-foot-high light standard.



CITY OF ESCONDIDO
PLANNING DIVISION
201 NORTH BROADWAY
ESCONDIDO, CA 92025-2798
(760) 839-4671

Notice of Exemption

To: San Diego County Recorder's Office
Attn: Deputy County Clerk
P.O. Box 121750
San Diego, CA 92112-1750

From: City of Escondido
201 North Broadway
Escondido, CA 92025

Project Title/Case No.: PHG 14-0011 (Verizon-Jesmond Dene Park)

Project Location - Specific: Jesmond Dene Park is located on the southwestern corner of North Broadway and Jesmond Dene Road, addressed as 2401 N. Broadway.

Project Location - City: Escondido, **Project Location - County:** San Diego

Description of Project: A Conditional Use Permit to allow the installation, operation, and maintenance of a new Wireless Communication Facility mounted onto a new 71-foot high field light pole located next to the baseball field in Jesmond Dene Park. The proposed facility consists of three (3) sectors of two (2) antennas each, (6 total), and one four foot in diameter microwave dish, and the construction of a new mechanical equipment enclosure to house Verizon's mechanical equipment, cabinets, and a 30 kW emergency backup generator.

Name of Public Agency Approving Project: City of Escondido

Name of Person or Agency Carrying Out Project:

Name Tracy Thomas (FMHC) project representatives for Verizon

Telephone (858) 336-1599

Address 3303 Harbor Blvd. #E6, Costa Mesa, CA 92626

☒ Private entity ☐ School district ☐ Local public agency ☐ State agency ☐ Other special district

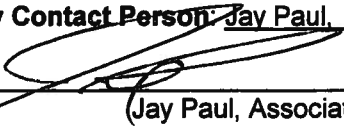
Exempt Status: Categorical Exemption. Section 15303, "New Small Facilities or Structures."

Reasons why project is exempt:

1. The facility would be consistent with the Wireless Facility Guidelines since the antenna panels would be integrated onto a new field light adjacent to the baseball fields at Jesmond Dene Park, which would be in context with the other field lights located throughout the park. The proposed facility would not result in any noise impacts to existing residences or adjacent properties, or displace any required parking.
2. The site is within an area that currently is developed with a city park, that includes baseball fields, field lights and accessory buildings. The size of the proposed facility is relatively small, and no significant grading or removal of native vegetation is proposed or required.
3. The proposed facility would not be hazardous to the health of nearby residents or the general public since the facility would be within maximum permissible exposure (MPE) limits and Federal Communication Commission (FCC) standards.
4. All service and access to the proposed wireless facility are available and would be in conformance with local standards.

Lead Agency Contact Person: Jay Paul, Planning Division

Area Code/Telephone/Extension (760) 839-4537

Signature: 
(Jay Paul, Associate Planner)

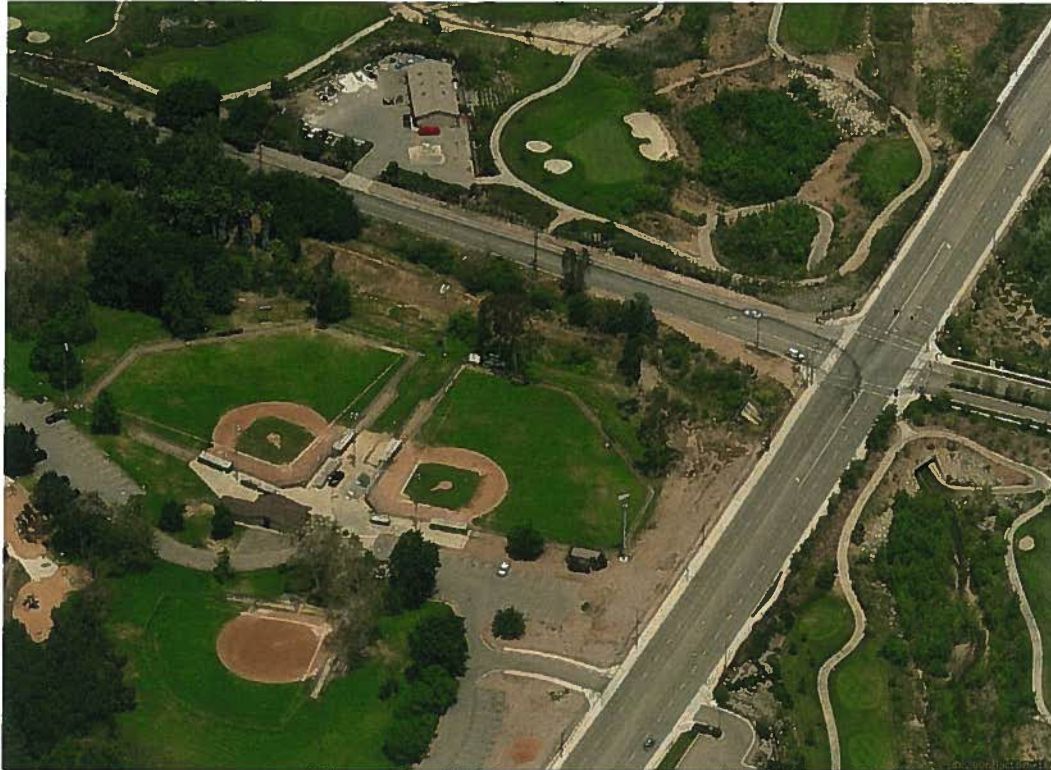
March 24, 2014
Date

☒ Signed by Lead Agency

Date received for filing at OPR: N/A

☐ Signed by Applicant

Jesmond Dene Radio Frequency (RF) Site Compliance Report



2401 North Broadway, Escondido, CA 92026

**Verizon Wireless will be Compliant Based on
FCC Rules and Regulations.**

**The Site is Not Compliant with Verizon Wireless
Signage and Demarcation Policy.**

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David Charles Cotton, Jr.
Registered Professional Engineer (Electrical)
State of California, 18838
Date: 2014-March-07

Radio Frequency Exposure Pre-Installation FCC Compliance Assessment

Site Specific Information			
Site Name	Jesmond Dene	Categorically Excluded?	No
Street Address	2401 North Broadway	5% Contributor To Areas Requiring Mitigation?	No
City, State, Zip	Escondido, CA 92026		
Multi-License Facility	Yes	Max % MPE (Predictive)	<1% Occupational
Structure Type	Light Pole	Max % MPE (Measured)	N/A
Broadcast Equipment	No	Assessment Date	March 7, 2014
# of Access Points	#1	Assessment Purpose	NEW SITE BUILD
Compliance Status		MITIGATION REQUIRED	

☒	Worst-case RF power density levels are BELOW the MPE for General Population/Uncontrolled Environments in accessible areas.
☐	Worst-case RF power density levels are ABOVE the MPE for General Population/Uncontrolled Environments but BELOW the MPE for Occupational/Controlled environments.
☐	Worst-case RF power density levels are ABOVE the MPE for Occupational/Controlled Environments but BELOW 10x the MPE for Occupational/Controlled environments.
☐	Worst-case RF power density levels are ABOVE 10x the MPE for Occupational/Controlled environments.

Compliance Requirements	     					
	Guidelines	Notice	Caution	Warning	NOC Information	Barrier
Access Point	☐ [#]	☐ [#]	☐ [#]	☐ [#]	☐ [#]	☐
Alpha	X [1]	☐ [#]	X [1]	☐ [#]	X [1]	☐
Beta	☐ [#]	☐ [#]	☐ [#]	☐ [#]	☐ [#]	☐
Gamma	☐ [#]	☐ [#]	☐ [#]	☐ [#]	☐ [#]	☐

Additional Compliance Requirements(s): Post a 10 Step guideline, Yellow caution and NOC information signs near the antenna level. Have T-Mobile post a Yellow caution sign near the antenna level on their tower.			
Consultant Legal Name	Sitesafe, Inc.	Phone/Fax	703-276-1100
Address	200 North Glebe Road, Suite 1000 Arlington, VA 22203-3728		

Contents

1. Executive Summary	4
2. Proposed Site Characteristics	5
a. Structure	5
b. Accessibility	5
c. Verizon Wireless Signage	5
d. Antenna Inventory	6
3. Analysis	7
4. Conclusion	10
a. Conclusion Narrative	10
b. Compliance Requirements	11
Signage/Barrier Installation Detail	11
Signage/Barrier Diagram	12
5. Appendix A: RF Consultant Certifications	13
a. Preparer Certification	13
b. Reviewer Certification	13
6. Appendix B: Reference Information	14
a. FCC Rules & Regulations	14
b. Occupational Safety and Health Administration (OSHA) Requirements	14
c. RF Signage	15
d. Barriers	15

1. Executive Summary

Verizon Wireless has contracted with Sitesafe, Inc., an independent Radio Frequency consulting firm, to conduct a Radio Frequency Exposure (RFE) Compliance **Pre-Installation Assessment** of the Jesmond Dene cell site. The following report contains a detailed summary of the Radio Frequency environment as it relates to Federal Communications Commission (FCC) and Occupational Safety & Health Administration (OSHA) Rules and Regulations for all individuals.

The Verizon Wireless antenna data was provided by:

Name	Arlet Vargas
Title	Engineer III Consultant-RF
Date	November 12, 2013
Region	Southern CA

This pre-installation compliance assessment and report has been prepared and reviewed by:

	Preparer	Reviewer
Name	John Lee	(See PE signature on title page)
Title	EME Report Writer	Professional Engineer
Date	3/7/2014	3/7/2014

This report utilizes the following for predictive modeling of the ambient RF environment:

MPE Modeling Program: SitesafeTC

Required Modeling Assumptions: 100% Duty Cycle and Maximum Total Power Output.

Additional Modeling Assumptions:

General Model Assumptions

In this site compliance report, it is assumed that all antennas are operating at **full power at all times**. Software modeling was performed for all transmitting antennas located on the site. Sitesafe has further assumed a 100% duty cycle and maximum radiated power.

The site has been modeled with these assumptions to show the maximum RF energy density. Sitesafe believes this to be a worst-case analysis, based on best available data. Areas modeled to predict emissions greater than 100% of the applicable MPE level may not actually occur, but are shown as a worst-case prediction that could be realized real time. Sitesafe believes these areas to be safe for entry by occupationally trained personnel utilizing appropriate personal protective equipment (in most cases, a personal monitor).

Thus, at any time, if power density measurements were made, we believe the real-time measurements would indicate levels below those depicted in the RF emission diagram(s) in this report. By modeling in this way, Sitesafe has conservatively shown exclusion areas – areas that should not be entered without the use of a personal monitor, carriers reducing power, or performing real-time measurements to indicate real-time exposure levels.

Use of Generic Antennas

For the purposes of this report, the use of “Generic” as an antenna model, or “Unknown” for an operator means the information about a carrier, their FCC license and/or antenna information was not provided and could not be obtained while on site. In the event of unknown information, Sitesafe will use our industry specific knowledge of equipment, antenna models, and transmit power to model the site. If more specific information can be obtained for the unknown measurement criteria, Sitesafe recommends remodeling of the site utilizing the more complete and accurate data. Information about similar facilities is used when the service is identified and associated with a particular antenna. If no information is available regarding the transmitting service associated with an unidentified antenna, using the antenna manufacturer’s published data regarding the antenna’s physical characteristics makes more conservative assumptions.

Where the frequency is unknown, Sitesafe uses the closest frequency in the antenna’s range that corresponds to the highest Maximum Permissible Exposure (MPE), resulting in a conservative analysis.

2. Proposed Site Characteristics

a. Structure

Physical Description	Light pole
Site Latitude (NAD 83)	N33-10-04.70
Site Longitude (NAD 83)	W117-5-28.26
Site Elevation (AMSL)	748 FT
Structure Height (AGL)	71 FT
Overall Structure Height	71 FT

b. Accessibility

The site is a light pole with General Public access to the base of the tower.

c. Verizon Wireless Signage

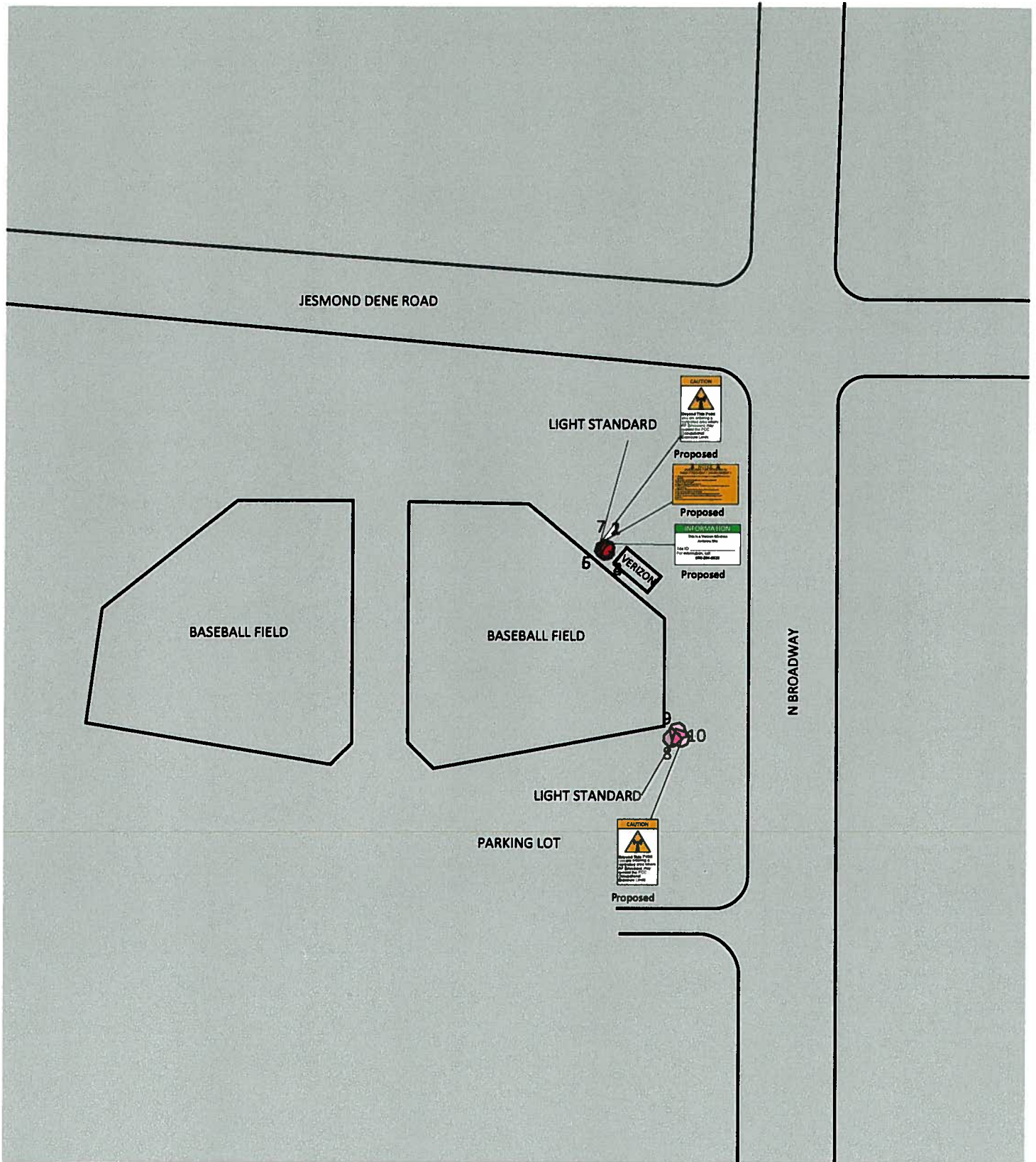
Existing Signage						
	Guidelines	Notice	Caution	Warning	NOC Information	Barrier
Access Point	☐ [#]	☐ [#]	☐ [#]	☐ [#]	☐ [#]	☐
Alpha	☐ [#]	☐ [#]	☐ [#]	☐ [#]	☐ [#]	☐
Beta	☐ [#]	☐ [#]	☐ [#]	☐ [#]	☐ [#]	☐
Gamma	☐ [#]	☐ [#]	☐ [#]	☐ [#]	☐ [#]	☐
Existing Signage Adheres to VZW Signage & Demarcation Policy?						No

d. Antenna Inventory

Ant ID	Operator	Antenna Make & Model	Type	TX Freq (MHz)	Az (Deg)	Hor BW (Deg)	Ant Len (ft)	Ant Gain (dBd)	Total ERP (Watts)	X	Y	Z
1	VERIZON WIRELESS (Proposed)	Antel CWWQ063X19G00	Panel	751	180	72	4.3	11.11	1582	572.2'	762.4'	60'
1	VERIZON WIRELESS (Proposed)	Antel CWWQ063X19G00	Panel	2100	180	66	4.3	14.71	3127	572.2'	762.4'	60'
1	VERIZON WIRELESS (Proposed)	Antel CWWQ063X19G00	Panel	1900	180	67	4.3	14.21	2919	572.2'	762.4'	60'
2	VERIZON WIRELESS (Proposed)	Antel CWWQ063X19G00	Panel	850	180	68	4.3	11.91	2335	572'	762.4'	53'
2	VERIZON WIRELESS (Not in use)	Antel CWWQ063X19G00	Panel	1900	180	67	4.3	14.21	0	572'	762.4'	53'
3	VERIZON WIRELESS (Proposed)	Antel CWWQ063X19G00	Panel	751	300	72	4.3	11.11	1582	570'	763.9'	60'
3	VERIZON WIRELESS (Proposed)	Antel CWWQ063X19G00	Panel	2100	300	66	4.3	14.71	3127	570'	763.9'	60'
3	VERIZON WIRELESS (Proposed)	Antel CWWQ063X19G00	Panel	1900	300	67	4.3	14.21	2919	570'	763.9'	60'
4	VERIZON WIRELESS (Proposed)	Antel CWWQ063X19G00	Panel	850	300	68	4.3	11.91	2335	570'	763.8'	53'
4	VERIZON WIRELESS (Not in use)	Antel CWWQ063X19G00	Panel	1900	300	67	4.3	14.21	0	570'	763.8'	53'
5	VERIZON WIRELESS (Proposed)	Antel CWWQ063X19G00	Panel	751	30	72	4.3	11.11	1582	572.4'	764.8'	60'
5	VERIZON WIRELESS (Proposed)	Antel CWWQ063X19G00	Panel	2100	30	66	4.3	14.71	3127	572.4'	764.8'	60'
5	VERIZON WIRELESS (Proposed)	Antel CWWQ063X19G00	Panel	1900	30	67	4.3	14.21	2919	572.4'	764.8'	60'
6	VERIZON WIRELESS (Proposed)	Antel CWWQ063X19G00	Panel	850	30	68	4.3	11.91	2335	572.5'	764.8'	53'
6	VERIZON WIRELESS (Not in use)	Antel CWWQ063X19G00	Panel	1900	30	67	4.3	14.21	0	572.5'	764.8'	53'
7	VERIZON WIRELESS (Proposed)	Generic 10 GHz/11 GHz Microwave/4 Ft.	Dish	11000	140	2	4	37.66	100	573.8'	763.2'	46'
8	T-MOBILE	Generic 4 Ft./65 Deg.	Panel	1900	0	65	4.6	15.43	2094.8	635.8'	605.5'	57'
8	T-MOBILE	Generic 4 Ft./65 Deg.	Panel	2100	0	65	4.6	15.23	2000.6	635.8'	605.5'	57'
9	T-MOBILE	Generic 4 Ft./65 Deg.	Panel	1900	120	65	4.6	15.43	2094.8	638.8'	599.2'	57'
9	T-MOBILE	Generic 4 Ft./65 Deg.	Panel	2100	120	65	4.6	15.23	2000.6	638.8'	599.2'	57'
10	T-MOBILE	Generic 4 Ft./65 Deg.	Panel	1900	240	65	4.6	15.43	2094.8	630.7'	599'	57'
10	T-MOBILE	Generic 4 Ft./65 Deg.	Panel	2100	240	65	4.6	15.23	2000.6	630.7'	599'	57'

NOTE: X, Y and Z indicate relative position of the antenna to the origin location on the site, displayed in the model results diagram. Specifically, the Z reference indicates the antenna radiation center height above the main site level unless otherwise indicated. Effective Radiated Power (ERP) is provided by the operator or based on Sitesafe experience. The values used in the modeling may be greater than are currently deployed. For other operators at this site the use of "Generic" as an antenna model or "Unknown" for a wireless operator means the information with regard to operator, their FCC license and/or antenna information was not available nor could it be secured while on site. Other operator's equipment, antenna models and powers used for modeling are based on obtained information or Sitesafe experience.

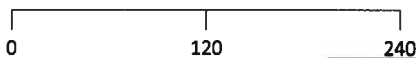
RF Emissions Simulation For: Jesmond Dene



% of FCC Public Exposure Limit
Spatial average 0' - 6'



(Feet)



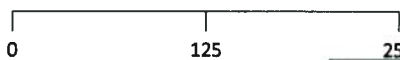
www.sitesafe.com
Site Name: Jesmond Dene

AT&T MOBILITY LLC	VERIZON WIRELESS	T-MOBILE	SPRINT	25	METROPCS	CRICKET COMMUNICATIONS	CLEARWIRE
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RF Emissions Simulation For: Jesmond Dene Verizon Wireless Contribution

% of FCC Public Exposure Limit
Spatial average 0' - 6'

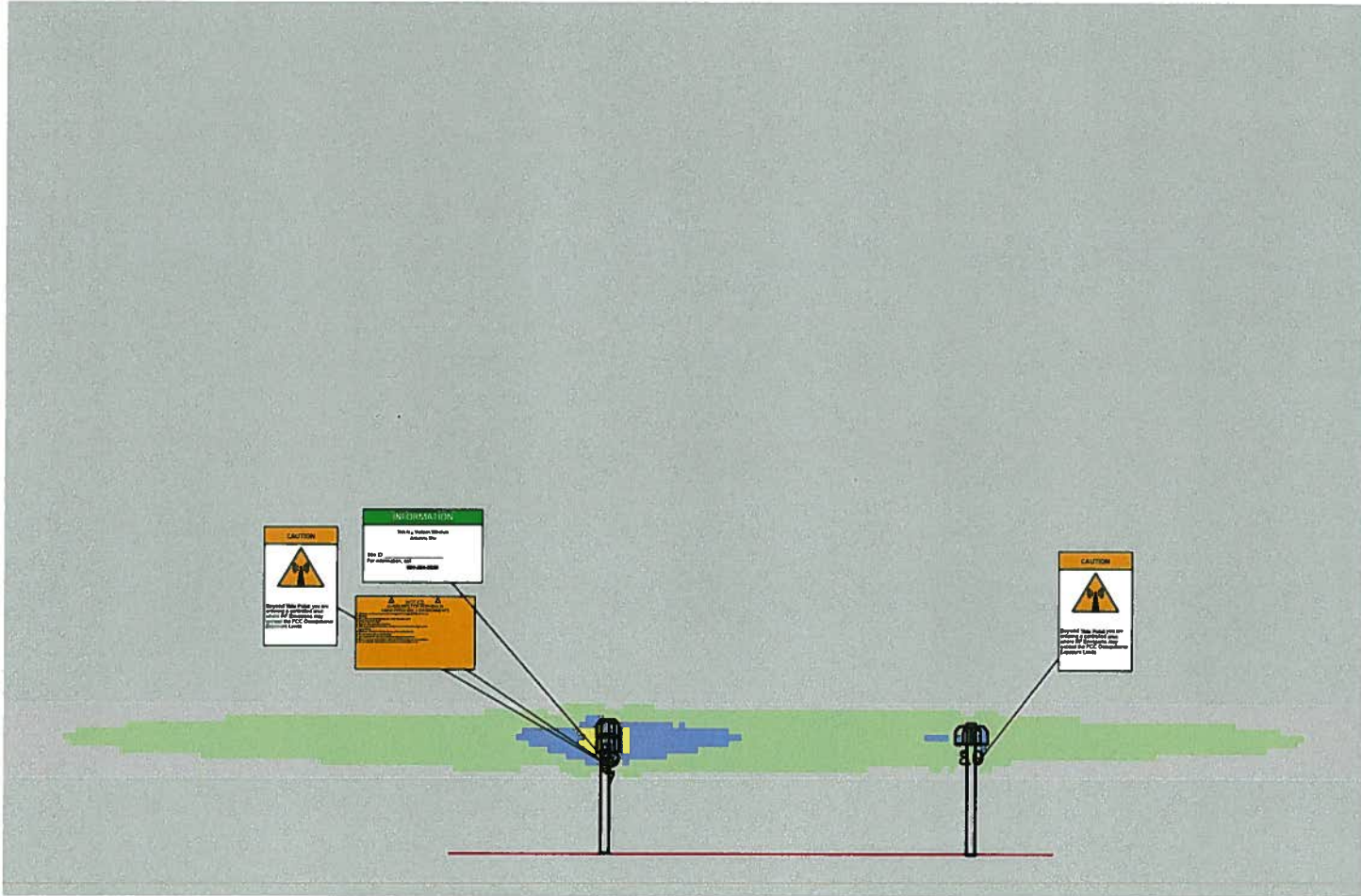


www.sitesafe.com
Site Name: Jesmond Dene

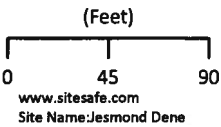
AT&T MOBILITY LLC	VERIZON WIRELESS	T-MOBILE	SPRINT	NETROPCS	CRICKET COMMUNICATIONS	CLEARWIRE
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SitesafeTC Version: 1.0.0.0
3/7/2014 5:38:36 PM

RF Emissions Simulation For: Jesmond Dene Elevation View



% of FCC Public Exposure Limit
Spatial average 0' - 6'



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4. Conclusion

a. Conclusion Narrative

Description of MPE-Limit Exceeding Areas:

Verizon Wireless will be compliant with FCC Rules and Regulations.

- Implementing a safety procedure for lighting maintenance workers as described below.

Lighting Maintenance Work: Personnel required to work on the light fixtures near or above the antennas should have RF Health and Safety training. Workers should be certified by their employer to work in an RF environment.

Maintenance workers should contact the carrier(s) Network Operations Center (NOC) prior to working near antennas. The NOC should be able to power down the site during maintenance access. Instructions, Contact information and Site ID's should be posted at the base of the support.

Transmitting equipment should be deactivated and lock-out / tag-out or other procedures used to ensure that the antennas are not active while maintenance personnel are working or transiting in front of antennas.

Personal Protective Equipment (PPE) in the form of an RF Monitor should be used to ensure antennas are off and workers are not exposed to RF levels above occupational limits.

Worker attention should be greatest while working or transiting in front of antennas.

b. Compliance Requirements

Compliance Requirements						
	Guidelines	Notice	Caution	Warning	NOC Information	Barrier
Access Point	☐ [#]	☐ [#]	☐ [#]	☐ [#]	☐ [#]	☐
Alpha	X [1]	☐ [#]	X [1]	☐ [#]	X [1]	☐
Beta	☐ [#]	☐ [#]	☐ [#]	☐ [#]	☐ [#]	☐
Gamma	☐ [#]	☐ [#]	☐ [#]	☐ [#]	☐ [#]	☐

Signage/Barrier Installation Detail

Verizon Wireless Antennas

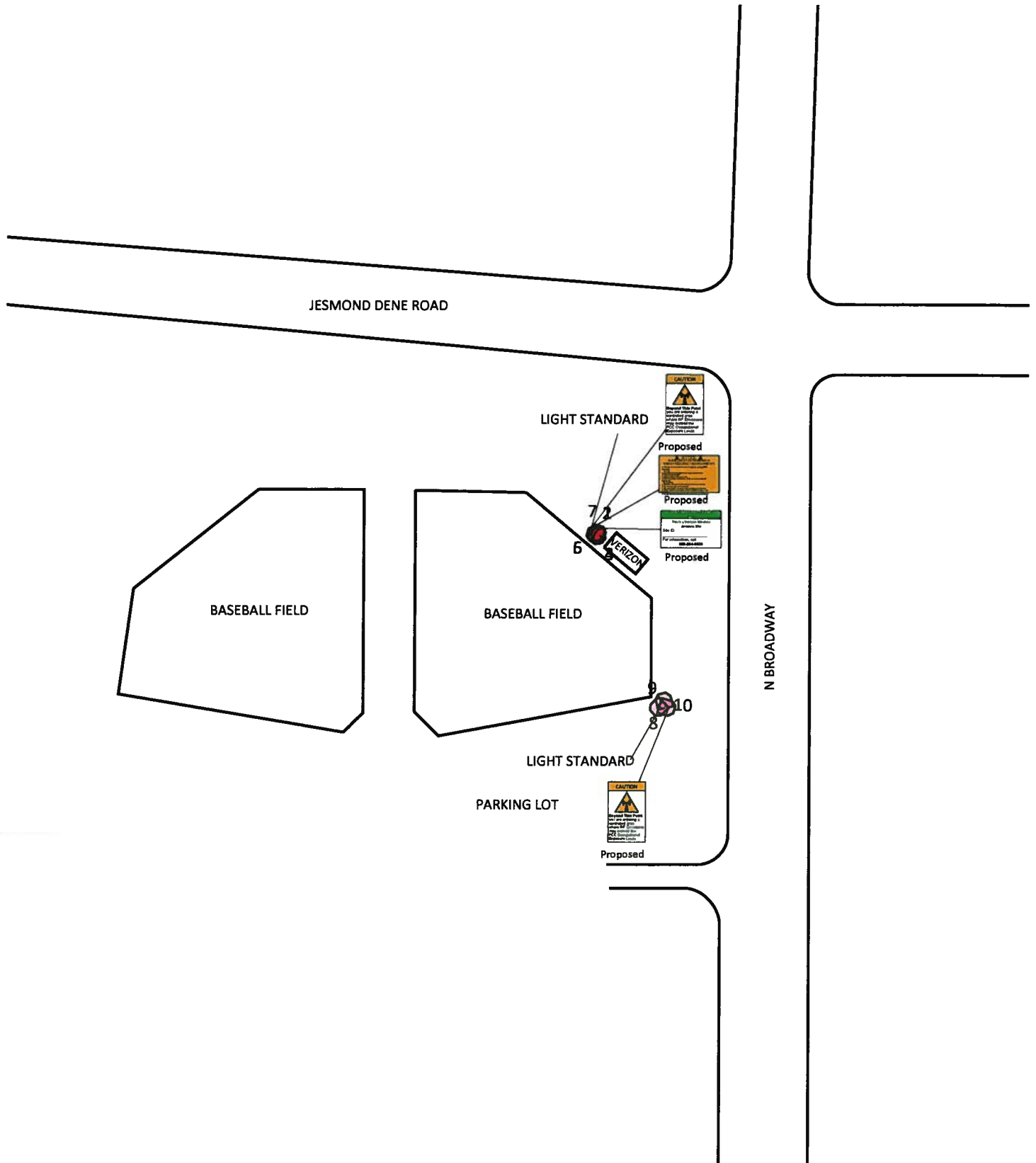
- Install a Yellow Caution Sign near the antenna level.
- Install a NOC Information Sign near the antenna level.
- Install a 10-Step Guideline Sign near the antenna level.

Other Operator Antennas:

T-Mobile Antennas

- Install a Yellow Caution Sign near the antenna level.

Jesmond Dene Signage Diagram



0 130 260

www.sitesafe.com
Site Name: Jesmond Dene

AT&T MOBILITY LLC	VERIZON WIRELESS	T-MOBILE	SPRINT	30	METROPCS	CRICKET COMMUNICATIONS	CLEARWIRE
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Sitesafe Inc. assumes no responsibility for modeling results not verified by Sitesafe personnel.
Contact Sitesafe Inc. for modeling assistance at: (703) 276-1100
SitesafeTC Version: 1.0.0.0
3/7/2014 5:30:50 PM

5. Appendix A: RF Consultant Certifications

a. Preparer Certification

I, John Lee, the preparer of this report, am familiar with the Rules and Regulations of both the Federal Communications Commissions (FCC) and the Occupational Safety and Health Administration (OSHA) with regard to Human Exposure to Radio Frequency Radiation. I am also familiar with the Verizon Wireless Signage & Demarcation Policy. I have reviewed this Radio Frequency Exposure Assessment report and believe it to be both true and accurate to the best of my knowledge.

John Lee

b. Reviewer Certification

The professional engineer whose seal appears on the cover of this document, the reviewer and approver of this report, am fully aware of and familiar with the Rules and Regulations of both the Federal Communications Commissions (FCC) and the Occupational Safety and Health Administration (OSHA) with regard to Human Exposure to Radio Frequency Radiation. I am also fully aware of and familiar with the Verizon Wireless Signage & Demarcation Policy. I have reviewed this Radio Frequency Exposure Assessment report and believe it to be both true and accurate to the best of my knowledge.

6. Appendix B: Reference Information

a. FCC Rules & Regulations

The Federal Communications Commission (FCC) has established safety guidelines relating to RF exposure from cell sites. The FCC developed those standards, known as Maximum Permissible Exposure (MPE) limits, in consultation with numerous other federal agencies, including the Environmental Protection Agency, the Food and Drug Administration, and the Occupational Safety and Health Administration. The standards were developed by expert scientists and engineers after extensive reviews of the scientific literature related to RF biological effects. The FCC explains that its standards “incorporate prudent margins of safety.” The following represents explanations of the most applicable information:

Two Classifications for Exposure Limits

Occupational – Applies to situations in which persons are “exposed as a consequence of their *employment*” and are “*fully aware* of the potential for exposure and can *exercise control* over their exposure”.

General Population – Applies to situations in which persons are “exposed as a consequence of their employment *may not be made fully aware* of the potential for exposure or *cannot exercise control* over their exposure”. Generally speaking, those without significant and documented RF Safety & Awareness training would be in the General Population classification.

Environment Classification

Controlled – Applies to environments that are restricted or “controlled” in order to prevent access from members of the General Population classification.

Uncontrolled – Applies to environments that are unrestricted or “uncontrolled” that allow access from members of the General Population classification.

<i>Limits for Occupational/Controlled Exposure</i>		
Frequency	Power Density	Averaging Time
Range	(S)	$ E ^2$, $ H ^2$, or S
(MHz)	(mW/cm ²)	(minutes)
300-1500	$f/300$	6
1500-100,000	5	6
<i>Limits for General Population/Uncontrolled Exposure</i>		
Frequency	Power Density	Averaging Time
Range	(S)	$ E ^2$, $ H ^2$, or S
(MHz)	(mW/cm ²)	(minutes)
300-1500	$f/1500$	30
1500-100,000	1	30
<i>f = frequency in MHz</i>		

Significant Contribution to the RF Environment

Any carrier contributing an aggregate MPE percentage of 5 or more (to the applicable RF Environment Classification) is defined as a significant contributor. This means that if any area is determined to be out of compliance with FCC rules, all significant contributors are jointly responsible for correcting any deficiencies.

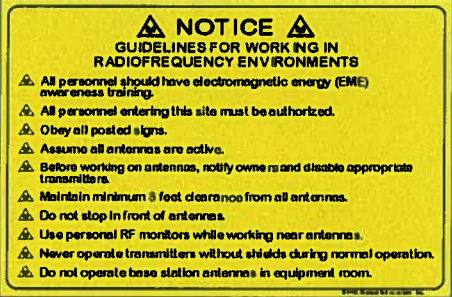
b. Occupational Safety and Health Administration (OSHA) Requirements

A formal adopter of FCC Standards, OSHA stipulates that those in the Occupational classification must complete training in the following: RF Safety, RF Awareness, and Utilization of Personal Protective Equipment. OSHA also provides options for Hazard Prevention and Control:

Hazard Prevention	Control
- Utilization of good equipment - Enact control of hazard areas - Limit exposures - Employ medical surveillance and accident response	- Employ Lockout/Tag out - Utilize personal alarms & protective clothing - Prevent access to hazardous locations - Develop or operate an administrative control program

c. RF Signage

Areas or portions of any transmitter site may be susceptible to high power densities that could cause personnel exposures in excess of the FCC guidelines. These areas must be demarcated by conspicuously posted signage that identifies the potential exposure. Signage MUST be viewable regardless of the viewer's position.

GUIDELINES	NOTICE	CAUTION	WARNING
Used anytime hazard signage is employed to achieve FCC compliance. This sign will inform visitors of the basic precautions to follow when working around radiofrequency equipment.	Used to distinguish the boundary between the General Population/Uncontrolled and the Occupational/Controlled areas. The limits associated with this notification must be less than the Occupational/Controlled MPE.	Identifies RF controlled areas where RF exposure can exceed the Occupational/Controlled MPE but below 10 x the Occupational/Controlled MPE.	Denotes the boundary of areas with RF levels substantially above the FCC limits, normally defined as those greater than ten (10) times the Occupational/Controlled MPE.
			

INFORMATION SIGN
Information signs are used as a means to provide contact information for any questions or concerns. They will include specific cell site identification information and the Verizon Wireless Network Operations Center phone number.


d. Barriers

A barrier is any physical demarcation employed as a preventative and/or notification measure that one is entering into an area with RF power density levels greater than the General Population/Uncontrolled limit.

