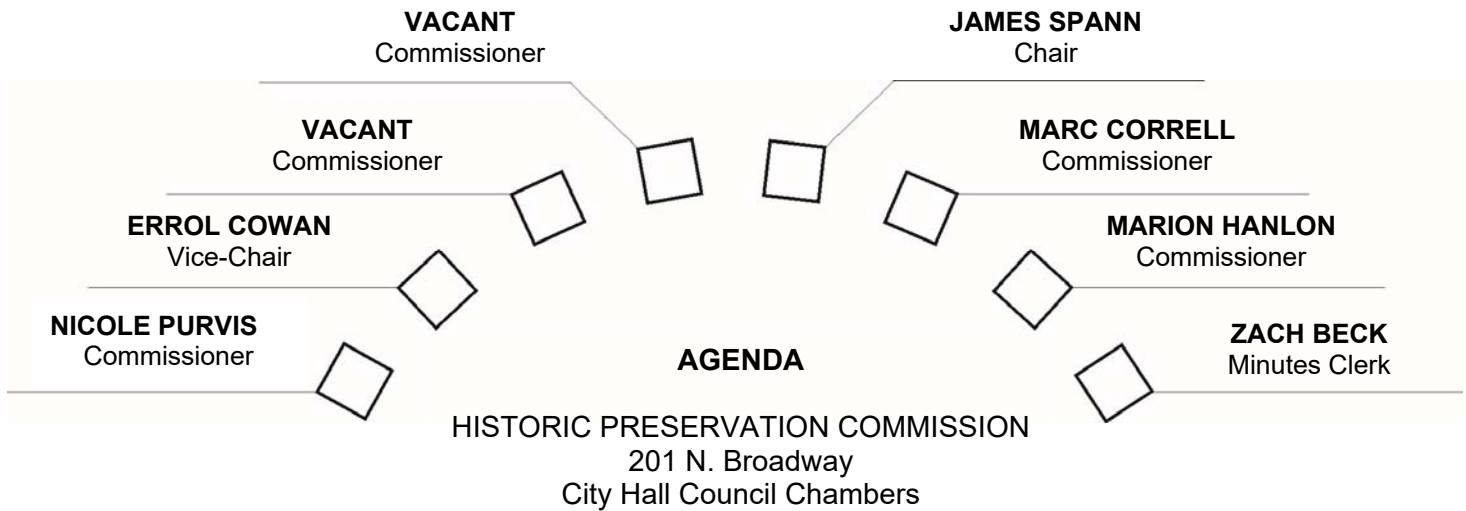


CITY OF ESCONDIDO

Historic Preservation Commission and Staff Seating



**3:00 p.m.
March 17, 2022**

- A. CALL TO ORDER**
- B. FLAG SALUTE**
- C. ROLL CALL**
- D. REVIEW OF MINUTES:** **January 20, 2022**

The Brown Act provides an opportunity for members of the public to directly address the Commission on any item of interest to the public before or during the Commission's consideration of the item. If you wish to speak regarding an agenda item, please fill out a speaker's slip and give it to the minutes clerk who will forward it to the chairman.

Electronic Media: Electronic media that members of the public want to be used during any public comment period should be submitted to the Planning Division at least 24 hours prior to the meeting.

The electronic media will be subject to a virus scan and must be compatible with the City's existing system. The media must be labeled with the applicable agenda item and the name and contact information of the person presenting the media.

The time used to present any electronic media will be considered as part of the maximum time limit provided to speakers. City staff will queue the electronic information when the applicable speaker is called upon to speak. Materials shown to the Commission during the meeting are part of the public record and will be retained by the City.

The City of Escondido is not responsible for the content of any material presented, and the presentation and content of electronic media shall be subject to the same protocol regarding decorum and presentation as are applicable to live presentations.

If you wish to speak concerning an item not on the agenda, you may do so during the designated time for "Oral Communications." All persons addressing the Commission are asked to state their names for the public record.

Availability of supplemental materials after agenda posting: Any supplemental writings or documents provided to the Commission regarding any item on this agenda will be made available for public inspection in the Planning Division located at 201 N. Broadway during normal business hours, or in the Council Chambers while the meeting is in session.

The City of Escondido recognizes its obligation to provide equal access to public services for individuals with disabilities. Please contact the ADA Coordinator at 760-839-4643 with any requests for reasonable accommodation at least 24 hours prior to the meeting.

E. WRITTEN COMMUNICATIONS:

Under state law, all items under Written Communications can have no action, and will be referred to the staff for administrative action or scheduled on a subsequent agenda.

F. ORAL COMMUNICATIONS:

Under state law, all items under Oral Communications can have no action, and may be referred to the staff for administrative action or scheduled on a subsequent agenda.

This is the opportunity for members of the public to address the Commission on any item of business within the jurisdiction of the Commission.

G. PUBLIC HEARINGS: None

H. CURRENT BUSINESS:

Note: Current Business items are those that under state law and local ordinances do not require either public notice or public hearings. Public comments may be limited to a maximum time of three minutes per person.

1. PL22-0057 – 420 E. 8th Ave. Addition and Re-Roof

REQUEST: To construct an addition of 275 square feet, which will include new stucco around the entire exterior of the home and a new roof/restructure.

ZONING/LOCATION: 420 E. 8th Ave.

APPLICANT: Elizabeth Hernandez

STAFF: Melissa DiMarzo, Development Technician II

STAFF RECOMMENDATION: HPC conducts Design Review of the project and recommend approval.

I. ORAL COMMUNICATION:

Under state law, all items under Oral Communications can have no action and may be referred to staff for administrative action or scheduled on a subsequent agenda.

This is the opportunity for members of the public to address the Commission on any item of business within the jurisdiction of the Commission.

J. COMMISSIONER COMMENTS

K. ADJOURNMENT TO NEXT REGULARLY SCHEDULED HPC MEETING ON MAY 19, 2022.



CITY of ESCONDIDO

HISTORIC PRESERVATION COMMISSION

JANUARY 20, 2022 MEETING MINUTES

The meeting of the Historic Preservation Commission was called to order on January 20, 2022 at 3:00 p.m. by Chair Spann in the Escondido City Council Chambers.

Commissioners Present: Chair James Spann; Commissioner Marion Hanlon; Commissioner Marc Correll and Commissioner Nicole Purvis.

Commissioners Absent: Vice Chair Errol Cowan

Staff Present: Sean Nicholas, Principal Planner; Zack Beck, City Clerk; Sarena Garcia, Assistant City Clerk

Call to order

Flag Salute

Roll call

1. Review of November 18, 2021 Minutes

Motion: Hanlon

Second: Spann

Approved: 4-0 (Cowan – Absent)

2. Written Communication

Communication from Amie Hayes, Save Our Heritage Foundation was distributed to the Commission.

3. Oral Communication

None.

Public Hearings

Current Business

4. PL21-0304 – 1401 S. Escondido Blvd Apartments

Request: To demolish the existing structures and construct a new affordable housing project.

Zoning/Location: South Centre City Specific Plan/ 1401 South Escondido Boulevard

Applicant: Greg Drakos

Staff: Sean Nicholas, Principal Planner

Staff Recommendation: HPC find the existing structure is not a historic resource.



CITY *of* ESCONDIDO

HISTORIC PRESERVATION COMMISSION

Motion: Spann

Second: Correll

Approved: 3- 1 (Purvis - No)

Glen Sheep - Trustee for family that owns the property. Requested approval from the Commission.

5. **PL 21-0494 – Sassani Residence Delist**

Request: The applicant requests to delist the project site from the City's Local Register pursuant to the Escondido Zoning Ordinance, Article 40, Section 33-795.

Zoning/Location: Downtown Specific Plan / 340 Waverly Place

Applicant: Siavash Sassani

Staff: Veronica Morones, Senior Planner

Staff Recommendation: HPC approval of delisting of property.

Motion: Correll

Second: Spann

Approved: 4-0

Oral Communication

None.

Commissioner Comments

None.

Adjournment

Meeting adjourned at 3:40 p.m.

CHAIR

CITY CLERK

HISTORIC PRESERVATION COMMISSION

Agenda Item No.: H.1
Date: March 17, 2022

TO: Historic Preservation Commission

FROM: Melissa DiMarzo, Development Technician II

PROJECT: PL 22-0057 – Addition, Roof Restructure/Remodel, Stucco and Paint for an existing non-historic single-family residence in the Old Escondido Neighborhood

LOCATION: 420 E. 8th Avenue

APPLICANT: Elizabeth Hernandez

PROJECT DESCRIPTION:

The applicant requests to construct an addition of 275 square feet, which will include new stucco around the entire exterior of the home and a new roof/restructure.

BACKGROUND:

The project site is approximately 9,866 square feet and located on the north side of 8th Avenue, between South Juniper Street and South Hickory Street, addressed 420 E. 8th Avenue (APN 233-410-11-00). The project site is located within the Old Escondido Neighborhood Historic District. Existing project site photographs are attached (Attachment 1).

The project site is not listed on the City's Local Register and is not listed on the Historic Resources listing.

DESIGN REVIEW:

Pursuant to Article 40, Section 33-798(e)(2) of the Escondido Zoning Code, the proposed project is subject to design review by the Historic Preservation Commission because the proposed project qualifies as a "major project" as it involves a request for a 275 square foot addition on the rear of the single family residence. New stucco, paint, and roof are also proposed. The proposed paint colors are Tuxedo Gray for the body, and Bright White for the trim, and have been included as Attachment 3. Samples will also be provided at the Historic Preservation Committee (HPC) meeting.

ANALYSIS:

Pursuant to Article 40, Sections 33-790 and 33-798, the proposed project requires a certificate of appropriateness and is subject to the *Design Guidelines for Homeowners of Historic Resources* (design guidelines). Table One (1) below details how the proposed project is consistent with the design guidelines' section for residential additions.

Table 1 – Design Guideline Consistency for Non-Historic Structures in a Historic District

Design Guideline	Proposed	Project Consistency
Site Planning: Modifications should be carefully placed to minimize changes in the historic appearance of the house from the street. The placement of parking and additions should be placed to the side or rear of the property and should not obliterate the appearance of the house from the street.	The addition is proposed for the rear of the property and will not be visible from East 8 th Avenue.	Yes—the proposed addition will not be visible from the street, and will not impact the character from the street.
Architectural Compatibility: strive to incorporate the distinctive architectural characteristics of the original structure such as: <ul style="list-style-type: none"> • window size and shape • exterior materials • roof style, pitch, material • finished floor height • color 	Proposed addition would incorporate new stucco, paint (body and trim), windows (replacement and new), composition shingle roofing and roof vents, sliding glass door (not visible from the street)	Yes.
House Material Compatibility: should generally match the original material in texture and color.	Proposed exterior materials to match those of the existing stucco and roof design, exterior colors will be light gray with white trim.	Yes.
Windows: materials should be retained when creating a matching addition.	Proposed windows mirror the existing sizes and materials to maintain the character.	Yes.
Doors: should attempt to match the size and material of the doors on the original structure	Proposed door addition is sliding glass and will be on the side of the home (not visible from the street)	Yes—the proposed door will not be visible from the street, and will not impact the character from the street.
Roof Pitch Consistency: important to maintain, whether an exact match or slightly different.	Proposed roof pitch is consistent with prior pitch.	Yes.
Second Story Setbacks: should be carefully designed to follow similar two-story examples of the style. Most styles in Escondido have a step back from the first story in a two-story version of the style as shown above. However, some styles include two story vertical walls as a part of their two-story appearance.	Not applicable – no second story proposed.	Not applicable – no second story proposed.

STAFF RECOMMENDATION:

Staff recommends the Historic Preservation Commission conduct Design Review of the project and recommend approval of the certificate of appropriateness for the addition, stucco, paint

change, and new roof to the Interim Director of Community Development for final action, pursuant to Article 40, Section 33-790(b)(5).

ATTACHMENTS:

1. Site Photos
2. Proposed Plans
3. Paint Colors and Roof Color

ATTACHMENT 1
PL22-0057

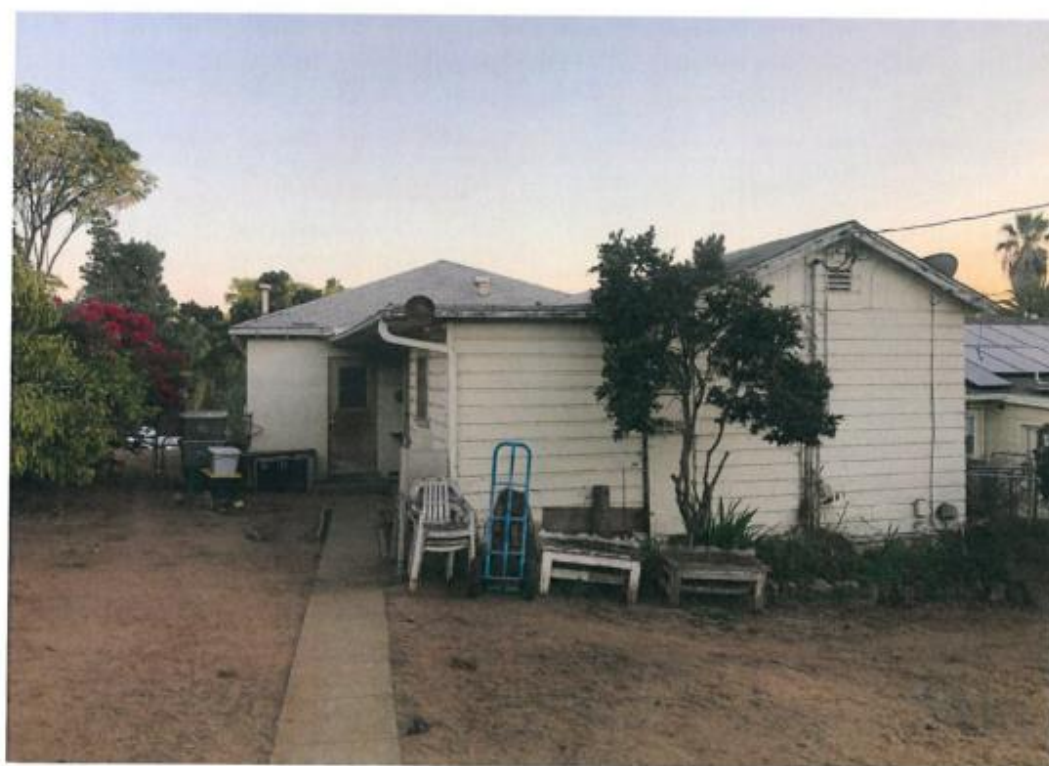


B21-4022 1/11











NOTES BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREET(S), DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET(S). A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO STREET.
2. ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD OF GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES - SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN FIVE DAY RAIN PROBABILITY FORECAST EXCEED 40%.
3. CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON SITE.
4. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

DEFERRED SUBMITTAL

- 1- ROOF TRUSSES SHALL BE A DEFERRED ITEM.

SUBMITTED DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING, THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTED DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

SCOPE OF WORK

RESIDENTIAL ADDITION OF 275 SQUARE FEET TO AN EXISTING ONE STORY SINGLE FAMILY RESIDENCE 1235 S.F. REMOVING INTERIOR NON-BEARING WALL FOR MORE SPACIOUS STYLE. REPLACING THE (E) ASPHALT SHINGLE ROOF SYSTEM WITH NEW TRUSSES AND NEW ASPHALT SHINGLE ROOFING. RE-STUCCO THE EXTERIOR WALLS WITH NEW STUCCO.

OCCUPANCY CLASSIFICATION : R3

TYPE OF CONSTRUCTION : VB

SPRINKLERS: NO

STORY: ONE

HIGH FIRE HAZARD ZONE : NO

LANDSLIDE/LIQUEFACTION : NO

OWNER INFORMATION

ELIZABETH HERNANDEZ
420 E. 8TH AVENUE
ESCONDIDO - CA. 92025
CELL (619) 980-1499

BUILDING DATA (EXISTING)

(E) ONE STORY SINGLE FAMILY RESIDENCE, APPROXIMATELY 1,235 S.F. IN AREA.
(E) 3 BEDROOMS AND 2 BATH W/ 1 GARAGE SPACE.

APN 233-410-11-00

SUBDIVISION NAME: STANLEY HEIGHTS

LOT 10 TR 245

LOT AREA = 0.22 ACRES, 9,400 S.F.

ZONING = RS-1-9

YEAR BUILT = 1940'S

LOT COVERAGE: (E) HOUSE 1235 S.F. + (E) GARAGE+STORAGE 900 S.F. +
NEW ADDITION 275 S.F. = 1,910 / 9400 = 0.25 < 40%

BUILDING CODES

2019 CRC, 2019 CBC, 2019 CMC, 2019 CEC, 2019 CPC, 2019 CFC
CITY OF ESCONDIDO MUNICIPAL CODE

SHEET INDEX

SHEET A0	SITE PLAN AND BUILDING INFORMATION
SHEET A1	EXISTING & NEW FLOOR PLAN
SHEET A2	EXISTING & NEW ROOF PLAN
SHEET A3	ELECTRICAL PLAN
SHEET A3.1	ARCHITECTURAL SECTION
SHEET A4	CAL GREEN CHECKLIST
SHEET A5	CAL GREEN CHECKLIST
SHEET A6	EXISTING ELEVATIONS
SHEET A7	PROPOSED ELEVATIONS
SHEET S1	GENERAL NOTES & MATERIAL SPECIFICATIONS
SHEET S2	SPECIAL INSPECTION PROGRAM
SHEET S3	NAILING SCHEDULE & TYPICAL DETAILS
SHEET S4	SHEAR WALL SCHEDULE.
SHEET S5	FOUNDATION & RAISED FLOOR FRAMING PLAN
SHEET S6	ROOF FRAMING PLAN
SHEET S7	FOUNDATION DETAILS
SHEET S8	FRAMING DETAILS
SHEET T1	ENERGY TITLE-24
SHEET T2	MANDATORY MEASURES

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DATE : 12-6-2021		DATE :		DATE :		DATE :	

DATE ISSUED : 8-20-2021

NO.	DATE	DESCRIPTION
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JOB NAME :
RESIDENTIAL ADDITION/REMODEL
420 E. 8TH AVENUE
ESCONDIDO - CA. 92025
CLIENT :
NICHE BUILDERS GROUP
1855 FIRST AVENUE
SAN DIEGO - CA. 92101

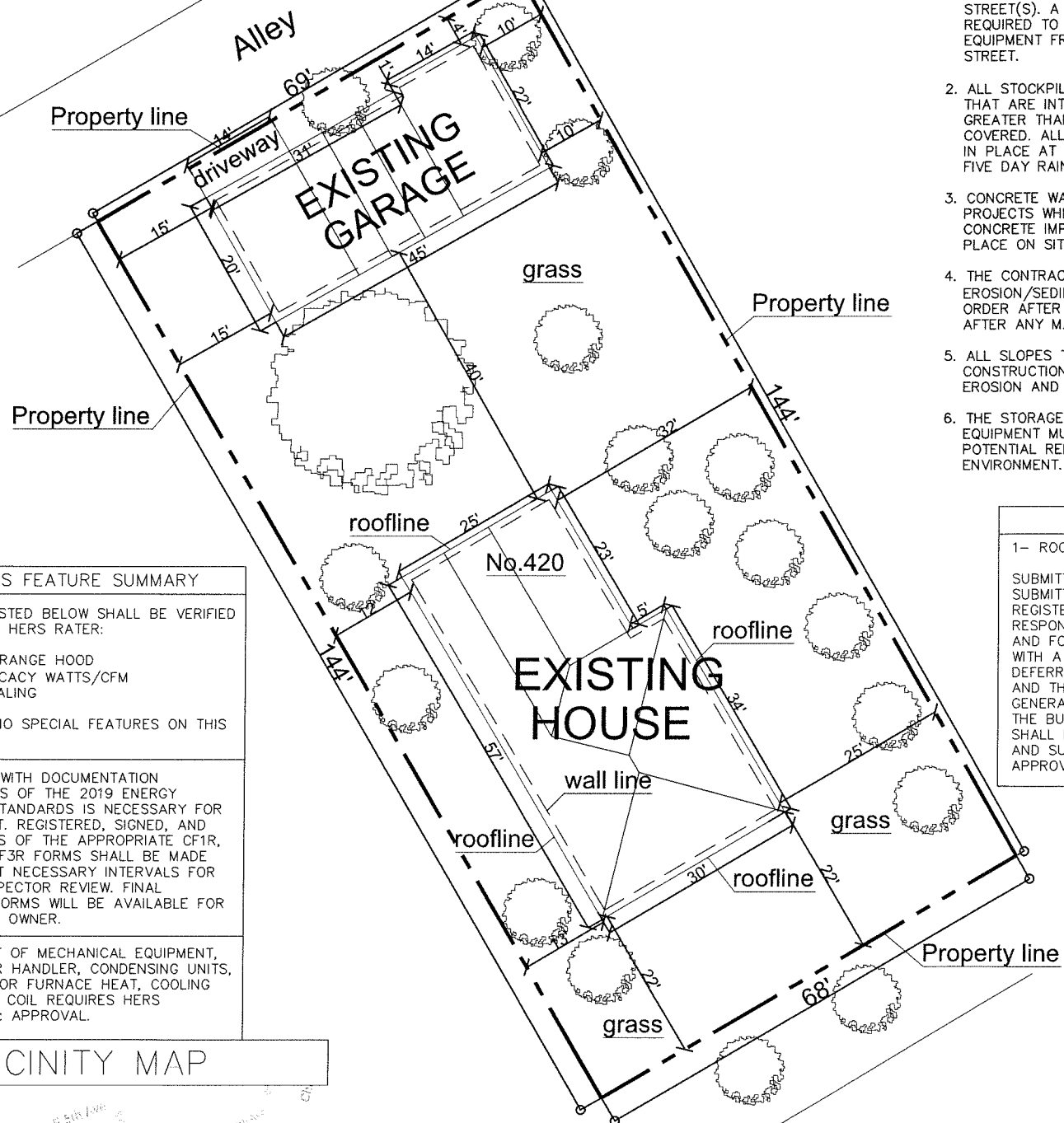
SHEET TITLE :
SITE PLAN

SHEET NUMBER :
A0



Z-TECH CONSULTING ENGINEERS

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ztdou@ztech.com



HERS FEATURE SUMMARY

ALL ITEMS LISTED BELOW SHALL BE VERIFIED BY CERTIFIED HERS RATER:

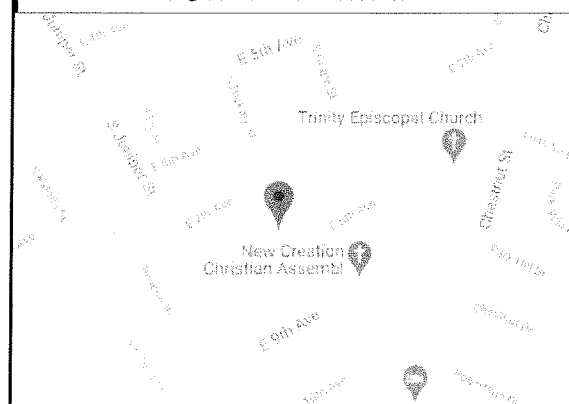
- 1- KITCHEN RANGE HOOD
- 2- FAN EFFICACY WATTS/CFM
- 3- DUCT SEALING

THERE ARE NO SPECIAL FEATURES ON THIS PROJECT.

COMPLIANCE WITH DOCUMENTATION REQUIREMENTS OF THE 2019 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CF1R, CF2R, AND CF3R FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OWNER.

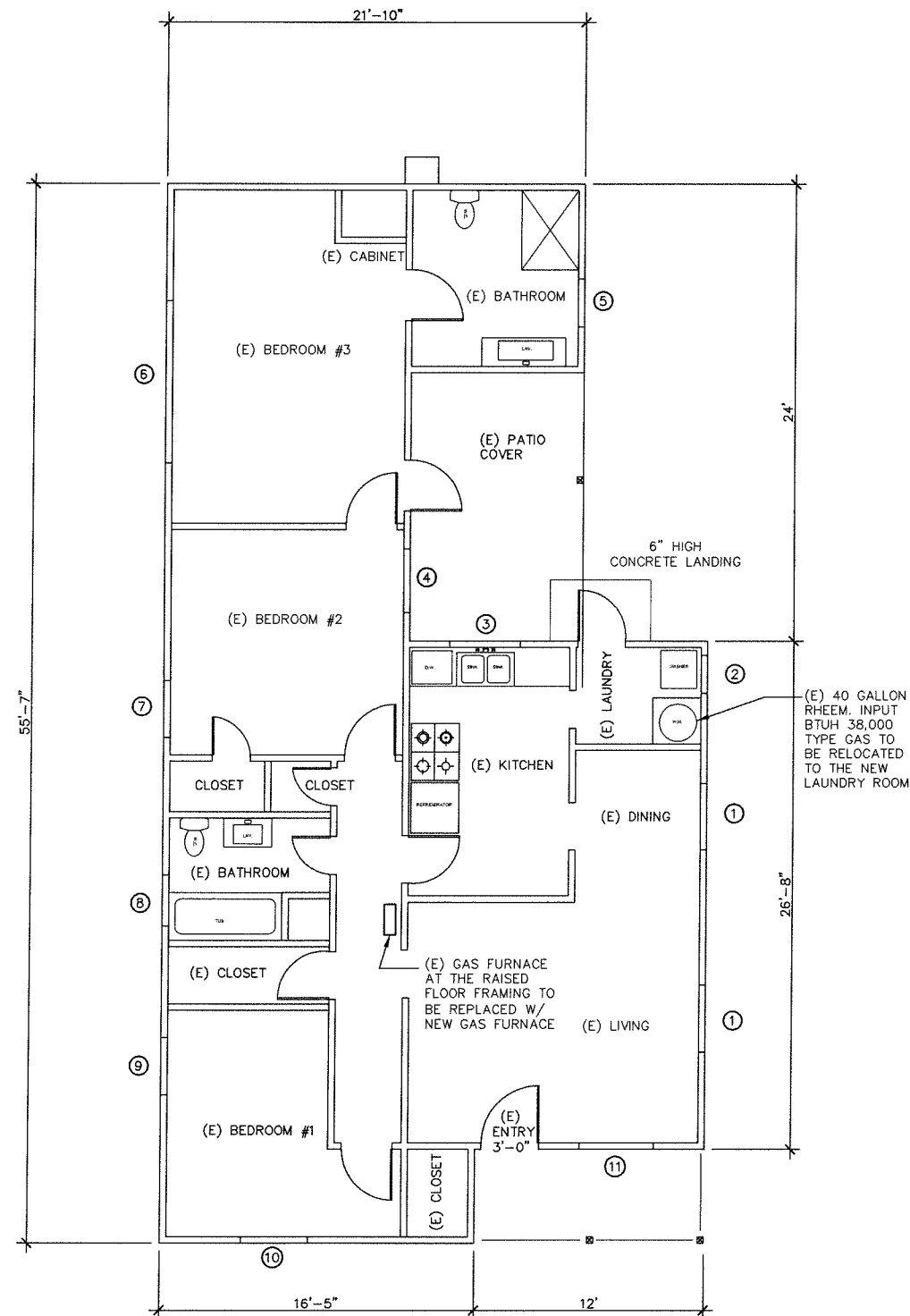
REPLACEMENT OF MECHANICAL EQUIPMENT, SUCH AS, AIR HANDLER, CONDENSING UNITS, HEAT PUMP, OR FURNACE HEAT, COOLING AND HEATING COIL REQUIRES HERS INSPECTION & APPROVAL.

VICINITY MAP



EXISTING SITE PLAN

1"=10'-0"

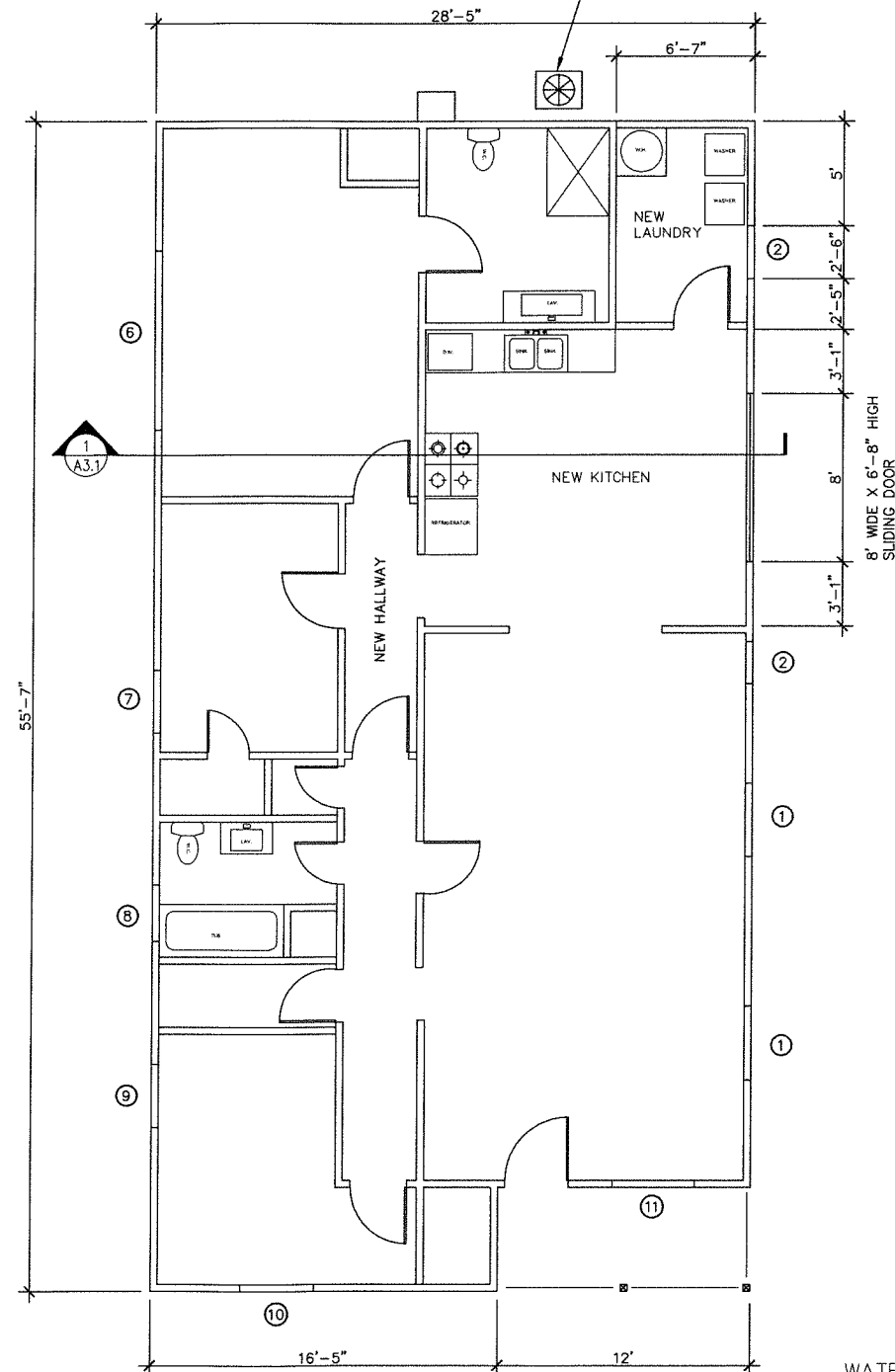


EXISTING FLOOR PLAN

SCALE" $\frac{1}{4}$ "=1'-0"

NOTE:
PRIOR TO FINAL INSPECTION, THE LICENSED CONTRACTOR SHALL MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED IN ACCORDANCE WITH SHEET A4 & A5.

NOTE:
SPLIT SYSTEM UNITS TO BE INSTALLED IN EACH BEDROOM, DINING, AND LIVING ROOM.
ALL NEW WALLS TO BE 2X4 @ 16" O.C. W/ R-15 INSULATION PER ENERGY TITLE-24 UNLESS OTHERWISE NOTED.



PROPOSED FLOOR PLAN

SCALE" $\frac{1}{4}$ "=1'-0"

EXISTING WINDOW SCHEDULE	
WINDOW NUMBER	DIMENSION (HXW)
①	3'-6" X 4'-6"
②	2'-0" X 3'-7"
③	3'-8" X 3'-7"
④	3'-0" X 4'-6"
⑤	2'-6" X 2'-6"
⑥	8'-6" X 4'-0"
⑦	3'-6" X 4'-6"
⑧	2'-8" X 3'-0"
⑨	3'-0" X 3'-0"
⑩	3'-6" X 4'-6"
⑪	3'-11" X 4'-6"

NEW WINDOW SCHEDULE	
WINDOW NUMBER	DIMENSION (HXW)
①	3'-6" X 4'-6"
②	2'-0" X 3'-7"
③	
④	
⑤	
⑥	8'-6" X 4'-0"
⑦	3'-6" X 4'-6"
⑧	2'-8" X 3'-0"
⑨	3'-0" X 3'-0"
⑩	3'-6" X 4'-6"
⑪	3'-11" X 4'-6"

ALL NEW WINDOWS SHALL HAVE WOOD SASH FRAME. NO VINYL OR METAL FRAMES SHALL BE USED TO MAINTAIN AND PRESERVE THE HISTORICAL ASPECT OF THE STRUCTURE.

ALL NEW WINDOWS AND SLIDING DOOR SHALL BE HIGH ENERGY EFFICIENT TYPE, REFER TO TITLE-24, MAXIMUM U-FACTOR 0.30 AND MAXIMUM SHGC FACTOR 0.23

REFER TO ELEVATION FOR TYPE OF WINDOWS.

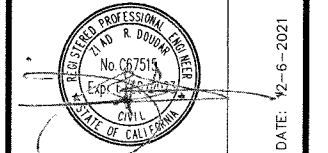
WATER EFFICIENCY & CONSERVATION

- ALL NEW WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH.
- SINGLE SHOWER HEAD SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE @ 80 PSI
- LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.2 GALLONS PER MINUTE @ 60 PSI. MINIMUM FLOW RATE SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE @ 20 PSI.
- KITCHEN FAUCETS SHALL HAVE MAXIMUM 1.8 GALLONS PER MINUTE @ 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW RATE BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE @ 60 PSI AND MUST DEFAULT TO A MAXIMUM OF 1.8 GALLONS PER MINUTE @ 60 PSI.

2-TECH CONSULTING ENGINEERS

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DATE ISSUED : 8-20-2021

REVISIONS :	
NO.	DATE DESCRIPTION
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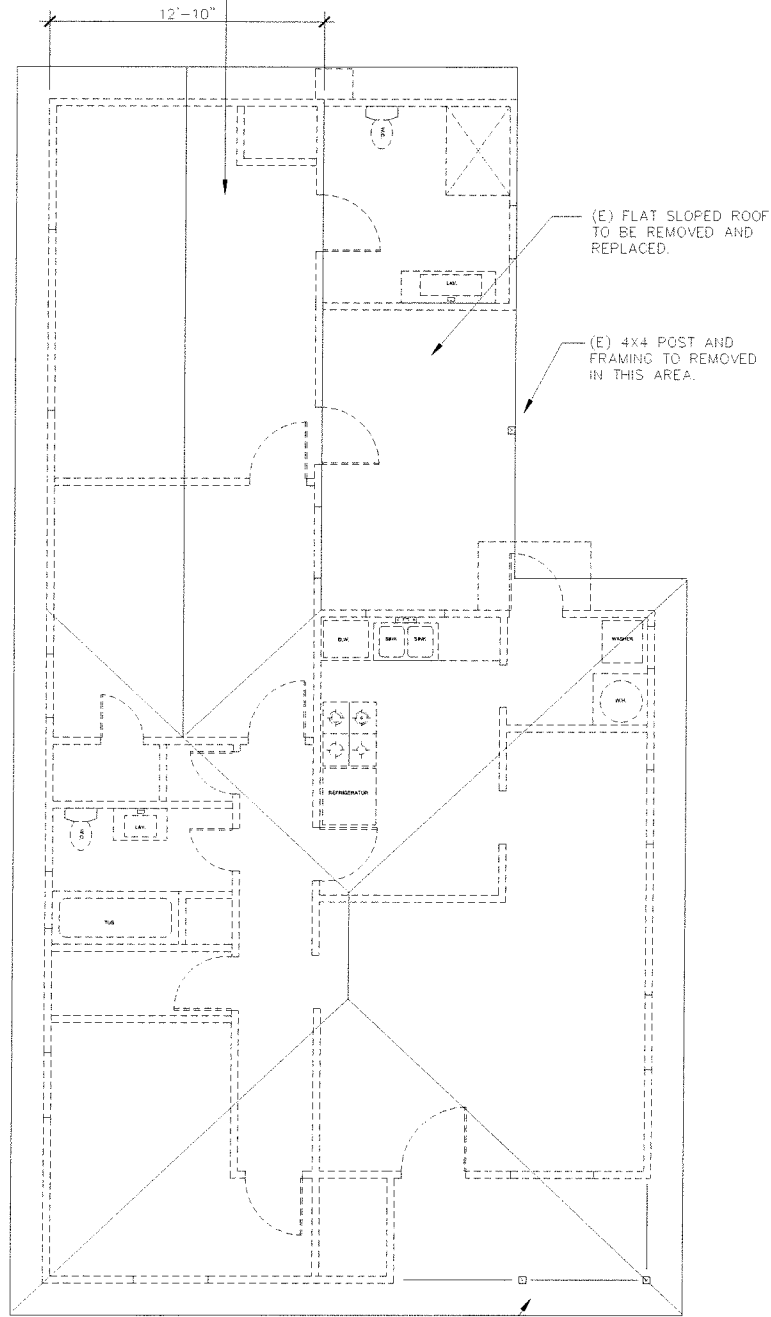
JOB NAME : RESIDENTIAL ADDITION/REMODEL
420 E. 8TH. AVENUE
ESCONDIDO - CA. 92025

CLIENT : NICHE BUILDERS GROUP
1855 FIRST AVENUE
SAN DIEGO - CA. 92101

SHEET TITLE :
EXISTING & NEW FLOOR PLAN

SHEET NUMBER :
A1

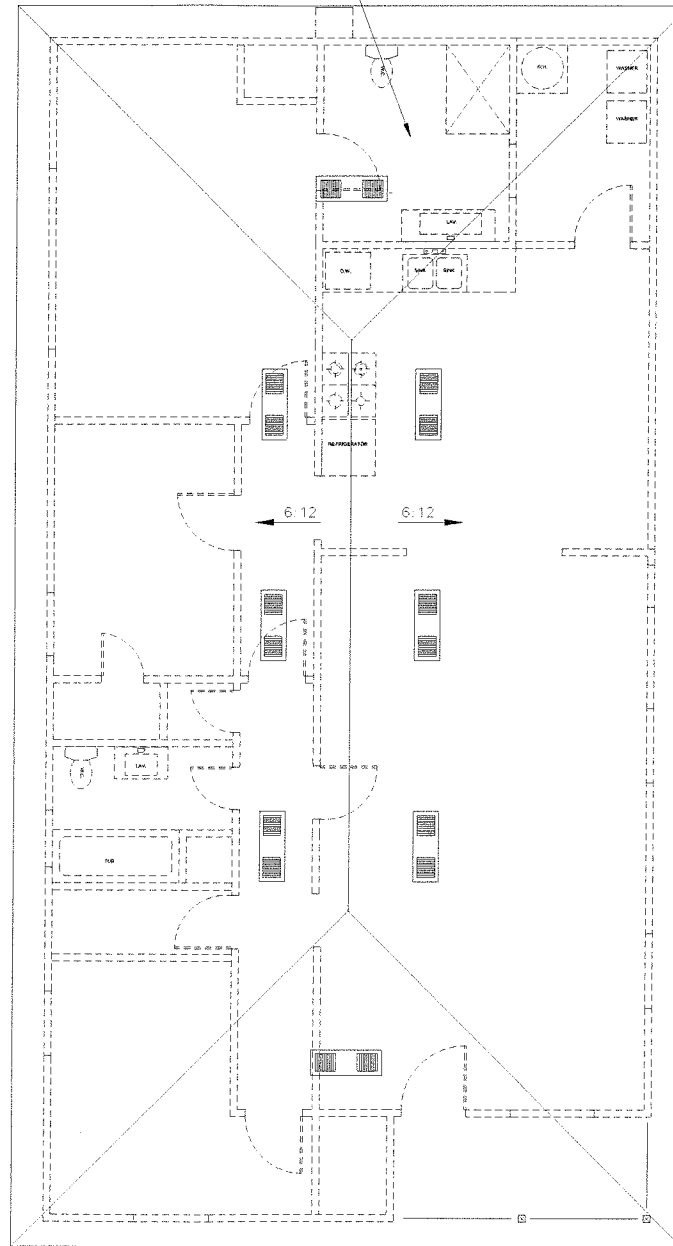
(E) ROOF FRAMING AND ASPHALT ROOF SHINGLES TO BE REMOVED AND REPLACED TYP. FOR THE ENTIRE ROOF U.O.N.



EXISTING ROOF PLAN

SCALE: 1/4"=1'-0"

(N) ROOF TRUSSES @ 24" O.C. TYP. WITH (N) ASPHALT ROOF SHINGLES, MIN. CLASS "A" ICC REPORT # 1475 SEE STRUCTURAL.



PROPOSED ROOF PLAN

SCALE: 1/4"=1'-0"

NEW ROOF VENTILATION:

(E) AREA 1235 S.F.
(N) ADDED AREA 275 S.F.

TOTAL: 1510 S.F./300 = 5.033 X 144 = 724.8 SQUARE INCHES

USE FLAT STYLE O'HAGIN ROOF VENTILATORS EA. WITH 98.75 SQUARE INCHES.

724.8/98.75 = 7.34 USE 8 FLAT STYLE O'HAGIN ROOF VENTILATORS.

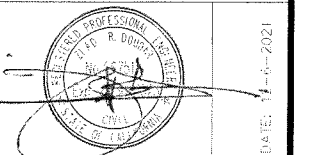
50% OF THE UPPER VENTILATORS SHALL NOT BE LOCATED MORE THAN 3' BELOW THE ROOF RIDGE LINE.

INDICATES FLAT STYLE O'HAGIN ROOF VENTILATOR AREA=98.75 SQ. INCHES

Z-TECH CONSULTING ENGINEERS

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DESIGNED BY :	ZFD
ENGINEER :	ZFD
CHECKED BY :	DATE

DATE ISSUED : 8-20-2021

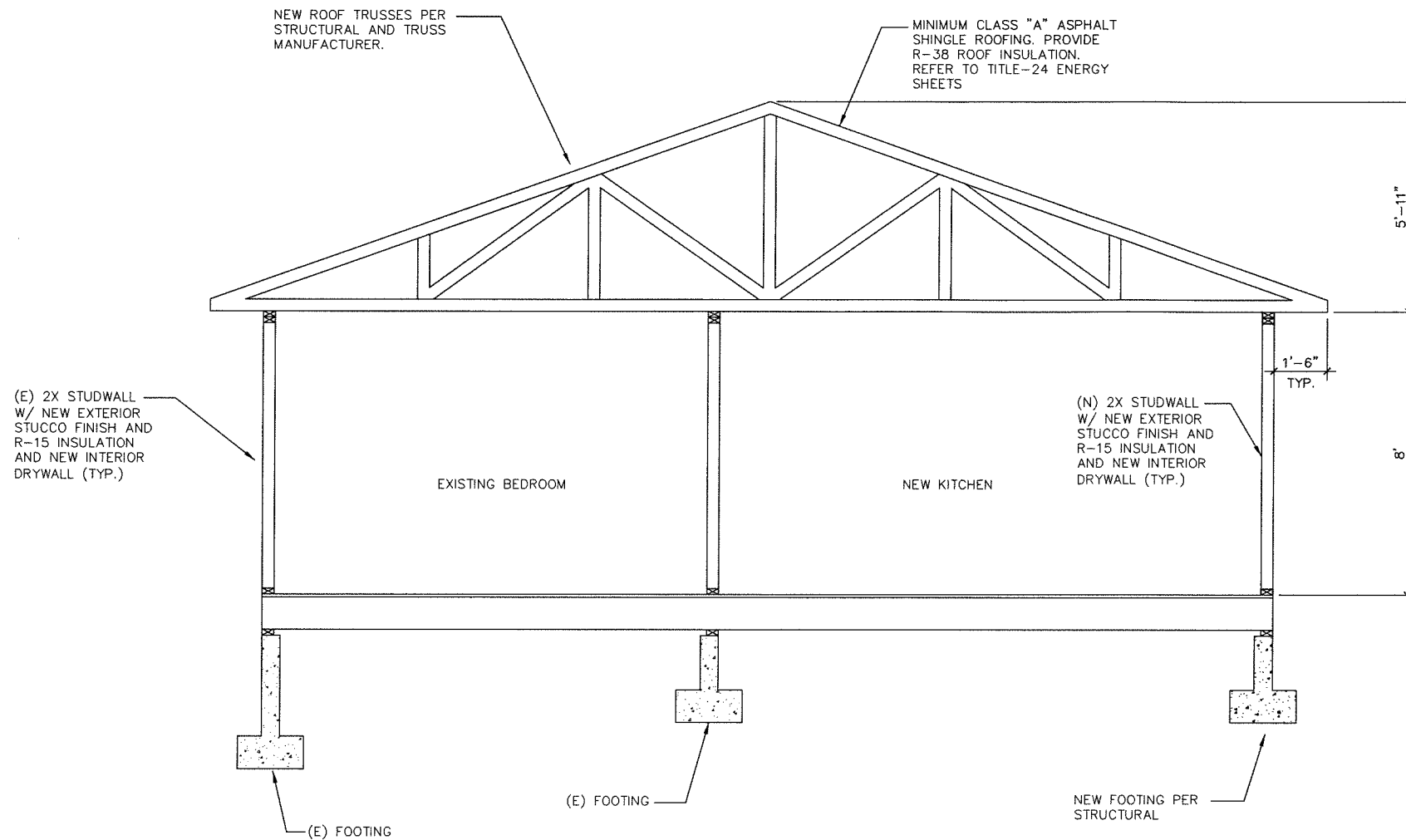
NO.	DATE	DESCRIPTION
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JOB NAME :
RESIDENTIAL ADDITION/REMODEL
420 E. 8TH. AVENUE
ESCONDIDO - CA. 92025

CLIENT :
NICHE BUILDERS GROUP
1855 FIRST AVENUE
SAN DIEGO - CA. 92101

SHEET TITLE :
EXISTING & NEW ROOF PLAN

SHEET NUMBER :
A2



SECTION

SCALE: 1/2"=1'-0"

NOTES:

1. NEW ROOF TRUSSES SHALL BE A DEFERRED ITEM.
2. ALL NEW TRUSSES SHALL BE PER TRUSS MANUFACTURER.
3. ALL WALLS SHALL BE 2X4 STUDS @ 16" O.C. U.O.N PER STRUCTURAL.
4. ALL WALL INSULATION SHALL BE PER TITLE-24 ENERGY SHEETS.
5. ALL ROOF INSULATION SHALL BE PER TITLE-24 ENERGY SHEETS.

Z-TECH CONSULTING ENGINEERS

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SHALL BE USED BY, OR DISCLOSED TO ANY PERSON, FIRM OR CORPORA-
TION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN
AND EXPRESSED PERMISSION OF Z-TECH CONSULTING ENGINEERS.

DATE: 12-6-2021

DRAWN BY :	ZRD
DESIGNED BY :	ZRD
ENGINEER :	ZRD
CHECKED BY :	DATE

DATE ISSUED : 8-20-2021

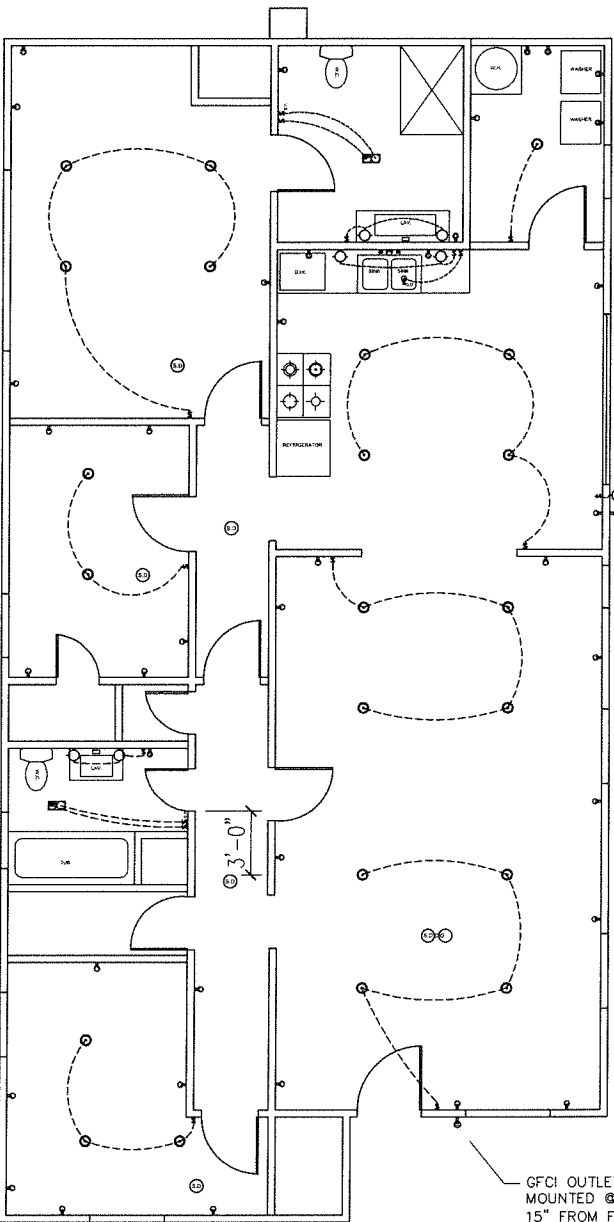
REVISIONS :		
NO.	DATE	DESCRIPTION
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JOB NAME :
RESIDENTIAL ADDITION/REMODEL
420 E. 8TH. AVENUE
ESCONDIDO - CA. 92025

CLIENT :
NICHE BUILDERS GROUP
1855 FIRST AVENUE
SAN DIEGO - CA. 92101

SHEET TITLE :
ARCH'L. SECTION

SHEET NUMBER :
A3.1



ELECTRICAL FLOOR PLAN
SCALE: 1/4"=1'-0"

ELECTRICAL DEVICES SPECIFICATIONS

- 1- ALL RECEPTACLES IN DWELLING UNIT SHALL BE TAMPER RESISTANT.
- 2- ALL RECEPTACLES INSTALLED IN DAMP OR WET LOCATIONS SHALL BE WEATHER RESISTANT.
- 3- ALL OUTLETS AND NOT JUST RECEPTACLES INSTALLED IN THE DWELLING UNIT SHALL HAVE ARC-FAULT PROTECTION.
- 4- ALL OUTLETS IN KITCHEN, LAUNDRY ROOM, BATHROOMS, AND OUTDOORS WITHIN 6' OF A SINK SHALL BE WITH GFCI PROTECTION.

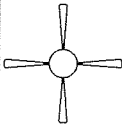
- 1- THERE WILL BE A MINIMUM OF 2 SMALL APPLIANCE BRANCH CIRCUITS WITHIN THE KITCHEN & DINING AREAS.
- 2- EACH RECEPTACLE OUTLET SHALL BE MOUNTED WITHIN 36" OF EACH LAVATORY IN EACH BATHROOM.
- 3- PROVIDE RECEPTACLE OUTLET IN ANY HALLWAY 10' OR MORE IN LENGTH. SEE PLAN FOR LOCATION.

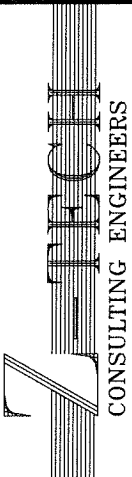
UTILITY PLAN NOTES

- 1. LOCAL EXHAUST FANS TO EXTERIOR TO PROVIDE MINIMUM 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS VENTILATION.
- 2. SMOKE DETECTORS TO BE INTERCONNECTED PER CRC R314.4 AND HARD-WIRED WITH BATTERY BACK-UP PER CRC R314.6
- 3. CARBON MONOXIDE ALARMS TO BE INTERCONNECTED PER CRC R315.7 AND HARD-WIRED WITH BATTERY BACK-UP PER CRC R315.5
- 4. 4" Ø DRYER VENT WITH MAXIMUM 14 FOOT COMBINED HORIZONTAL AND VERTICAL LENGTH WITH TWO 90 DEGREE ELBOWS.
- 5. A MECHANICAL EXHAUST VENTILATION SYSTEM, SUPPLY VENTILATION SYSTEM, OR COMBINATION THEREOF SHALL BE INSTALLED FOR EACH DWELLING UNIT TO PROVIDE WHOLE-BUILDING VENTILATION WITH OUTDOOR AIR IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION.
- 6. AN INTERMITTENTLY OR CONTINUOUSLY OPERATING LOCAL MECHANICAL EXHAUST VENTILATION SYSTEM SHALL BE INSTALLED IN EACH BATHROOM WITH A BATHTUB, SHOWER, OR SIMILAR MOISTURE SOURCE AND IN EACH KITCHEN IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION. INTERMITTENT LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 50 CFM IN BATHROOMS AND 100 CFM IN KITCHENS. CONTINUOUS LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 20 CFM IN BATHROOMS AND 5 AIR CHANGES PER HOUR IN KITCHENS BASED ON KITCHEN VOLUME.
- 7. WATER HEATER OR FURNACE SHALL BE A DIRECT-VENT APPLIANCE
- 8. LISTED GASKETED SELF CLOSING DOOR REQUIRED FOR GAS FAU

UTILITY PLAN NOTES

- 1. ALL LUMINAIRES SHALL BE HIGH-EFFICACY IN ACCORDANCE WITH CBES TABLE 150.0-A
- 2. ALL LED LUMINAIRES AND LAMPS SHALL BE MARKED "JA8-2016" AND LISTED IN THE CALIFORNIA ENERGY COMMISSION DATABASE AT [HTTPS://CACERTAPPLIANCES.ENERGY.CA.GOV/PAGES/APPLIANCESEARCH.ASPX](https://cacertappliances.energy.ca.gov/pages/appliancesearch.aspx)
- 3. ALL RECESSED DOWNLIGHT AND ENCLOSED LUMINAIRES SHALL BE MARKED "JA8-2016-E" AND LISTED IN THE CALIFORNIA ENERGY COMMISSION DATABASE AT [HTTPS://CACERTAPPLIANCES.ENERGY.CA.GOV/PAGES/APPLIANCESEARCH.ASPX](https://cacertappliances.energy.ca.gov/pages/appliancesearch.aspx)
- 4. RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS SHALL NOT BE SCREW-BASED
- 5. BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS: AT LEAST ONE LUMINAIRE IN EACH SPACE SHALL BE CONTROLLED BY A VACANCY SENSOR
- 6. ALL LUMINAIRES REQUIRING "JA8-2016" OR "JA8-2016-E" MARKING SHALL BE CONTROLLED BY A DIMMER OR VACANCY SENSOR
EXCEPTION: CLOSETS LESS THAN 70 S.F. & HALLWAYS
- 7. OUTDOOR LIGHTING PERMANENTLY MOUNTED TO BUILDINGS SHALL BE CONTROLLED BY ONE OF THE FOLLOWING:
 - PHOTOCONTROL AND MOTION SENSOR
 - PHOTOCONTROL AND AUTOMATIC TIME-SWITCH CONTROL
 - ASTRONOMICAL TIME CLOCK
 - ENERGY MANAGEMENT CONTROL SYSTEM PER CBES 150.0(K)3AIIIC

ELECTRICAL LEGEND	
⊕ DUPLEX OUTLET	⊙ HIGH EFFICACY RECESSED LIGHT
\$ WALL SWITCH	⚡ GARBAGE DISPOSAL
\$ _{GD} GARBAGE DISPOSAL SWITCH	⊕ GFCI ELECTRICAL OUTLET
\$ _V VACANCY SENSOR	
4" DIA DRYER VENT	
⊙ SMOKE DETECTOR	 FAN & LIGHT COMBO
⊙ CARBON MONOXIDE ALARM	
FAN AND LIGHT COMBINATION	
⊙ HIGH EFFICACY LIGHT FIXTURE	



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REGISTERED PROFESSIONAL ENGINEER
No. C67515
EXPIRATION DATE 12/31/2023
CIVIL
STATE OF CALIFORNIA

DATE: 12-6-2021

DRAWN BY :	ZRD
DESIGNED BY :	ZRD
ENGINEER :	ZRD
CHECKED BY :	DATE

DATE ISSUED : 8-20-2021

NO.	DATE	DESCRIPTION
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420 E. 8TH. AVENUE
ESCONDIDO - CA. 92025

CLIENT :
NICHE BUILDERS GROUP
1855 FIRST AVENUE
SAN DIEGO - CA. 92101

SHEET TITLE :
PROPOSED ELECTRICAL PLAN

SHEET NUMBER :
A3

2019 CALGREEN RESIDENTIAL OCCUPANCIES APPLICATION CHECKLIST
SECTION A4.602
Effective January 1, 2020
HCD SHL 615C (New 01/20)

FEATURE OR MEASURE	LEVELS APPLICANT TO SELECT ELECTIVE MEASURES			VERIFICATIONS ENFORCING AGENCY TO SPECIFY VERIFICATION METHOD		
	Mandatory	Prerequisites and Electives ¹		Enforcing Agency	Installer or Designer	Third-Party
		Tier 1	Tier 2			
PLANNING AND DESIGN						
Site Selection						
A4.103.1 A site which complies with at least one of the following characteristics is selected: 1. An infill site is selected. 2. A grayfield site is selected. 3. An EPA-recognized Brownfield site is selected.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.103.2 Facilitate community connectivity by one of the following methods: 1. Locate project within a 1/4-mile true walking distance of at least 4 basic services. 2. Locate project within 1/2-mile true walking distance of at least 7 basic services; or 3. Other methods increasing access to additional resources.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Site Preservation						
A4.104.1 An individual with oversight responsibility for the project has participated in an educational program promoting environmentally friendly design or development and has provided training or instruction to appropriate entities.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Deconstruction and Reuse of Existing Materials						
A4.105.2 Existing buildings are disassembled for reuse or recycling of building materials. The proposed structure utilizes at least one of the following materials which can be easily reused: 1. Light fixtures 2. Plumbing fixtures 3. Doors and trim 4. Masonry 5. Electrical devices 6. Appliances 7. Foundations or portions of foundations		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Site Development						
4.106.2 A plan is developed and implemented to manage storm water drainage during construction.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.106.3 Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.106.4 Provide capability for electric vehicle charging for one- and two-family dwellings, townhouses with attached private garages, multifamily dwellings, and hotels/motels in accordance with Section 4.106.4.1, 4.106.4.2, or 4.106.4.3, as applicable.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

¹ Green building measures listed in this table may be mandatory if adopted by a city, county, or city and county as specified in Section 101.7.

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	Mandatory	Prerequisites and Electives ¹		Enforcing Agency	Installer or Designer	Third-Party
		Tier 1	Tier 2			
A4.106.8.3 Provide electric vehicle charging spaces for new hotels and motels.						
Tier 1. Install EV spaces per Table A4.106.8.3.1.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tier 2. Install EV spaces per Table A4.106.8.3.2.			<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.106.9 Provide bicycle parking facilities as noted below or meet a local ordinance, whichever is more stringent. Number of bicycle parking spaces may be reduced, as approved by the enforcing agency, due to building site characteristics, including but not limited to, isolation from other development.						
1. Provide short-term bicycle parking, per Section A4.106.9.1.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Provide long-term bicycle parking for multifamily buildings, per Section A4.106.9.2.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Provide long-term bicycle parking for hotel and motel buildings, per Section A4.106.9.3.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.106.10 [HR] Outdoor lighting systems shall be designed and installed to comply with:						
1. The minimum requirements in the California Energy Code for Lighting Zones 1-4; and		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Backlight, Uplight and Glare (BUG) ratings as defined in IES TM-15-11; and		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Allowable BUG ratings not exceeding those shown in Table A4.106.10; or		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Comply with a lawfully enacted local ordinance, whichever is more stringent.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Innovative Concepts and Local Environmental Conditions						
A4.108.1 Items in this section are necessary to address innovative concepts or local environmental conditions.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 1	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 2	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 3	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ENERGY EFFICIENCY (LOW-RISE RESIDENTIAL)						
General						
4.201.1 Building meets or exceeds the requirements of the California Building Energy Efficiency Standards ¹ .	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

¹ These measures are currently required elsewhere in statute or in regulation.

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	Mandatory	Prerequisites and Electives ¹		Enforcing Agency	Installer or Designer	Third-Party
		Tier 1	Tier 2			
A4.106.1 Reserved.						
A4.106.2.1 Soil analysis is performed by a licensed design professional and the findings are utilized in the structural design of the building.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.106.2.2 Soil disturbance and erosion are minimized by at least one of the following:						
1. Natural drainage patterns are evaluated and erosion controls are implemented to minimize erosion during construction and after occupancy.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Site access is accomplished by minimizing the amount of cut and fill needed to install access roads and driveways.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Underground construction activities are coordinated to utilize the same trench, minimize the amount of time the disturbed soil is exposed and the soil is replaced using accepted compaction methods.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.106.2.3 Topsoil shall be protected or saved for reuse as specified in this section.						
Tier 1. Displaced topsoil shall be stockpiled for reuse in a designated area and covered or protected from erosion.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tier 2. The construction area shall be identified and delineated by fencing or flagging to limit construction activity to the construction area.			<input checked="" type="checkbox"/>			
A4.106.3 Postconstruction landscape designs accomplish one or more of the following:						
1. Areas disrupted during construction are restored to be consistent with native vegetation species and patterns.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Utilize at least 75% native California or drought tolerant plant and tree species appropriate for the climate zone region.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

¹ Required prerequisite for this Tier

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	Mandatory	Prerequisites and Electives ¹		Enforcing Agency	Installer or Designer	Third-Party
		Tier 1	Tier 2			
Performance Approach for Newly Constructed Buildings						
A4.203.1.1.1 Tier 1 and Tier 2. Total Energy Design Rating (Total EDR) and Energy Efficiency Design Rating (Efficiency EDR) for the Proposed Design Building is included in the Certificate of Compliance documentation.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.203.1.1.2 Tier 1 and Tier 2. Quality Insulation						
Installation procedures specified in the Building Energy Efficiency Standards Reference Appendices RA3.5 are completed.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.203.1.2 Tier 1 and Tier 2 prerequisite options. One of the following options is required:						
• Roof deck insulation or ducts in conditioned space.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• High performance walls.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• HERS-verified compact hot water distribution system.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• HERS-verified drain water heat recovery.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.203.1.3.1 Tier 1. Buildings complying with the first level of advanced energy efficiency shall have additional integrated efficiency and onsite renewable energy generation to achieve a Total EDR for Tier 1 as specified in Table A4.203.1.1.1 or lower as calculated by Title 24, Part 6 Compliance Software approved by the Energy Commission. This Total EDR is in addition to meeting the Efficiency EDR.						
		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.203.1.3.2 Tier 2. Buildings complying with the second level of advanced energy efficiency shall have additional integrated efficiency and onsite renewable energy generation to achieve a Total EDR for Tier 2 as specified in Table A4.203.1.1.1 or lower as calculated by Title 24, Part 6 Compliance Software approved by the Energy Commission. This Total EDR is in addition to meeting the Efficiency EDR.						
		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.203.1.4 Local jurisdictions adopting Tier 1 or Tier 2, or considering community shared solar or storage options as specified, shall consult with the local electric service for acceptance.						
		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
WATER EFFICIENCY AND CONSERVATION						
Indoor Water Use						
4.303.1 Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4.303.1.1 through 4.303.1.4.4.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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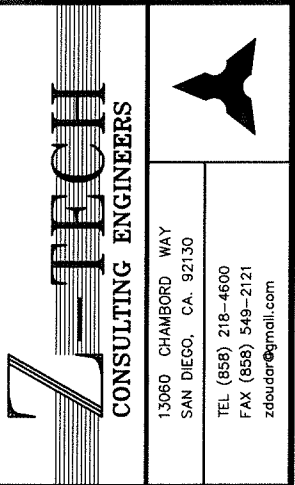
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	Mandatory	Prerequisites and Electives ¹		Enforcing Agency	Installer or Designer	Third-Party
		Tier 1	Tier 2			
A4.106.4 Permeable paving is utilized for the parking, walking or patio surfaces in compliance with the following:						
Tier 1. Not less than 20% of the total parking, walking or patio surfaces shall be permeable.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tier 2. Not less than 30% of the total parking, walking or patio surfaces shall be permeable.			<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.106.5 Roofing materials shall have a minimum 3-year aged solar reflectance and thermal emittance or a minimum Solar Reflectance Index (SRI) equal to or greater than the values specified in the applicable tables.						
Low-Rise Residential						
Tier 1. Roof covering shall meet or exceed the values contained in Table A4.106.5.1(1).		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tier 2. Roof covering shall meet or exceed the values contained in Table A4.106.5.1(2).			<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
High-Rise Residential, Hotels and Motels						
Tier 1. Roof covering shall meet or exceed the values contained in Table A4.106.5.1(3).		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tier 2. Roof covering shall meet or exceed the values contained in Table A4.106.5.1(4).			<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.106.6 Install a vegetated roof for at least 50% of the roof area. Vegetated roofs shall comply with requirements for roof gardens and landscaped roofs in the California Building Code, Chapters 15 and 16.						
		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.106.7 Reduce nonroof heat islands for 50% of sidewalks, patios, driveways or other paved areas by using one or more of the methods listed.						
		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.106.8.1 Tier 1 and Tier 2. For one- and two-family dwellings and townhouses with attached private garages. Install a dedicated 208/240-volt branch circuit, including an overcurrent protective device rated at 40 amperes minimum per dwelling unit.						
		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.106.8.2 Provide capability for future electric vehicle charging in new multifamily dwellings, as specified.						
Tier 1. In 15% of total parking spaces.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tier 2. In 20% of total parking spaces.			<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

3

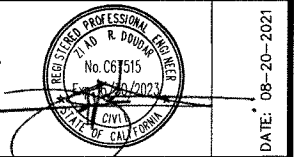
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		Tier 1	Tier 2			
4.303.2 Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the California Plumbing Code, and shall meet the applicable referenced standards.						
	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.303.1 The maximum flow rate of kitchen faucets shall not exceed 1.5 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.5 gallons per minute at 60 psi.						
Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.303.1.4.3 Metering faucets in residential buildings shall not deliver more than 0.2 gallons per cycle.						
	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.303.2 Alternate water sources for nonpotable applications. Alternate nonpotable water sources are used for indoor potable water reduction. Alternate nonpotable water sources shall be installed in accordance with the California Plumbing Code.						
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.303.3 Install at least one qualified ENERGY STAR dishwasher or clothes washer.						
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.303.4 Nonwater urinals or waterless toilets are installed.						
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.303.5 One- and two-family dwellings shall be equipped with a demand hot water recirculation system.						
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Outdoor Water Use						
4.304.1 Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.						
	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.304.1 A rainwater capture, storage and re-use system is designed and installed.						
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.304.2 A landscape design is installed, which does not utilize potable water.						
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.304.3 For new water service connections, landscaped irrigated areas less than 5,000 square feet shall be provided with separate submeters or metering devices for outdoor potable water use.						
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Water Reuse Systems						
A4.305.1 Piping is installed to permit future use of a graywater/irrigation system served by the clothes washer or other fixtures.						
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.305.2 Recycled water piping is installed.						
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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DESIGNED BY : ZRD
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DATE : 08-20-2021

DATE ISSUED : 08-20-2021

REVISIONS :		
NO.	DATE	DESCRIPTION

JOB NAME :
RESIDENTIAL ADDITION/REMODEL
420 E. 8TH. AVENUE
ESCONDIDO - CA. 92025
CLIENT :
NICHE BUILDERS GROUP
1855 FIRST AVENUE
SAN DIEGO - CA. 92101

SHEET TITLE :
CAL GREEN CHECKLIST

SHEET NUMBER :
A4

2019 CALGREEN RESIDENTIAL OCCUPANCIES APPLICATION CHECKLIST
SECTION A4.602
Effective January 1, 2020
HCD SHL 615C (New 01/20)

FEATURE OR MEASURE	LEVELS APPLICANT TO SELECT ELECTIVE MEASURES			VERIFICATIONS ENFORCING AGENCY TO SPECIFY VERIFICATION METHOD		
	Mandatory	Prerequisites and Electives		Enforcing Agency	Installer or Designer	Third-Party
A4.306.3 Recycled water is used for landscape irrigation.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Innovative Concepts and Local Environmental Conditions						
A4.306.1 Items in this section are necessary to address innovative concepts or local environmental conditions.						
Item 1	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 2	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 3	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
MATERIAL CONSERVATION AND RESOURCE EFFICIENCY						
Foundation Systems						
A4.403.1 A Frost-Protected Shallow Foundation (FPSF) is designed and constructed.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.403.2 Cement use in foundation mix design is reduced. Tier 1. Not less than a 20% reduction in cement use. Tier 2. Not less than a 25% reduction in cement use.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Efficient Framing Techniques						
A4.404.1 Beams, headers and trimmers are the minimum size to adequately support the load.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.404.2 Building dimensions and layouts are designed to minimize waste.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.404.3 Use premanufactured building systems to eliminate solid sawn lumber whenever possible.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.404.4 Material lists are included in the plans which specify material quantity and provide direction for on-site cuts.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Material Sources						
A4.405.1 One or more of the following building materials that do not require additional resources for finishing are used: 1. Exterior trim not requiring paint or stain. 2. Windows not requiring paint or stain. 3. Siding or exterior wall coverings which do not require paint or stain.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.405.2 Floors that do not require additional coverings are used including but not limited to stained, natural or stamped concrete floors.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.405.3 Postconsumer or preconsumer recycled content value (RCV) materials are used on the project. Tier 1. Not less than a 10% RCV. Tier 2. Not less than a 15% RCV.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.405.4 Renewable source building products are used.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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4.504.2.1 Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.504.2.2 Paints, stains and other coatings shall be compliant with VOC limits.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.504.2.3 Aerosol paints and coatings shall be compliant with product-weighted MIR Limits for VOC and other toxic compounds.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.504.2.4 Documentation shall be provided to verify that compliant VOC limit finish materials have been used.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.504.3 Carpet and carpet systems shall be compliant with VOC limits.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.504.4 80% of floor area receiving resilient flooring shall comply with specified VOC criteria.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.504.5 Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.504.1 Use composite wood products made with either California Air Resources Board approved no-added formaldehyde (NAF) resins or ultra-low emitting formaldehyde (ULEF) resins.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.504.2 Install VOC compliant resilient flooring systems. Tier 1. At least 90% of the resilient flooring installed shall comply. Tier 2. At least 100% of the resilient flooring installed shall comply.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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Enhanced Durability and Reduced Maintenance						
4.406.1 Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Water Resistance and Moisture Management						
A4.407.1 Install foundation and landscape drains.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.407.2 Install gutter and downspout systems to route water at least 5 feet away from the foundation or connect to landscape drains which discharge to a dry well, sump, bioswale, rainwater capture system or other approved on-site location.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.407.3 Provide flashing details on the building plane and comply with accepted industry standards or manufacturer's instructions.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.407.4 Protect building materials delivered to the construction site from rain and other sources of moisture.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.407.5 In Climate Zone 16, an ice/water barrier is installed at roof valleys, eaves and wall to roof intersections.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.407.6 Exterior doors to the dwelling are protected to prevent water intrusion.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.407.7 A permanent overhang or awning at least 2 feet in depth is provided at all exterior walls.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Construction Waste Reduction, Disposal and Recycling						
4.408.1 Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with one of the following: 1. Comply with a more stringent local construction and demolition waste management ordinance; or 2. A construction waste management plan, per Section 4.408.2; or 3. A waste management company, per Section 4.408.3; or 4. The waste stream reduction alternative, per Section 4.408.4.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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A4.504.3 Thermal insulation installed in the building shall meet the following requirements: Tier 1. Install thermal insulation in compliance with VOC limits. Tier 2. Install insulation which contains no-added formaldehyde (NAF) and is in compliance with Tier 1.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Interior Moisture Control						
4.505.2 Vapor retarder and capillary break is installed at slab-on-grade foundations.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.505.3 Moisture content of building materials used in wall and floor framing is checked before enclosure.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Indoor Air Quality and Exhaust						
4.506.1 Each bathroom shall be provided with the following: 1. ENERGY STAR fans ducted to terminate outside the building. 2. Fans must be controlled by a humidity control (separate or built-in): OR functioning as a component of a whole house ventilation system. 3. Humidity controls with manual or automatic means of adjustment, capable of adjustment between a relative humidity range of 50% to a maximum of 80%.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.506.1 Reserved.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.506.2 [HR] Provide filters on return air openings rated MERV 8 or higher during construction when it is necessary to use HVAC equipment.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.506.3 Direct-vent appliances shall be used when equipment is located in conditioned space or the equipment must be installed in an isolated mechanical room.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Environmental Comfort						
4.507.2 Duct systems are sized, designed, and equipment is selected using the following methods: 1. Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J - 2016 or equivalent. 2. Size duct systems according to ANSI/ACCA 1 Manual D - 2015 or equivalent. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 or equivalent.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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A4.408.1 Construction waste generated at the site is diverted to recycle or salvage in compliance with one of the following: Tier 1. At least a 65% reduction with a third-party verification. Tier 2. At least a 75% reduction with a third-party verification. Exception: Equivalent waste reduction methods are developed by working with local agencies.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Building Maintenance and Operation						
4.410.1 An operation and maintenance manual shall be provided to the building occupant or owner.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.410.2 Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible areas that serve the entire building and are identified for the depositing, storage and collection of nonhazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive. Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82(a)(2)(A) et seq. will also be exempt from the organic waste portion of this section.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Innovative Concepts and Local Environmental Conditions						
A4.411.1 Items in this section are necessary to address innovative concepts or local environmental conditions.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 1	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 2	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 3	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ENVIRONMENTAL QUALITY						
Fireplaces						
4.503.1 Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Pollutant Control						
4.504.1 Duct openings and other related air distribution component openings shall be covered during construction.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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Outdoor Air Quality Reserved						
Innovative Concepts and Local Environmental Conditions						
A4.509.1 Items in this section are necessary to address innovative concepts or local environmental conditions.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 1		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 2		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 3		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS						
702.1 HVAC system installers are trained and certified in the proper installation of HVAC systems.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
702.2 Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Verifications						
703.1 Verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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REGISTERED PROFESSIONAL ENGINEER

No. C67545

Exp. 12/31/2023

STATE OF CALIFORNIA

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DESIGNED BY : ZRD

ENGINEER : ZRD

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DATE ISSUED : 08-20-2021

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420 E. 8TH. AVENUE

ESCONDIDO - CA. 92025

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1855 FIRST AVENUE

SAN DIEGO - CA. 92101

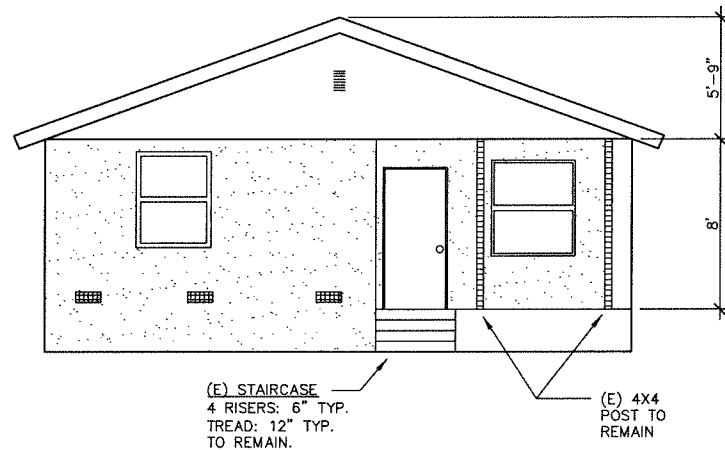
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CAL GREEN CHECKLIST

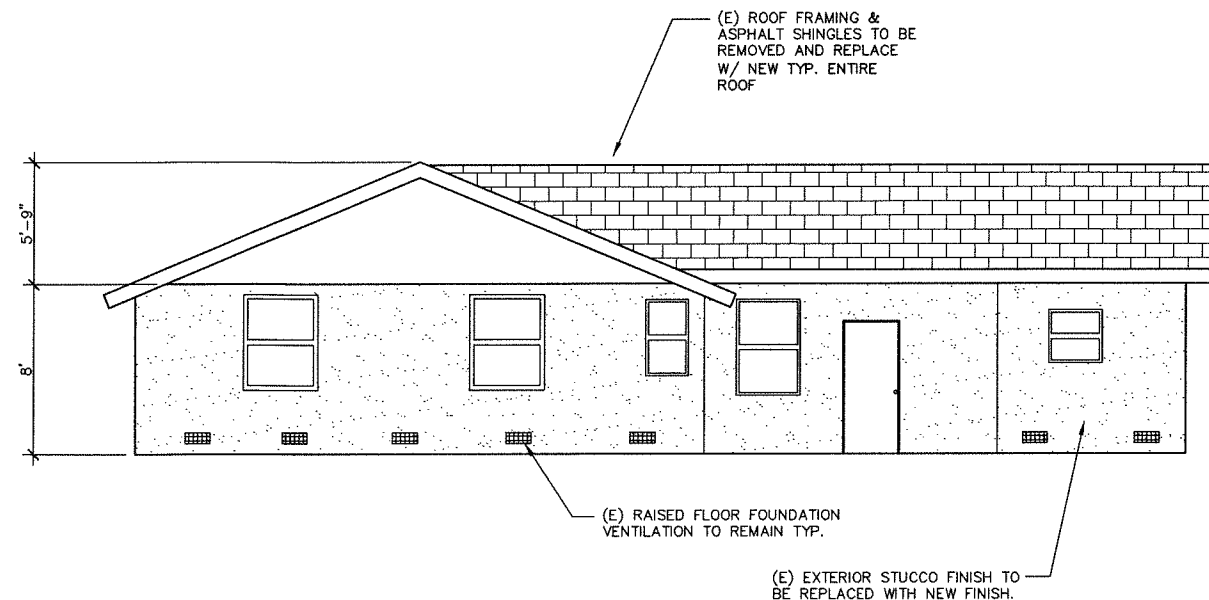
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A5

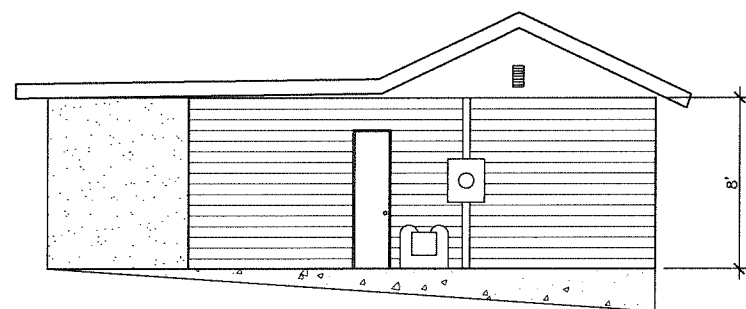
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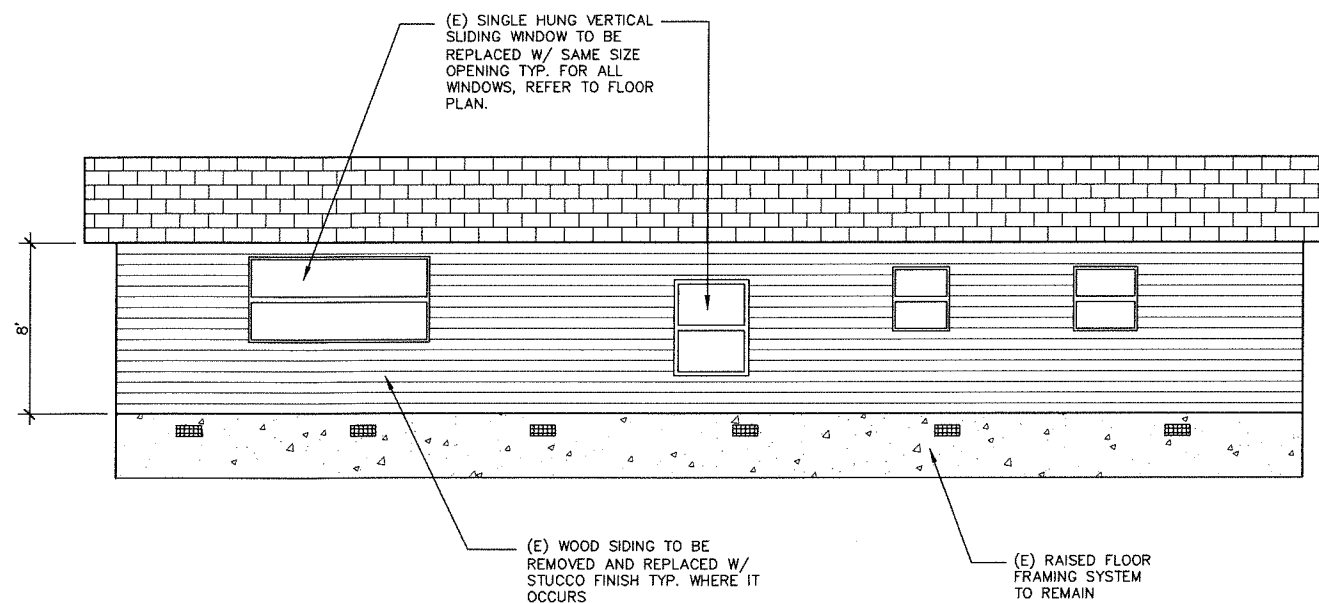
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EXISTING RIGHT ELEVATION
SCALE" $\frac{1}{4}$ "=1'-0"



EXISTING REAR ELEVATION
SCALE" $\frac{1}{4}$ "=1'-0"



EXISTING LEFT ELEVATION
SCALE" $\frac{1}{4}$ "=1'-0"

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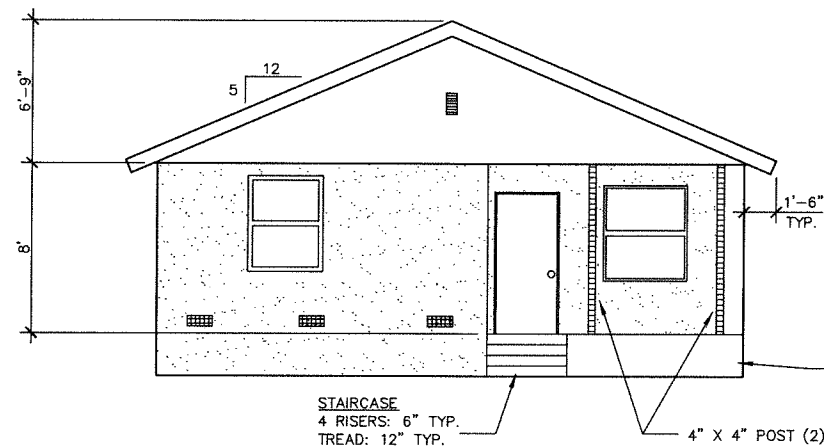
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ESCONDIDO - CA. 92025

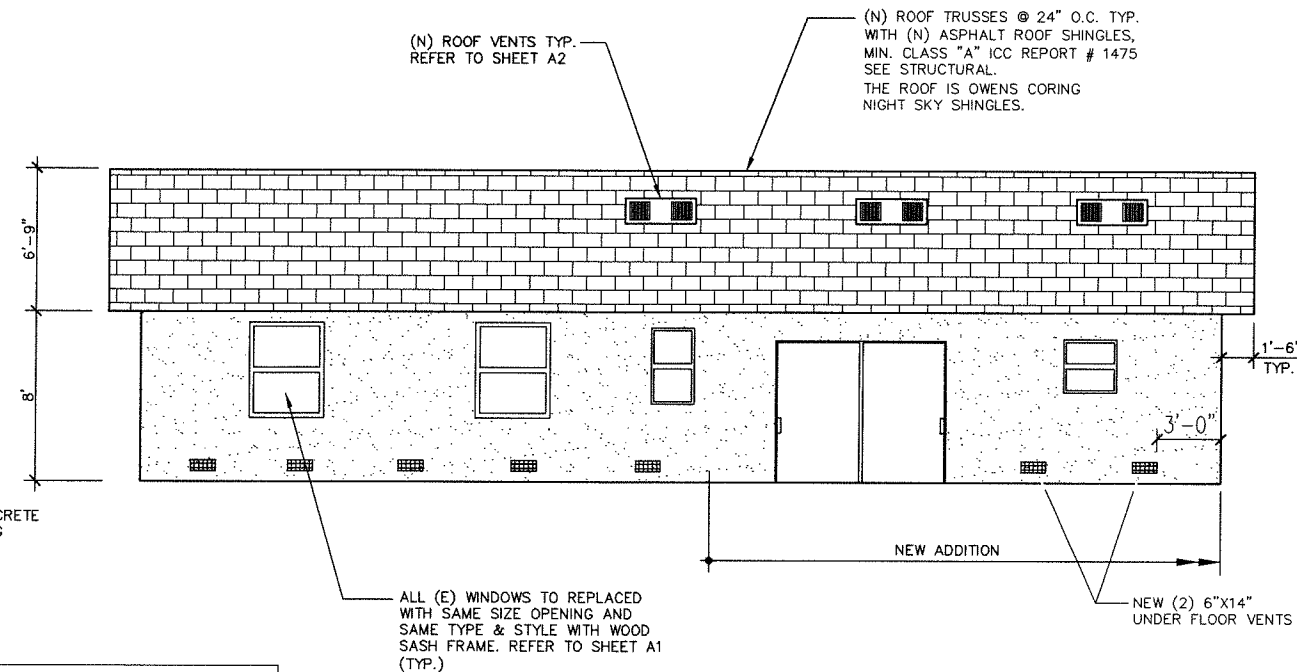
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NICHE BUILDERS GROUP
1855 FIRST AVENUE
SAN DIEGO - CA. 92101

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EXISTING ELEVATIONS

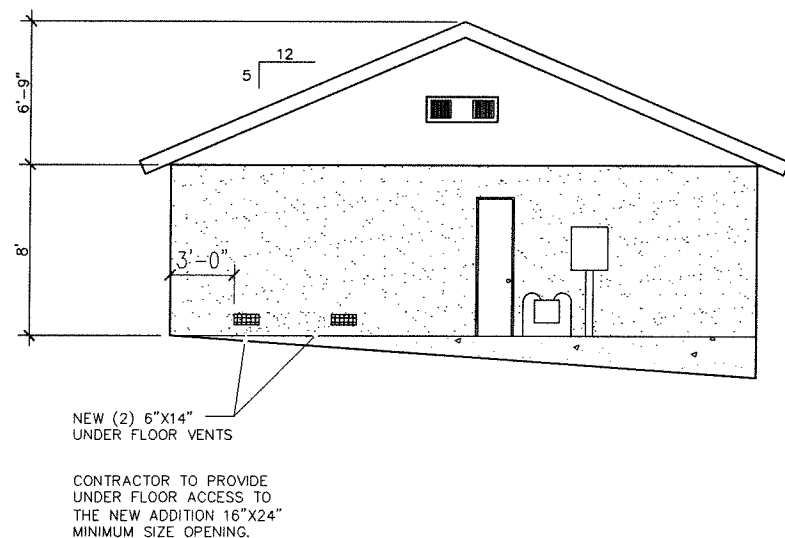
SHEET NUMBER :
A6



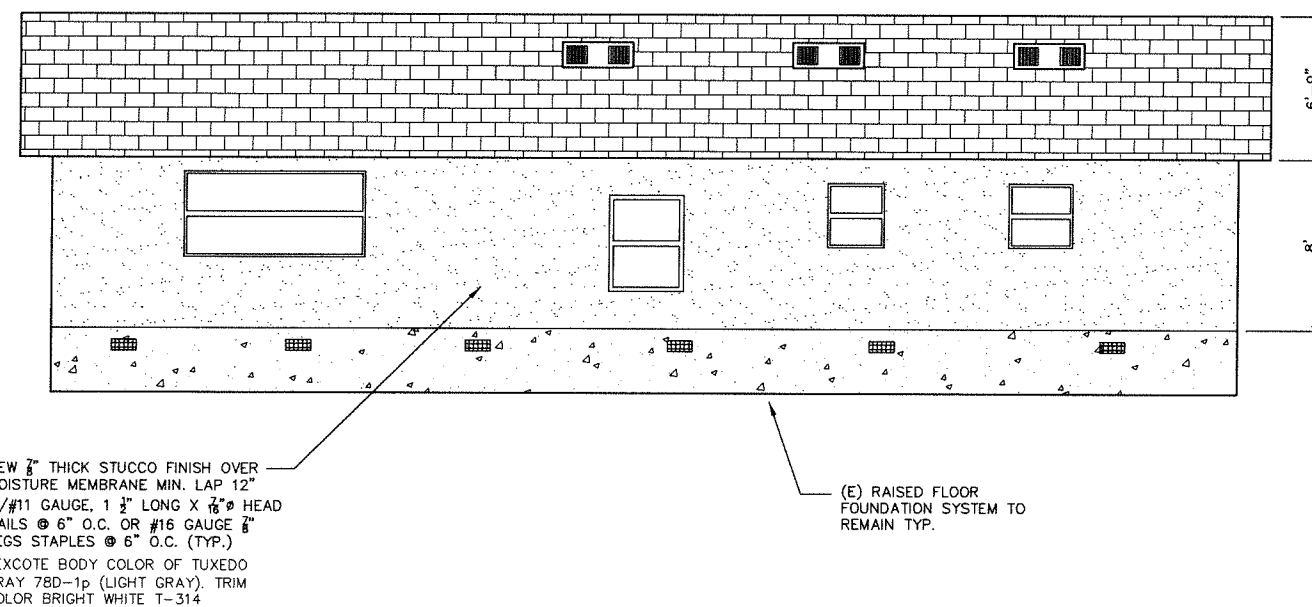
PROPOSED FRONT ELEVATION
SCALE" $\frac{1}{4}$ "=1'-0"



PROPOSED RIGHT ELEVATION
SCALE" $\frac{1}{4}$ "=1'-0"



PROPOSED REAR ELEVATION
SCALE" $\frac{1}{4}$ "=1'-0"

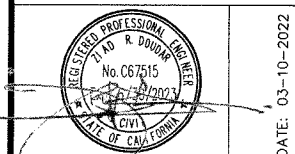


PROPOSED LEFT ELEVATION
SCALE" $\frac{1}{4}$ "=1'-0"

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CLIENT :	NICHE BUILDERS GROUP 1855 FIRST AVENUE SAN DIEGO - CA. 92101

SHEET TITLE :
PROPOSED ELEVATIONS

SHEET NUMBER :
A7

WOOD :

1. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR/LARCH AND SHALL BE OF THE FOLLOWING MINIMUM GRADE:
- STUDS AND LIGHT FRAMING..... CONSTRUCTION
JOISTS AND RAFTERS..... #2
4x BEAMS/HEADERS..... #1
POSTS AND 6x BEAMS/HEADERS..... #1
2x4 STUDS OVER 10' HIGH..... #1
2. ALL PLYWOOD SHALL BE DOUGLAS FIR CONFORMING TO PS-1-83 WITH EXTERIOR GLUE. ALL SHEATHING SHALL BE APA RATED. WHERE PLYWOOD IS PERMANENTLY EXPOSED TO WEATHER USE EXTERIOR GRADE. DIAPHRAGM SHEATHING (SHEAR WALLS AND HORIZONTAL DIAPHRAGMS) NAILS SHALL BE DRIVEN SO THAT THEIR HEAD IS FLUSH WITH THE SURFACE OF THE SHEATHING. MAINTAIN 1/8" GAP BETWEEN ALL EDGES OF ADJACENT SHEATHING FOR ROOF, DECKS AND EXTERIOR WALLS.
3. SILL PLATES ON CONCRETE SHALL BE SAME SIZE AS STUDS, WITH 5/8" DIA ANCHOR BOLTS @ 48" O/C W/ 7" MINIMUM EMBEDMENT INTO CONCRETE OR MASONRY. PROVIDE AT LEAST 2 ANCHORS FOR ANY LENGTH OF SILL PLATE. WHERE SILL PLATES HAVE TO BE SPLICED OR CORED, PROVIDE A MINIMUM OF 2 ANCHOR BOLTS PER EACH SPLICED SEGMENT.
- ALL ANCHOR BOLTS SHALL COMPLY WITH ASTM A307.
ALL ANCHOR BOLTS USED WITH PRESSURE TREATED LUMBER SHALL BE BE HOT-DIPPED ZINC-COATED GALVANIZED.
ALL ANCHOR BOLTS IN PRE-DRILLED SILL PLATE HOLES SHALL RECEIVE A 3"x3"x0.25" THICK WASHER PLATES.
(GOOD FOR 10' WALLS W/ EXPOSURE B. AMEND THIS AND SHEAR WALL SCHEDULE FOR MORE SEVERE CONDITIONS)
SILL PLATES FOR NON-BEARING, NON-SHEAR PARTITIONS RUNNING PERPENDICULAR TO FLOOR JOISTS SHALL BE NAILED DOWN W/ 2-16d @ EACH JOIST.
4. TOP PLATES SHALL BE DOUBLED, SAME SIZE AS STUDS. LAP PLATES 4' MINIMUM W/ AT LEAST 20-16d NAILS SPACED @ 6" O/C (+/-). DBL TOP PLATES SHALL BE CONTINUOUS; WHERE THEY HAVE TO BE CUT OR INTERRUPTED, PROVIDE "ST6224" STRAP.
5. PLACE SOLID BLOCKING, SAME SIZE AS STUDS, AT MID-HEIGHT OF WALLS.
6. PLACE 2x SOLID BLOCKING BETWEEN ALL JOISTS AND RAFTERS AT SUPPORTS AND UNDER ALL PARTITIONS.
7. PLACE 2x BLOCKING BETWEEN FLOOR JOISTS OVER 10" DEEP @ 8" MAXIMUM INTERVALS, AND AT ROOF JOISTS AND RAFTERS OVER 10" DEEP @ MID-SPAN.
8. USE DOUBLE FLOOR JOISTS UNDER ALL PARALLEL PARTITIONS THAT ARE LONGER THAN 15% OF THE JOIST SPAN.
9. BOLTS SHALL HAVE 7 DIA. MINIMUM END DISTANCE AND 4 DIA. MINIMUM EDGE DISTANCE. ALL BOLTS USED TO CONNECT WOOD MEMBERS SHALL COMPLY WITH ASTM A307, GRADE A.
10. ALL BOLTS SHALL BE FITTED WITH WASHERS. HOLES IN WOOD SHALL BE BORED WITH A BIT 1/16" LARGER THAN THE BOLT, MAXIMUM.
11. ALL WOOD POSTS SHALL BE CONNECTED TO THE TOP DOUBLE PLATES AND TO THE SILL PLATE WITH "A35" CLIPS ON TWO SIDES OF THE POST. PROVIDE ADDITIONAL POSTS TO COINCIDE WITH ANY POST INDICATED ON HIGHER LEVELS. THESE ADDITIONAL POSTS SHALL MATCH THE POST ABOVE IN SIZE. PROVIDE WOOD STUB POST AT FLOOR ENVELOPE TO MATCH THE LOWER POST IN SIZE.
12. ALL BEAMS, JOISTS, RAFTERS...ETC, SHALL BE INSTALLED WITH THE CROWN UP. CONNECT ALL 4x & THICKER BEAMS TO DBL TOP PLATES W/ "A35" EACH SIDE.
13. PROVIDE 2X BLOCKINGS TO ACT AS FIRE STOPS AND DRAFT STOPS IN WALLS AND FLOORS AS REQUIRED PER THE ARCH'L DWGS AND/OR AS REQUIRED PER CHAPTER 23 OF THE 2019 CBC.
14. STEEL FRAMING CONNECTORS SHALL BE MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY. CONNECTOR SIZE SHALL CORRESPOND TO THE WOOD MEMBER SIZE THAT IT IS USED WITH.
USE HOT-DIPPED GALVANIZED CONNECTORS ON :
- ALL EXTERIOR USES;
- CASES OF EXCESSIVE MOISTURE;
- WOOD TREATED WITH PRESERVATIVES AND/OR FIRE RETARDANTS.
15. ALL NAILS USED SHALL BE COMMON STEEL WIRE NAILS.
16. "CALIFORNIA FILL" FRAMING : (WHERE INDICATED ON THE FRAMING PLANS) IN ORDER TO UNIFORMLY DISTRIBUTE THE LOAD OF THIS FILL FRAMING OVER THE MAIN FRAMING, PROVIDE MIN 2x6 @16" O/C RAFTERS NOT TO SPAN MORE THAN 4'; IF NECESSARY PROVIDE INTERMEDIATE CRIPPLE
2x4 @ 16" O/C STUD WALLS TO MAINTAIN THESE MAX SPANS; THESE CRIPPLE WALLS SHALL COINCIDE WITH MAIN ROOF FRAMING MEMBERS. STRIP OUT THE EXISTING ROOFING (NOT THE SHEATHING DIAPHRAGM) PRIOR PROVIDE ROOF SHEATHING DIAPHRAGM OVER BOTH THE MAIN FRAMING AND THE FILL FRAMING PRIOR TO CONSTRUCTING THE CALIFORNIA FILL FRAMING.

17. DECAY AND TERMITE PROTECTION :

THE FOLLOWING WOOD SHALL BE PRESSURE-TREATED :

- A- WOOD POSTS EMBEDDED IN GROUND.
B- ALL WOOD EMBEDDED IN CONCRETE OR MASONRY.
C- THE WHOLE FLOOR ASSEMBLY OVER A CRAWL SPACE OR OVER UN-EXCAVATED AREAS LOCATED WITHIN THE PERIPHERY OF THE BUILDING FOUNDATION. THE FLOOR ASSEMBLY INCLUDES SHEATHING, JOISTS, GIRDERS AND POSTS. THIS REQUIREMENT MAY BE WAIVED PROVIDED THAT THE BOTTOM OF THE JOISTS ARE AT LEAST 18" ABOVE GRADE AND THAT THE BOTTOM OF GIRDERS ARE AT LEAST 12" ABOVE GRADE.
D- ALL SILL PLATES IN CONTACT WITH FOUNDATION CONCRETE OR FOUNDATION MASONRY.
E- GIRDERS POCKET FRAMED INTO MASONRY OR CONCRETE WALLS, UNLESS A 1/2" AIR SPACE IS MAINTAINED ON TOP, SIDES AND END OF GIRDER.
F- ALL DECK, PATIO AND BASEMENT POSTS (POSTS WHICH ARE EXPOSED TO WEATHER OR TO WATER SPLASH), UNLESS THE POSTS SIT ON CONCRETE OR METAL PEDESTALS PROJECTING ABOVE THE FLOOR; THE PEDESTALS SHALL PROJECT AT LEAST 8" ABOVE EXPOSED EARTH AND AT LEAST 1" ABOVE CONCRETE FLOORS.
G- STRUCTURAL MEMBERS EXPOSED TO WEATHER AND/OR SUBJECT TO WATER ACCUMULATION ON THE SURFACE AND/OR AT JOINTS BETWEEN THESE MEMBERS, UNLESS SUCH MEMBERS ARE PROTECTED BY A ROOF, EAVE OR OVERHANG OR OTHER GOVERNING TO PREVENT SUCH ACCUMULATION.
H- ALL FRAMING LOCATED NEARER THAN 6" TO GRADE.
I- ALL WALL FRAMING NOT COVERED BY A WATER-PROOF MEMBRANE AND AT THE SAME TIME SUBJECT TO WATER SPLASH.

REINFORCING STEEL :

1. DETAILING, FABRICATION AND ERECTION OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH THE A.C.I MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (A.C.I. 318-14).
2. BAR SUPPORTS SHALL BE PROVIDED IN ACCORDANCE WITH THE PROVISIONS OF "BAR SUPPORT SPECIFICATIONS" BY THE CONCRETE REINFORCING STEEL INSTITUTE (C.R.S.I.).
3. ALL REINFORCING BAR BENDS SHALL BE MADE COLD.
4. REINFORCING BARS SHALL CONFORM ASTM A615-60; GRADE 60 EXCEPT #3 AND #4 BARS SHALL BE GRADE 40.
5. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
6. LAP LENGTH AT BAR SPLICES IN CONCRETE SHALL BE:
32 BAR DIA. (12" MIN.) FOR GRADE 40.
48 BAR DIA. (12" MIN.) FOR GRADE 60.
7. LAP LENGTH AT BAR SPLICES IN MASONRY SHALL BE:
40 BAR DIA. (18" MIN.) FOR GRADE 40.
48 BAR DIA. (18" MIN.) FOR GRADE 60.
8. MINIMUM LAP LENGTH OF WELDED WIRE FABRIC SHALL BE 1' OR ONE FULL MESH PLUS 2", WHICHEVER IS GREATER.
9. NO SPLICING OF BARS IS PERMITTED; ALL BARS SHALL BE FURNISHED IN SINGLE CONTINUOUS PIECES.

GLU-LAMINATED BEAMS :

1. GLU-LAM BEAMS SHALL BE COMBINATION 24F-V8 FOR DRY, INDUSTRIAL USE.
2. GLU-LAM BEAMS SHALL BE MANUFACTURED IN ACCORDANCE WITH A.I.T.C SPECIFICATION #117-84. MEMBERS SHALL BE "APA-EWS" STAMPED.
3. AN A.I.T.C CERTIFICATE OF COMPLIANCE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO ERECTION OF THE GLU-LAM BEAMS. SUBMIT COPIES OF THE CERTIFICATE WITH ATTACHMENTS TO THE ARCHITECT FOR APPROVAL PRIOR TO ERECTION OF THE GLU-LAM BEAMS.
4. POSITIVE CAMBER INDICATES AN UPWARD CAMBER. NEGATIVE CAMBER INDICATES A DOWNWARD CAMBER.
5. GLU-LAM BEAMS SHALL BE OF DF/ DF INDUSTRIAL GRADE 24F-V4 AT SIMPLE SPANS AND 24F-V8 AT CANTILEVERS.
Fb = 2400 PSI
Fc = 1650 PSI
Fv = 265 PSI

PARALLAM PSL : (PARALLEL STRAND LUMBER)

1. SHALL BE MANUFACTURED BY "I LEVEL BY WEYERHAEUSER"
2. SHALL BE PER CODE EVALUATION ICC REPORT# ESR-1387 (BY "HUD").
3. SHALL HAVE THE FOLLOWING PROPERTIES :
Fb = 2,900 PSI (ALLOWABLE UN-ADJUSTED BENDING STRESS)
E = 2,200 KSI (ELASTIC MODULUS, GRADE 2.2E)
Fv = 290 PSI (ALLOWABLE HORIZONTAL SHEAR)

PREFABRICATED TRUSS JOISTS SYSTEM:

1. THE CONNECTIONS AND FABRICATIONS SHALL HAVE A CURRENT I.C.C. APPROVAL.
2. THE FABRICATOR SHALL BE RESPONSIBLE FOR AND PROVIDE BLOCKING, BRIDGING, STIFFENERS, HANGERS,...ETC, AS REQUIRED BY THE 2019 CBC BUILDING CODE AND THE FABRICATOR'S DESIGN AND CALCULATIONS.
3. PRIOR TO FABRICATION THE FABRICATOR SHALL SUBMIT THE FOLLOWING FOR THE REVIEW AND APPROVAL OF THE ARCHITECT:
A) CALCULATIONS STAMPED AND SIGNED BY A CIVIL ENGINEER CURRENTLY REGISTERED IN THE STATE OF CALIFORNIA.
B) COMPLETE SHOP DRAWINGS SHOWING LAYOUT, SIZES, DETAILS...ETC.
4. EACH TRUSS SHALL BE LEGIBLY BRANDED, MARKED OR OTHERWISE HAVE PERMANENTLY AFFIXED THERE TO THE FOLLOWING INFORMATION LOCATED WITHIN 2 FEET OF THE CENTER OF THE SPAN ON THE FACE OF THE BOTTOM CHORD DO NOT NOTCH OR BORE THE BOTTOM CHORD) :
A) IDENTITY OF THE COMPANY MANUFACTURING THE TRUSS.
B) THE DESIGN LIVE LOAD AND THE DESIGN DEAD LOAD.
C) THE SPACING OF THE TRUSSES
5. USE DOUBLE FLOOR JOISTS UNDER ALL PARALLEL PARTITIONS THAT ARE LONGER THAN 15% OF THE JOIST SPAN.
6. ALL TRUSS JOISTS SHALL BE MANUFACTURED BY "I LEVEL, TRUS JOIST BY WEYERHAEUSER" AND SHALL BE PER ICC-ESR-1153 AND ICC-ESR-1387.
7. PLACE SOLID TRUSS JOIST BLOCKING BETWEEN ALL JOISTS AT SUPPORTS AND UNDER ALL PARTITIONS.
8. PLACE SOLID TRUSS JOIST BLOCKING BETWEEN FLOOR JOISTS OVER 10" DEEP @ 8" MAXIMUM INTERVALS, AND AT ROOF JOISTS AND RAFTERS OVER 10" DEEP @ MID SPAN.
9. ALL "DRAG" TRUSSES SHALL BE DESIGNED FOR AN ADDITIONAL SEISMIC LOAD AS NOTED ON THE ROOF FRAMING PLAN.
10. PROVIDE DOUBLE STUDS OR 4X6 POST UNDERNEATH ALL GIRDER TRUSSES.
11. ALL FLOOR TJ FLOOR PENETRATIONS SHALL BE WEYERHAEUSER RECOMMENDATIONS AND ICC REPORT 1153 & 1387. REFER TO PAGE 10 OF THE REPORT.

CONCRETE :

1. CEMENT SHALL CONFORM TO ASTM C150, TYPE II.
2. AGGREGATES SHALL CONFORM TO ASTM C33 FOR HARD ROCK CONCRETE, AND TO ASTM C330 FOR LIGHTWEIGHT CONCRETE. AGGREGATE SIZE SHALL BE 3/4".
3. READY MIX CONCRETE SHALL BE MIXED AND DELIVERED IN ACCORDANCE WITH ASTM C94.
4. APPROXIMATE DRY DENSITY SHALL BE 110 PCF FOR LIGHTWEIGHT CONCRETE AND 145 PCF FOR HARD ROCK CONCRETE. CONCRETE SHALL BE HARD ROCK.
5. ADMIXTURES MAY BE USED WITH THE PRIOR APPROVAL OF THE ENGINEER. ADMIXTURES SHALL NOT REDUCE THE SPECIFIED MINIMUM COMPRESSIVE STRENGTH OF THE CONCRETE.(CALCIUM CHLORIDE SHALL NOT BE USED).
6. CONCRETE MIXES SHALL BE DESIGNED BY A QUALIFIED TESTING LABORATORY AND REVIEWED BY THE ENGINEER. MIX DESIGNS SHALL BE STAMPED AND SIGNED BY A CIVIL ENGINEER CURRENTLY REGISTERED IN CALIFORNIA. MEASURES TO MINIMIZE ALKALI-SILICA REACTIVITY ("ASR") SHALL BE CONSIDERED IN THE MIX DESIGN; SUCH AS USE OF LOW-ALKALI CEMENT, USE OF ASTM C-618 CLASS "F" FLY ASH, USE OF LITHIUM-NITRATE SOLUTION ADMIXTURE AND POSSIBLY USE OF NON-REACTIVE (HNO3/CUS) AGGREGATES.
7. MINIMUM CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE :
CONTINUOUS FOOTINGS..... 2500 PSI
GRADE BEAMS..... 3500 PSI
SPREAD FOOTINGS..... 2500 PSI
SLAB ON GRADE..... 2500 PSI
COLUMNS..... 4000 PSI
WALLS..... 4000 PSI
STRUCTURAL SLABS AND BEAMS..... 3000 PSI
CONCRETE TOPPING ON METAL DECK..... 3000 PSI
8. WHERE NO PRE-APPROVED ADMIXTURES ARE USED, SLUMP SHALL NOT EXCEED 3" FOR SLABS ON GRADE AND 4" FOR ALL OTHER CONCRETE WORK.
9. REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ALL SLEEVES, INSERTS, MOLDS, GROOVES, ORNAMENTAL CLIPS,...ETC, TO BE CAST IN CONCRETE AND FOR EXTENT OF DEPRESSIONS, CURBS,...ETC.
10. NO CONDUITS OR PIPES PLACED IN THE SLAB SHALL HAVE AN OUTSIDE DIAMETER GREATER THAN 1/3 OF THE SLAB THICKNESS. NO CONDUITS OR PIPES SHALL BE PLACED IN A SLAB THAT IS LESS THAN 3.5" THICK. PIPES AND CONDUITS SHALL BE PLACED NEAR MID-DEPTH OF THE SLAB, EXCEPT FOR LOCAL OFFSETS. MINIMUM CLEAR DISTANCE BETWEEN CONDUITS AND PIPES, PLACED IN CONCRETE, SHALL BE 6".
11. PROJECTING CORNERS OF SLABS, BEAMS, WALLS, COLUMNS.ETC, SHALL BE FORMED WITH A 3/4" CHAMFER.
12. ALL FORMWORK MUST BE CLEANED, INSPECTED AND APPROVED PRIOR TO PLACING REINFORCEMENT. ALL REINFORCING BARS, ANCHOR BOLTS AND INSERTS TO BE SECURED IN PLACE PRIOR TO POURING CONCRETE.
13. CURING COMPOUNDS USED ON CONCRETE THAT IS TO RECEIVE A RESILIENT TILE FINISH SHALL BE APPROVED BY THE ARCHITECT IN ADVANCE.
14. CONTRACTOR SHALL SUBMIT JOINT LAYOUT FOR CONCRETE WORK TO BE APPROVED BY THE ENGINEER PRIOR TO FABRICATION OF REINFORCING BARS. CONTROL JOINTS FOR INTERIOR SLABS ON GRADES SHALL NOT BE SPACED MORE THAN 16' IN ANY DIRECTION.
15. REINFORCING STEEL SHALL HAVE A CONCRETE COVER AS FOLLOWS:
A) UNFORMED CONCRETE CAST AGAINST EARTH..... 3"
B) FORMED CONCRETE IN CONTACT WITH EARTH AND CONCRETE EXPOSED TO WEATHER (OTHER THAN CONC TILT-UP PANELS) :
BARS #6 AND LARGER..... 2"
BARS #5 AND SMALLER..... 1.5"
C) CONC TILT-UP PANELS EXPOSED TO WEATHER :
BARS #6 AND LARGER..... 2"
BARS #5 AND SMALLER..... 1"
D) CONCRETE NEITHER IN CONTACT WITH EARTH NOR EXPOSED TO WEATHER:
SLABS,WALLS AND JOISTS:
BARS #14 AND LARGER..... 1.5"
BARS #11 AND SMALLER..... 3/4"
BEAMS AND COLUMNS (TO TIES)..... 1.5"
UNPROTECTED COLUMNS (IN PARKING AREAS)..... 2.5"
- THE ABOVE COVERAGE VALUES SHOULD NOT BE EXCEEDED BY MORE THAN 25%

16. DOWELS FROM FOOTINGS AND SUPPORTS SHALL MATCH IN SIZE AND SPACING THE REINFORCEMENT OF WALLS AND COLUMNS.
17. CONCRETE WALLS SHALL BE REINFORCED WITH #4 @ 12" O/C EACH WAY CENTERED IN WALL.
18. PRIOR TO DRILLING, SAW-CUTTING, CORING OR ALTERING ANY EXISTING CONCRETE, THE CONTRACTOR SHALL :
- FIELD VERIFY EXISTENCE OF ANY POST TENSIONING TENDONS; AND
- FIELD VERIFY LOCATION OF SUCH TENDONS; AND
- SHALL SUBMIT RESULTS OF ABOVE FIELD VERIFICATIONS AND PROPOSED WORK TO THE ENGINEER FOR REVIEW AND APPROVAL.
19. ALL CONCRETE SHALL BE POURED MONOLITHICALLY. WHERE SPECIFICALLY INDICATED ON THE PLANS, COLD JOINTS SHALL BE TREATED AS FOLLOWS :
ROUGHEN CONTACT SURFACE TO A MINIMUM OF 3/4" AMPLITUDE;
SAND BLAST CONTACT SURFACE CLEAN;
APPLY AN APPROVED BONDING AGENT AFTER ANY DRILLING IS DONE AND JUST PRIOR TO POURING FRESH CONCRETE.

GENERAL NOTES

THE FOLLOWING GENERAL NOTES INCLUDE A SUMMARY OF THE SPECIFICATIONS FOR THE CONVENIENCE OF THE READER. REFER TO THE SPECIFICATIONS.

GENERAL :

1. IN CASE OF CONFLICT, SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES AND STANDARD DETAILS.
2. WHERE A DETAIL IS IDENTIFIED AS TYPICAL THE CONTRACTOR SHALL APPLY THIS DETAIL TO EVERY LIKE SITUATION, WHETHER OR NOT THE REFERENCE IS MADE IN EVERY INSTANCE.
3. ALL WORK THAT IS NEITHER SPECIFICALLY NOTED NOR SPECIFICALLY DETAILED, SHALL BE CONSTRUCTED IN ACCORDANCE WITH OTHER SIMILAR WORK SHOWN ON THE DRAWINGS AND/OR WITH TYPICAL DETAILS.
4. DRAWINGS AND SPECIFICATIONS REPRESENT FINISHED STRUCTURE. THE CONTRACTOR SHALL DESIGN, CONSTRUCT AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING AND TEMPORARY BRACING. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES AND BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND STRUCTURES AT THE VICINITY OF THE SITE. VISITS TO THE SITE BY THE ENGINEER SHALL NOT INCLUDE INSPECTION OF SUCH MEASURES.
5. ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE 2019 CALIFORNIA BUILDING CODE AND/OR 2019 CALIFORNIA RESIDENTIAL CODE AS AMENDED AND ADOPTED BY THE LATEST ORDINANCE OF THE CITY OF OCEANSIDE, AND OTHER REGULATORY AGENCIES EXERCISING AUTHORITY OVER ANY PORTION OF WORK.
6. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY SITE CONDITIONS NOT REFLECTED ON THE DRAWINGS OR DIFFERENT FROM THE INDICATED MAXIMUM/MINIMUM DIMENSIONS, INCLUDING EARTH HEIGHT, CONFLICT IN GRADES, ADVERSE SOIL CONDITIONS...ETC.
7. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE STARTING WORK, AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
8. OPENINGS, POCKETS, DRILLS, NOTCHES, TAPERS, ETC, SHALL NOT BE PLACED IN STRUCTURAL ELEMENTS UNLESS SPECIFICALLY INDICATED OR APPROVED BY THE ENGINEER. STRUCTURAL ELEMENTS UNLESS SPECIFICALLY INDICATED OR APPROVED BY THE ENGINEER.
9. ONLY CALIFORNIA LICENSED GENERAL CONTRACTORS ARE TO UTILIZE THESE DRAWINGS/CONTRACT DOCUMENTS FOR THE PURPOSE OF CONSTRUCTION.
10. THE CONTRACTOR MUST NOT SCALE FROM THESE DRAWINGS. MEASUREMENTS ARE TO BE READ AND/OR MATHEMATICALLY DEDUCED FROM THESE DRAWINGS.
11. PLACEMENT OF ALL MEMBERS SHALL BE CONCENTRIC WITH RESPECT TO EACH OTHER.
12. PRIOR TO START OF ANY FABRICATION/CONSTRUCTION, THE CONTRACTOR SHALL READ THE WHOLE DRAWINGS, REVIEW THEM THOROUGHLY, AND RAISE ANY QUESTION OR COMMENTS ON ANY AREA WHERE THE DRAWINGS MAY BE UNCLEAR.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE METHODS OF CONSTRUCTION AND TO PROVIDE ADEQUATE SHORING / BRACING WHEN REQUIRED TO ACHIEVE THE FINISHED PRODUCT REPRESENTED BY THESE CONSTRUCTION DOCUMENTS.

TYPICAL BASIC DESIGN LOADS CRITERIA:

VERTICAL LOADS:
ROOF DEAD LOAD..... 14 PSF
ROOF LIVE LOAD..... 20 PSF
FLOOR DEAD LOAD..... 11 PSF
FLOOR LIVE LOAD..... 40 PSF

LATERAL LOADS:
SEISMIC:
LATITUDE = 33.1175717 LONGITUDE = -117.0731908
S₀ = 0.897g
S₁ = 0.328g
SITE CLASS, "D"
F_a = 1.20
S_{MS} = 0.718g
SEISMIC DESIGN CATEGORY "D"
IMPORTANCE FACTOR = 1.0
R = 6.5
WIND :
SIMPLIFIED DESIGN PRESSURE: P_s = λ K_{zt} P_{s0}
V = 95 mph
I = 1.0
Exposure : B

FOUNDATION :

1. ALL FOUNDATION RECOMMENDATIONS SHALL COMPLY WITH THE SOIL REPORT BY :
DATED :
REPORT NUMBER :
2. FOOTINGS EXCAVATIONS SHALL BE KEPT FREE FROM LOOSE MATERIAL AND STANDING WATER. PRIOR TO POURING CONCRETE, EXCAVATIONS SHALL BE CHECKED AND APPROVED BY THE SOIL ENGINEER ON RECORD.
3. SUBMIT COMPACTION TEST REPORTS FOR ALL FILL BY A QUALIFIED TESTING LAB TO ARCHITECT AND BUILDING DEPARTMENT PRIOR TO REQUESTING FOUNDATION INSPECTION. ALL LOOSE AND FILL SOILS SHALL BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM SOIL DENSITY.
4. CONTRACTOR SHALL PROVIDE FOR DE-WATERING OF EXCAVATIONS FROM SURFACE OR SEEPAGE WATER.
5. THE MAXIMUM ALLOWABLE SOIL BEARING PRESSURE SHALL BE:
CONTINUOUS FOOTINGS..... 1,500 PSF
SPREAD FOOTINGS..... 1,500 PSF
6. BOTTOM OF FOOTINGS SHALL BE EMBEDDED AT LEAST 18 INCHES BELOW THE LOWEST ADJACENT GRADE.
7. FOOTING ELEVATIONS INDICATED ARE ASSUMED TO BE IN SUITABLE BEARING SOIL. THE ACTUAL ADEQUACY OF THE BEARING SOIL SHALL BE DETERMINED, AND IF NECESSARY LOWERED AS DIRECTED BY THE SOIL ENGINEER, PRIOR TO PLACING ANY REINFORCEMENT.
8. ALL FOOTINGS SHALL BE POURED AGAINST EXCAVATED SOIL; DO NOT FORM FOOTINGS BELOW GRADE.

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DESIGNED BY :	ZRD
ENGINEER :	ZRD
CHECKED BY :	DATE

DATE ISSUED : 8-20-2021

REVISIONS :		
NO.	DATE	DESCRIPTION
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RESIDENTIAL ADDITION/REMODEL
420 E. 8TH. AVENUE
ESCONDIDO - CA. 92025

CLIENT :
NICHE BUILDERS GROUP
1855 FIRST AVENUE
SAN DIEGO - CA. 92101

SHEET TITLE :
GENERAL NOTES

SHEET NUMBER :
S1

[illegible]

GENERAL:

- REQUIRED REPORTS:

- CONTINUOUS AND PERIODIC INSPECTIONS:**

- OFF-SITE FABRICATION:

- MASONRY :

- DRYPACK/ NON-SHRINK GROUT:**

- POST-INSTALLED EXPANSION ANCHORS:**

- POST-INSTALLED ADHESIVE ANCHORS:

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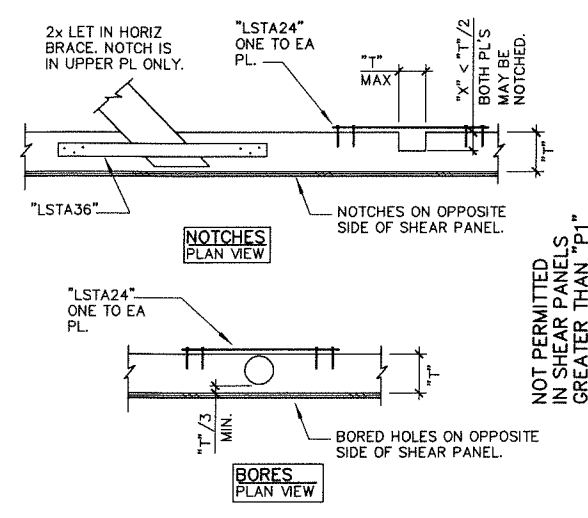
REVISIONS :		
NO.	DATE	DESCRIPTION
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JOB NAME :	RESIDENTIAL ADDITION/REMODEL 420 E. 8TH. AVENUE ESCONDIDO - CA. 92025
CLIENT :	NICHE BUILDERS GROUP 1855 FIRST AVENUE SAN DIEGO - CA. 92101

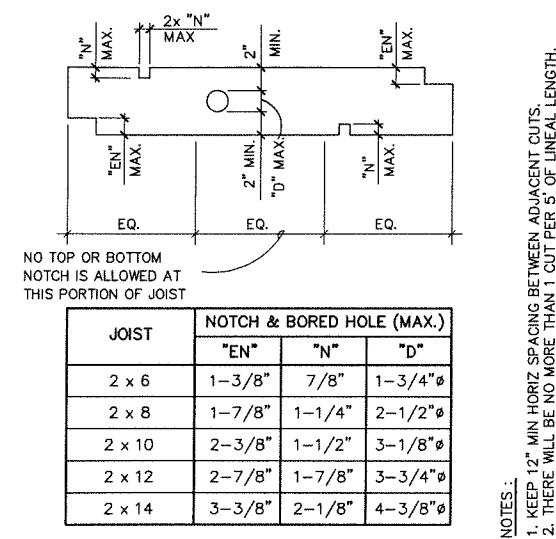
SHEET TITLE :
GENERAL NOTES &
SPECIAL INSPECTION

SHEET NUMBER :
S2

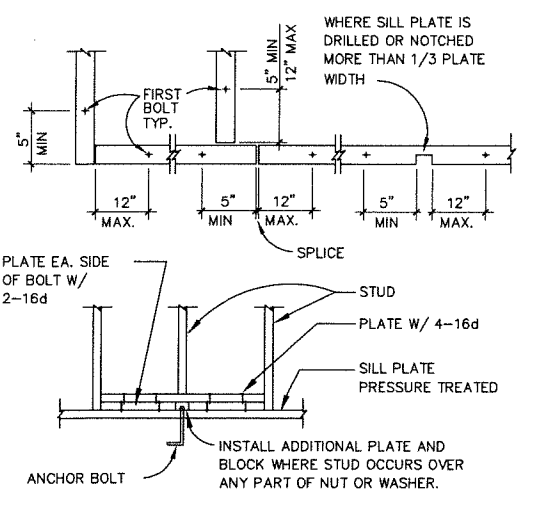
TABLE 2304.10.1 FASTENING SCHEDULE		
CONNECTION	FASTENING	LOCATION
1. JOIST TO SILL OR GIRDER	3-8d common (2 1/2" x 0.131") 3-3"x0.131" nails 3-3/4" gage staples	toenail
2. BRIDGING TO JOIST	2-8d common (2 1/2" x 0.131") 2-3"x0.131" nails 2-3/4" gage staples	toenail each end
3. 1"x6" SUBFLOOR OR LESS TO EACH JOIST	2-8d common (2 1/2"x0.131")	face nail
4. WIDER THAN 1"x6" SUBFLOOR TO EACH JOIST	3-8d common (2 1/2"x0.131")	face nail
5. 2" SUBFLOOR TO JOIST OR GIRDER	2-16d common (3 1/2"x0.162")	blind & face nail
6. SOLE PLATE TO JOIST OR BLOCKING	16d (3 1/2"x0.135") at 16" o.c. 3"x0.131" nails at 8" o.c. 3" 14 gage staples at 12" o.c.	typical face nail
SOLE PLATE TO JOIST OR BLOCKING, AT BRACED WALL PANEL	3"-16d (3 1/2"x0.135") at 16" 4-3"x0.131" nails at 16" 4-3" 14 gage staples per 16"	braced wall panels
7. TOP PLATE TO STUD	2-16d common (2 1/2" x 0.162") 3-3"x0.131" nails 3-3/4" gage staples	end nail
8. STUD TO SOLE PLATE	4-8d common (2 1/2" x 0.131") 4-3"x0.131" nails 3-3/4" gage staples 2-16d common (3 1/2" x 0.162") 3-3"x0.131" nails 3-3/4" gage staples	toenail end nail
9. DOUBLE STUDS	16d (3 1/2"x0.135") at 24" o.c. 3"x0.131" nails at 8" o.c. 3" 14 gage staples at 8" o.c.	face nail
10. DOUBLE TOP PLATES	16d (3 1/2"x0.135") at 16" o.c. 3"x0.131" nails at 12" o.c. 3" 14 gage staples at 12" o.c.	typical face nail
DOUBLE TOP PLATES	8-16d (3 1/2"x0.162") 12-3"x0.131" nails 12-3" 14 gage staples	lap splice
11. BLOCKING BETWEEN JOISTS OR RAFTERS	3-8d common (2 1/2" x 0.131") 3-3"x0.131" nails 3-3/4" gage staples	toenail
12. RIM JOIST TO TOP PLATE	8d (2 1/2" x 0.131") at 6" o.c. 3"x0.131" nail at 6" o.c. 3" 14 gage staple at 6" o.c.	toenail
13. TOP PLATES, LAPS AND INTERSECTIONS,	2-16d common (3 1/2" x 0.162") 3-3"x0.131" nails 3-3/4" gage staples	face nail
14. CONTINUOUS HEADER, TWO PIECES	16d common (3 1/2" x 0.162")	16d o.c. along edge
15. CEILING JOISTS TO PLATE	3-8d common (2 1/2" x 0.131") 5-3"x0.131" nails 5-3/4" gage staples	toenail
16. CONTINUOUS HEADER TO STUD	4-8d common (2 1/2" x 0.131")	toenail
17. CEILING JOISTS, LAPS OVER PARTITION, (see Section 2308.10.4.1, Table 2308.10.4.1)	3-16d common (3 1/2" x 0.162") minimum, Table 2308.10.4.1 4-3"x0.131" nails 4-3/4" gage staples	face nail
18. CEILING JOISTS TO PARALLEL RAFTERS (see Section 2308.10.4.1, Table 2308.10.4.1)	3-16d common (3 1/2" x 0.162") minimum, Table 2308.10.4.1 4-3"x0.131" nails 4-3/4" gage staples	face nail
19. RAFTER TO PLATE (see Section 2308.10.1, Table 2308.10.1)	3-8d common (2 1/2" x 0.131") 3-3"x0.131" nails 3-3/4" gage staples	
20. 1" DIAGONAL BRACE TO EACH STUD AND PLATE	2-8d common (2 1/2" x 0.131") 2-3"x0.131" nails 3-3/4" gage staples	face nail
21. 1"x8" SHEATHING TO EACH BEARING	3-8d common (2 1/2" x 0.131")	face nail
22. WIDER THAN 1"x 8" SHEATHING TO EACH BEARING	3-8d common (2 1/2" x 0.131")	face nail
23. BUILT-UP CORNER STUDS	16d (3 1/2"x0.162") 3"x0.131" nails 3" 14 gage staples	24" o.c. 16" o.c. 16" o.c.
24. BUILT-UP GIRDER AND BEAMS	20d common (4" x 0.192") 32" o.c. 3"x0.131" nails at 24" o.c. 3" 14 gage staples at 24" o.c. 2-20d common (4" x 0.192") 3-3"x0.131" nails 3/4" gage staples	face nail at top and bottom staggered on opposite sides face nail at ends and at each splice
25. 2" PLANKS	16d common (3 1/2" x 0.162")	at each bearing
26. COLLAR TIE TO RAFTER	3-10d common (3" x 0.148") 4-3"x0.131" nails 4-3/4" gage staples	face nail
27. JACK RAFTER TO HIP	3-10d common (3" x 0.148") 4-3"x0.131" nails 4-3/4" gage staples	toenail
28. ROOF RAFTER TO 2-BY RIDGE BEAM	2-16d common (3 1/2" x 0.162") 3-3"x0.131" nails 3-3/4" gage staples	face nail
29. JOIST TO BAND JOIST	3-16d common (3 1/2" x 0.162") 4-3"x0.131" nails 4-3/4" gage staples	face nail
30. LEDGER STRIP	3-16d common (3 1/2" x 0.162") 4-3"x0.131" nails 4-3/4" gage staples	face nail
31. WOOD STRUCTURAL PANELS AND PARTICLE- BOARD SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING)	1/2" and less 6d 2 3/8"x0.113" nail 2 3/8" 16 gage 19/32" to 3/4" 8d or 6d 2 3/8"x0.113" nail 2 16 gage 7/8" to 1" 8d 1 1/8" to 1 1/4" 10d or 8d 3/4" and less 6d 7/8" to 1" 8d 1 1/8" to 1 1/4" 10d or 8d	
SINGLE FLOOR (COMBINATION SUBFLOOR- UNDERLAYMENT TO FRAMING)		
32. PANEL SIDING (TO FRAMING)	1/2" or less 5/8" 1/2"	6d 8d
33. FIBERBOARD SHEATHING	25/32"	No. 11 gage roofing nail 6d common (2" x 0.113") No. 16 gage staple No. 11 gage roofing nail 8d common (2 1/2" x 0.131") No. 16 gage staple
34. INTERIOR PANELING	1/4" 3/8"	4d 6d



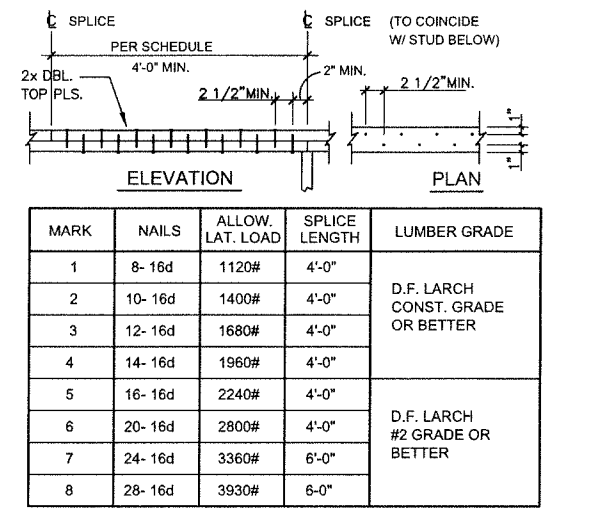
4 OVER-CUTS IN DBL TOP PLATES
NO SCALE CUT = NOTCH OR BORE



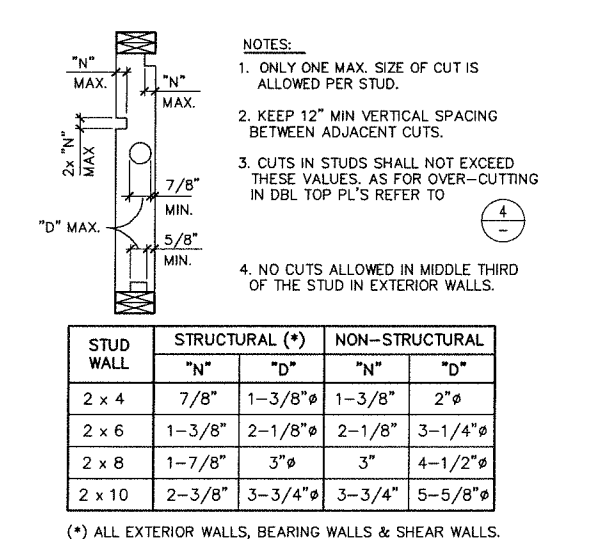
5 CUTS IN JOISTS & RAFTERS
NO SCALE CUTS = NOTCHES OR BORES



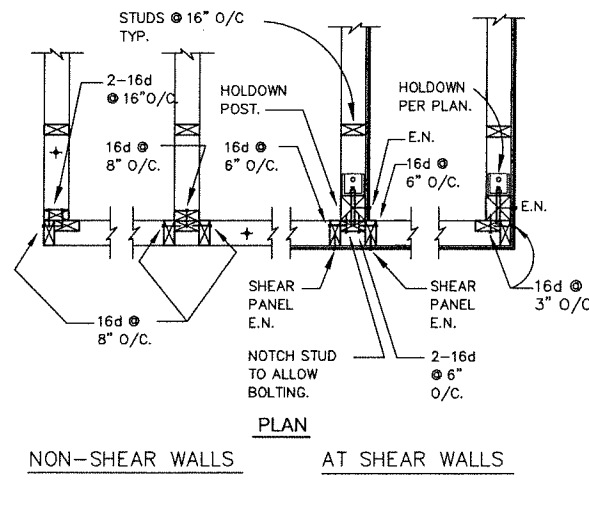
6 ANCHOR BOLTS LAYOUT
NO SCALE



7 DOUBLE TOP PLATE SPLICE SCHED.
NO SCALE



8 CUTS IN STUDS & DBL TOP PL'S
NO SCALE CUT = NOTCH OR BORE



9 TYP. STUD PLACEMENT @ WALL INTERSECTION
NO SCALE

7-TECH CONSULTING ENGINEERS

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REGISTERED PROFESSIONAL ENGINEER
No. C67545
7-TECH CONSULTING ENGINEERS
CIVIL
STATE OF CALIFORNIA

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DESIGNED BY : ZRD
ENGINEER : ZRD
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DATE :
DATE: 12-6-2021

DATE ISSUED : 8-20-2021

REVISIONS :
NO. DATE DESCRIPTION
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RESIDENTIAL ADDITION/REMODEL
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ESCONDIDO - CA. 92025

CIENT :
NICHE BUILDERS GROUP
1855 FIRST AVENUE
SAN DIEGO - CA. 92101

SHEET TITLE :
SCHEDULES & DETAILS



SHEET NUMBER :
S3

Page 21 of 29

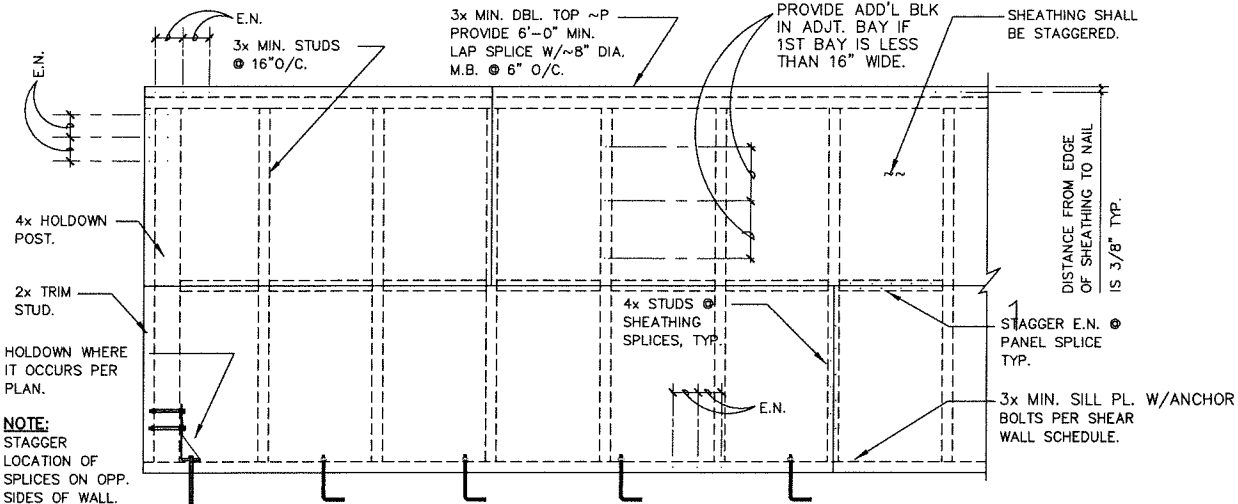
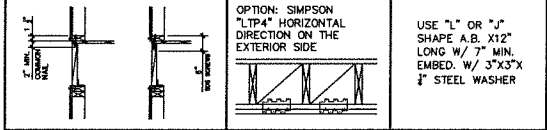
SHEAR WALL SCHEDULE PER TABLES 4.3A AND 4.3C OF NDS (SDPWS-2015)

SHEAR WALL TYPE	COLUMN 1 SHEATHING TYPE & THICKNESS	COLUMN 2 NAIL TYPE	COLUMN 3 FOUNDATION SILL PLATE SIZE	COLUMN 4 MIN. FRM'G. CONT. PANEL EDGES	COLUMN 5 EDGE NAILING E.N.	COLUMN 6 FIELD NAILING F.N.	COLUMN 7 SILL PLATE NAILING AT FLOOR FRAMING "NON-FOUNDATION"	COLUMN 8 "A35" CLIP SPACING	COLUMN 9 ANCHOR BOLT SIZE & SPACING	ALLOWABLE SHEAR CAPACITY (ASD)
D1	1/2" DRYWALL BOTH SIDES	NUMBER 6 TYPE S OR W DRYWALL SCREWS 1 1/4" LONG	2X	2X	8"	12"	2X PLATE: 16d @ 12" O.C. OR SDS25600 @ 16" O.C.	32" O.C.	3/8" @ 32" O.C.	60X2 = 120 PLF
D2	5/8" DRYWALL BOTH SIDES		2X	2X	8"	12"	2X PLATE: 16d @ 12" O.C. OR SDS25600 @ 16" O.C.	32" O.C.	3/8" @ 32" O.C.	70X2 = 140 PLF
S1	5/8" THICK STUCCO	0.120" NAIL X 1 1/2" LONG 16" HEAD GALVANIZED	2X	2X	6"	12"	2X PLATE: 16d @ 12" O.C. OR SDS25600 @ 16" O.C.	32" O.C.	3/8" @ 32" O.C.	180 PLF
P1	15/32" APA RATED SHEATHING PLYWOOD OR 15/32" APA RATED SHEATHING OSB	8d COMMON GALVANIZED AT P.T. PLATES	2X @ SLAB ON GRADE 3X @ RAISED FDN.	2X	6"	12"	2X PLATE: 16d @ 8" O.C. OR SDS25600 @ 12" O.C.	16" O.C.	3/8" @ 32" O.C.	260 PLF
P2	15/32" APA STRUCTURAL I PLYWOOD OR 15/32" APA STRUCTURAL I OSB	8d COMMON GALVANIZED AT P.T. PLATES	2X @ SLAB ON GRADE 3X @ RAISED FDN.	2X	6"	12"	2X PLATE: 16d @ 8" O.C. OR SDS25600 @ 8" O.C.	16" O.C.	3/8" @ 32" O.C.	280 PLF
P3	15/32" APA RATED SHEATHING PLYWOOD OR 15/32" APA RATED SHEATHING OSB	10d COMMON GALVANIZED AT P.T. PLATES	2X @ SLAB ON GRADE 3X @ RAISED FDN.	2X	6"	12"	2X PLATE: 16d @ 6" O.C. OR SDS25600 @ 12" O.C.	16" O.C.	3/8" @ 32" O.C.	310 PLF
P4	15/32" APA STRUCTURAL I PLYWOOD OR 15/32" APA STRUCTURAL I OSB	10d COMMON GALVANIZED AT P.T. PLATES	2X @ SLAB ON GRADE 3X @ RAISED FDN.	2X	6"	12"	2X PLATE: 16d @ 6" O.C. OR SDS25600 @ 8" O.C.	16" O.C.	3/8" @ 32" O.C.	340 PLF
P5	15/32" APA RATED SHEATHING PLYWOOD OR 15/32" APA RATED SHEATHING OSB	10d COMMON GALVANIZED AT P.T. PLATES	3X	3X, 4X, OR 2-2X PER DETAIL G	4"	12"	2X PLATE: 16d @ 4" O.C. OR SDS25600 @ 8" O.C.	12" O.C.	3/8" @ 32" O.C.	460 PLF
P6	15/32" APA STRUCTURAL I PLYWOOD OR 15/32" APA STRUCTURAL I OSB	10d COMMON GALVANIZED AT P.T. PLATES	3X	3X, 4X, OR 2-2X PER DETAIL G	4"	12"	2X PLATE: 16d @ 4" O.C. OR SDS25600 @ 6" O.C.	10" O.C.	3/8" @ 16" O.C.	510 PLF
P7	15/32" APA RATED SHEATHING PLYWOOD OR 15/32" APA RATED SHEATHING OSB	10d COMMON GALVANIZED AT P.T. PLATES	3X	3X, 4X, OR 2-2X PER DETAIL G	3"	12"	2X PLATE: 16d @ 3" O.C. OR SDS25600 @ 6" O.C.	8" O.C.	3/8" @ 16" O.C.	600 PLF
P8	15/32" APA STRUCTURAL I PLYWOOD OR 15/32" APA STRUCTURAL I OSB	10d COMMON GALVANIZED AT P.T. PLATES	3X	3X, 4X, OR 2-2X PER DETAIL G	3"	12"	2X PLATE: 16d @ 3" O.C. OR SDS25600 @ 6" O.C.	8" O.C.	3/8" @ 16" O.C.	665 PLF
P9	15/32" APA RATED SHEATHING PLYWOOD OR 15/32" APA RATED SHEATHING OSB	10d COMMON GALVANIZED AT P.T. PLATES	3X	3X, 4X, OR 2-2X PER DETAIL G	2"	12"	2X PLATE: 16d @ 2" O.C. OR SDS25600 @ 6" O.C.	6" O.C.	3/8" @ 16" O.C.	770 PLF
P10	15/32" APA STRUCTURAL I PLYWOOD OR 15/32" APA STRUCTURAL I OSB	10d COMMON GALVANIZED AT P.T. PLATES	3X	3X, 4X, OR 2-2X PER DETAIL G	2"	12"	2X PLATE: 16d @ 2" O.C. OR SDS25600 @ 4" O.C.	6" O.C.	3/8" @ 16" O.C.	870 PLF

FOOTNOTES:

- 1) FOR WALLS WITH PANEL ON ONE SIDE REFER TO 
- 2) FOR WALLS WITH PANEL ON BOTH SIDES REFER TO 
- 3) FOR PLYWOOD ON BOTH SIDES, ALL FRAMING EXCEPT DBL. PLS. SHALL BE 3X MIN.
- 4) FOR PLYWOOD ON BOTH SIDES, WALL SHALL BE 6" MIN.
- 5) FOR PLYWOOD ON BOTH SIDES, SPACING OF SILL PL. NAILING AND "A35" FASTENERS SHALL BE HALVED.
- 6) EDGE NAILING SHALL BE APPLIED TO BOTTOM & UPPER PL. AND ALL PLYWOOD EDGES. PROVIDE 2 ROWS OF E.N. FOR ALL POSTS 4X AND THICKER.
- 7) ALL NAILS SHALL BE COMMON TYPE WITH FULL HEADS ONLY. NO SINKERS OR BOX NAILS ALLOWED.
- 8) FOR SHEAR WALLS TYPE 5 THRU 10, ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS SHALL NOT BE LESS THAN 3X OR TWO 2" NOMINAL MEMBERS.
- 9) 8d MINIMUM PENETRATION IN FRAMING MEMBER SHALL BE 1 1/2".
- 10) 10d MINIMUM PENETRATION IN FRAMING MEMBER SHALL BE 1 1/2".
- 11) ALL SHEAR WALLS SHALL BE CONSTRUCTED OF WOOD STRUCTURAL PANELS MANUFACTURED AND STAMPED BY APA WITH EXTERIOR GLUE AND NOT LESS THAN 4 FEET X 8 FEET, EXCEPT AT BOUNDARIES AND AT FRAMING CHANGES (MIN. PANEL DIMENSION IS 2'-0")
- 12) PLYWOOD SHALL HAVE FRAMING OR BLOCKING AT ALL EDGES OF ALL SHEETS IN SHEAR WALLS.

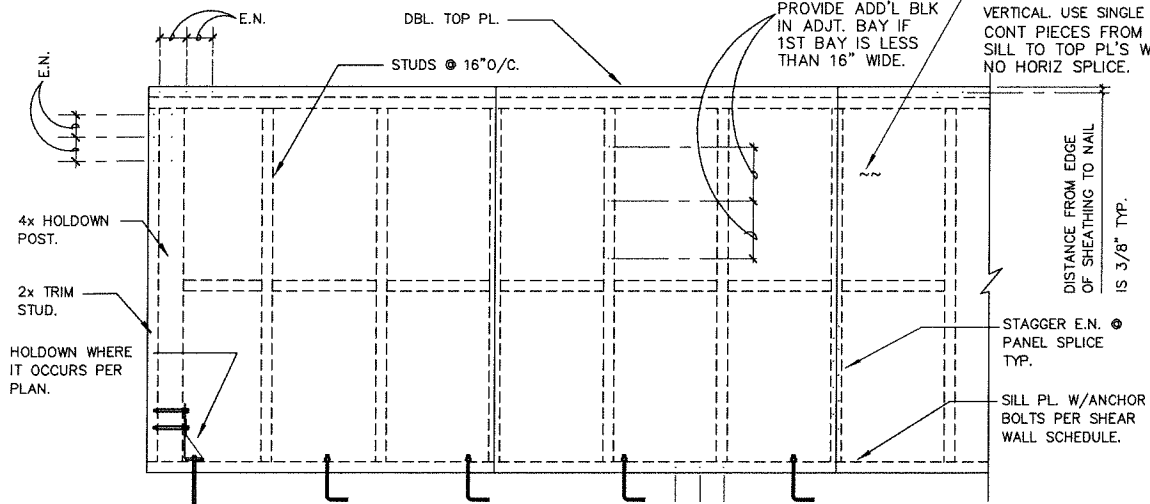
THESE SHEAR WALLS REQUIRE SPECIAL INSPECTION PER SCHEDULE REFER TO SHEET S3



2

NO SCALE

SHEAR PANEL ON BOTH SIDES
OVER 900#/FT. VALUES.



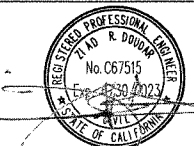
1

NO SCALE

SHEAR PANEL ON ONE SIDE

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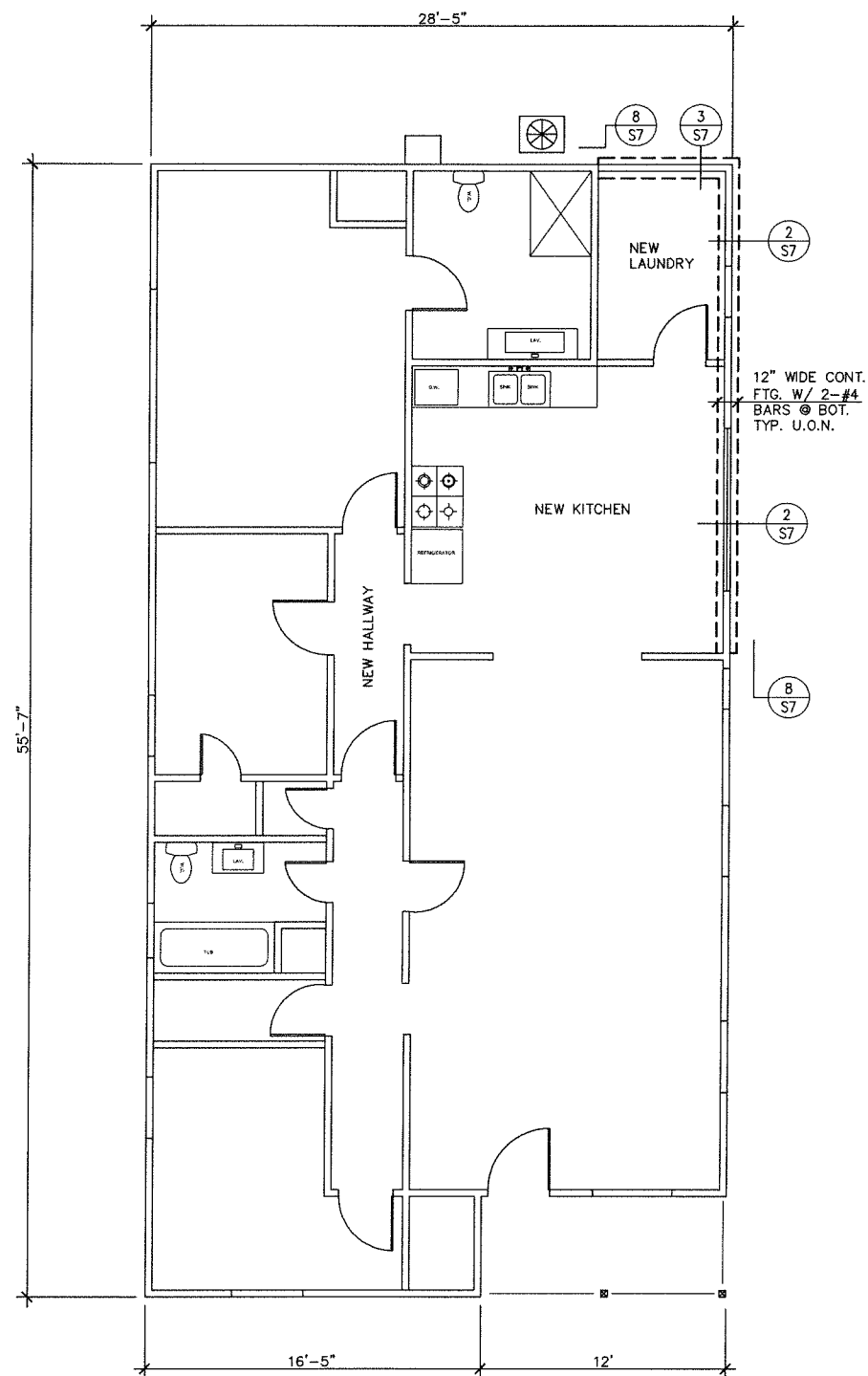
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NO.	DATE	DESCRIPTION
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ESCONDIDO - CA. 92025
CLIENT :
NICHE BUILDERS GROUP
1855 FIRST AVENUE
SAN DIEGO - CA. 92101

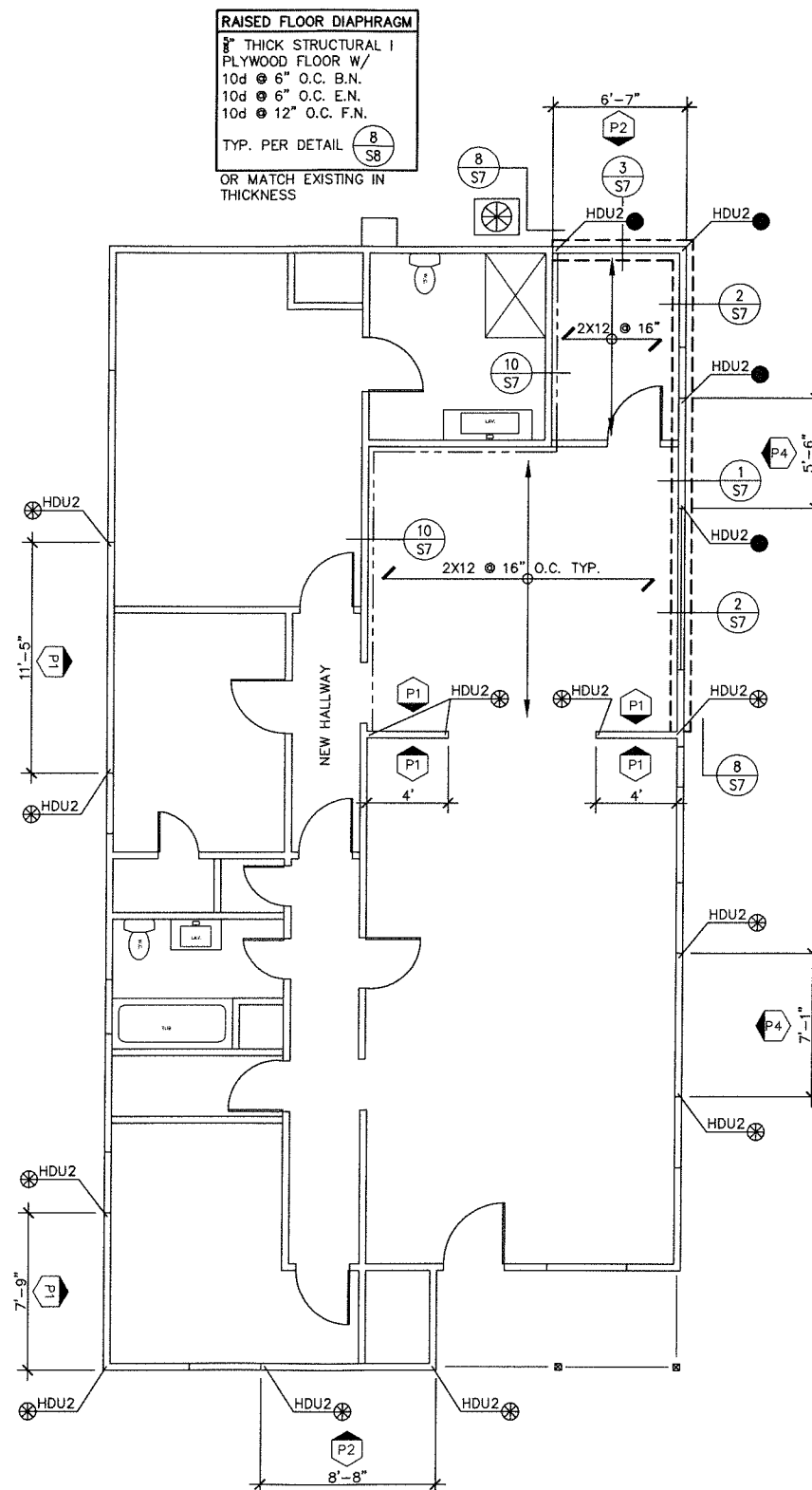
SHEET TITLE :
SHEAR WALL SCHEDULE

SHEET NUMBER :
S1



PARTILA FOUNDATION PLAN

SCALE" $\frac{1}{4}$ "=1'-0"



PARTIAL RAISED FLOOR FRAMING

SCALE" $\frac{1}{4}$ "=1'-0"

FOUNDATION NOTES:

1. REFER TO SHEET S1 FOR GENERAL NOTES AND MATERIAL SPECIFICATIONS.
2. REFER TO SHEET S2 FOR SPECIAL INSPECTION REQUIRED.
3. REFER TO SHEET S3 FOR NAILING SCHEDULE AND TYPICAL DETAILS.
4. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS. DO NOT SCALE FROM STRUCTURAL DRAWINGS.
5. ALL NEW STUD WALLS TO BE 2X4 @ 16" O.C. TYPICAL.
6. ALL DOUBLE SIDED SHEARWALLS TO BE 2X6 @ 16" O.C. REFER TO SHEAR WALL SCHEDULE SHEET S4.
7. ALL HOLDOWN ANCHORS SHALL BE TIED IN PLACE PRIOR TO FOUNDATION INSPECTION.
8. ALL ANCHOR BOLTS SHALL RECEIVE A SQUARE WASHER 3"x3"x0.25 THICK.
9. ALL EPOXIED OR EXPANSION ANCHORS SHALL RECEIVE SPECIAL INSPECTION. REFER TO SHEET S2.
10. THE LICENSED CONTRACTOR SHALL MAINTAIN ALL SAFETY MEASURES DURING CONSTRUCTION AND SHALL BE SOLELY RESPONSIBLE FOR ADEQUATELY BRACING AND/OR SHORING THE STRUCTURE DURING CONSTRUCTION.
11. ANY DEVIATION OR UNFORESEEN CIRCUMSTANCE IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO EXECUTING ANY WORK.



INDICATES TYPE OF SHEARWALL, REFER TO SHEET S4.

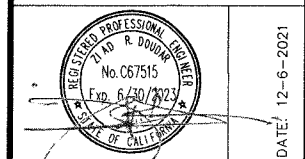


INDICATES NEW HOLDOWN ANCHOR PER (S7)



INDICATES EPOXIED/EXPANSION ANCHORS PER (S7) (S7)

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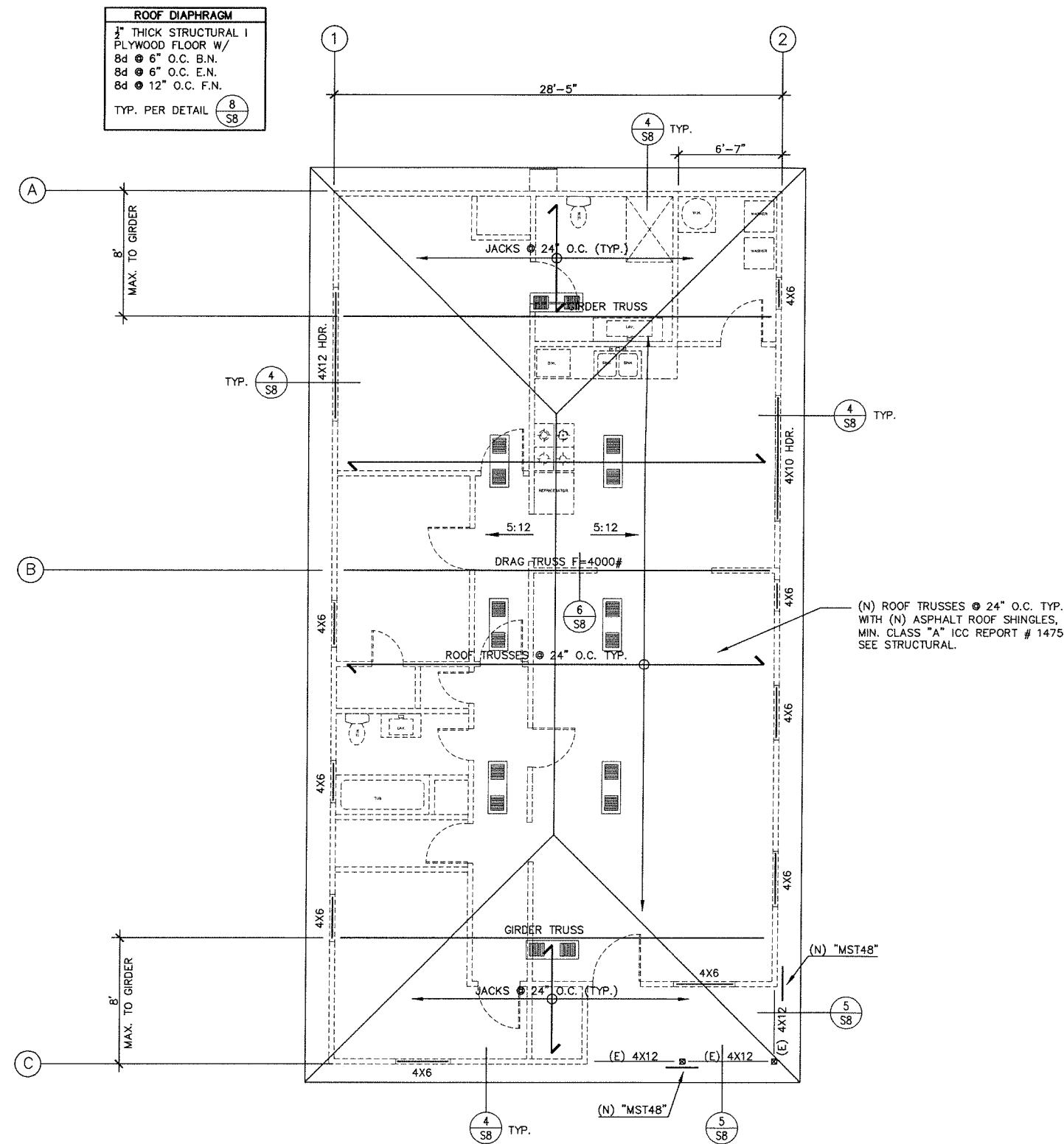
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CLIENT :
NICHE BUILDERS GROUP
1855 FIRST AVENUE
SAN DIEGO - CA. 92101

SHEET TITLE :
PARTIAL FOUNDATION
& RAISED FLOOR PLAN

SHEET NUMBER :
S5



PROPOSED ROOF PLAN

SCALE: 3/8"=1'-0"

ROOF FRAMING NOTES:

1. REFER TO SHEET S1 FOR GENERAL NOTES AND MATERIAL SPECIFICATIONS.
2. REFER TO SHEET S2 FOR SPECIAL INSPECTION REQUIRED.
3. REFER TO SHEET S3 FOR NAILING SCHEDULE AND TYPICAL DETAILS.
4. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS. DO NOT SCALE FROM STRUCTURAL DRAWINGS.
5. ALL NEW STUD WALLS TO BE 2X4 @ 16" O.C. TYPICAL.
6. ALL ROOF TRUSSES SHALL FABRICATED AND ERECTED BY A TRUSS MANUFACTURER.
7. TRUSS MANUFACTURER SHALL SUBMIT STAMPED AND SIGNED TRUSS CALCULATIONS BY A LICENSED ENGINEER TO THE CITY OF ESCONDIDO.
8. ALL TRUSS GIRDERS SHALL RECEIVE A MINIMUM OF DOUBLE STUDS AT EACH END OR 4X4 POST.
9. FOR ALL HEADER CONNECTIONS REFER TO DETAIL (1/S8)
10. FOR ALL NON-BEARING WALL CONNECTION, REFER TO (3/S8)

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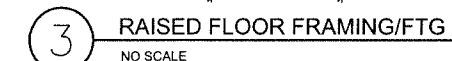
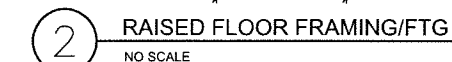
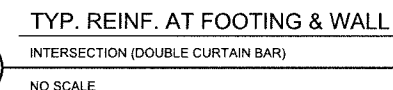
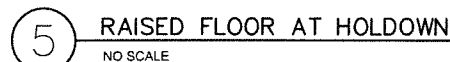
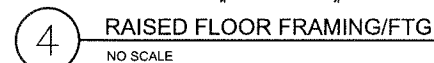
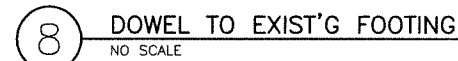
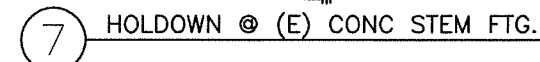
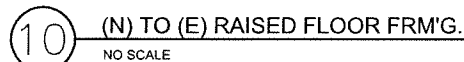
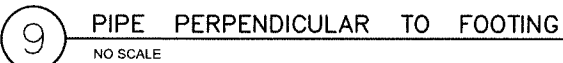
NO.	DATE	DESCRIPTION
△		
△		

JOB NAME :
 RESIDENTIAL ADDITION/REMODEL
 420 E. 8TH. AVENUE
 ESCONDIDO - CA. 92025

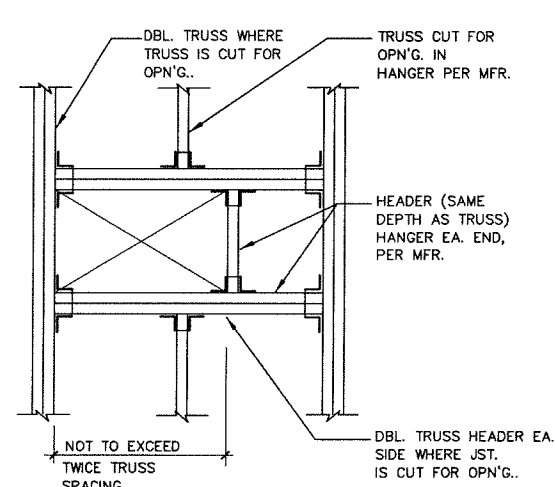
CLIENT :
 NICHE BUILDERS GROUP
 1855 FIRST AVENUE
 SAN DIEGO - CA. 92101

SHEET TITLE :
 ROOF FRAMING PLAN

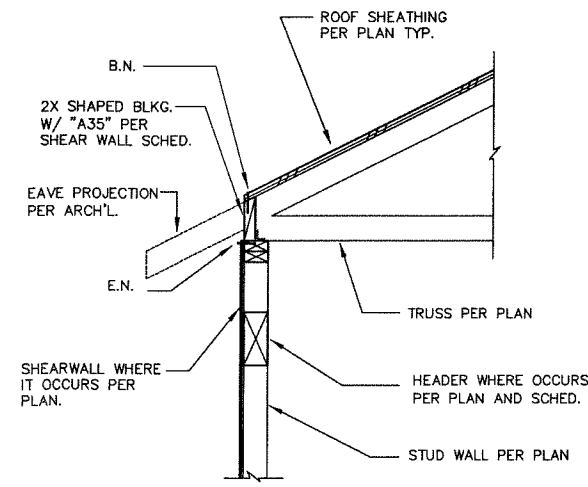
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S6



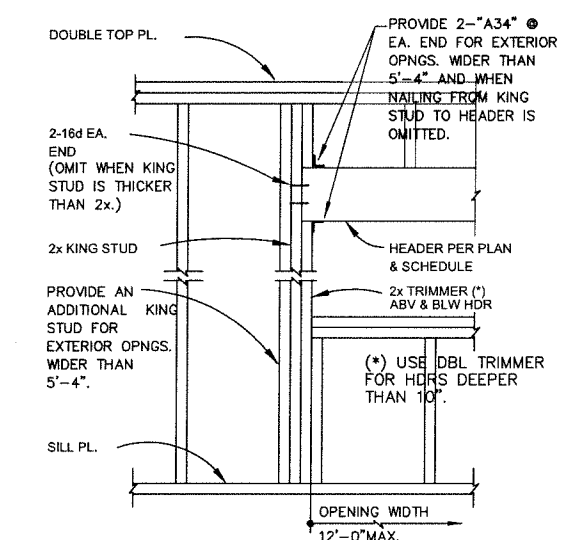
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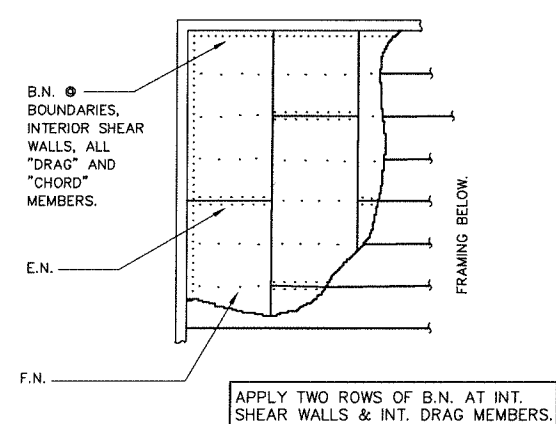
7 TRUSS FRAM'G @ OPN'GS
NO SCALE



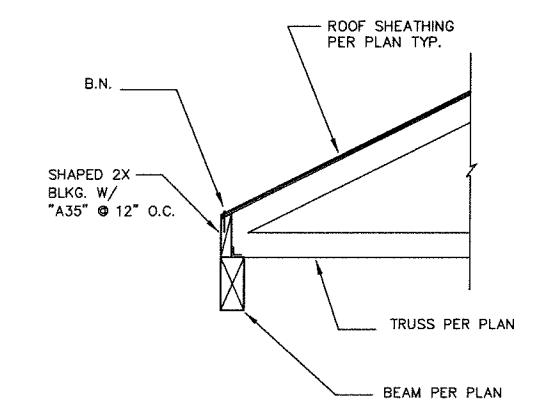
4 TRUSS TO PERIMETER WALL
NO SCALE



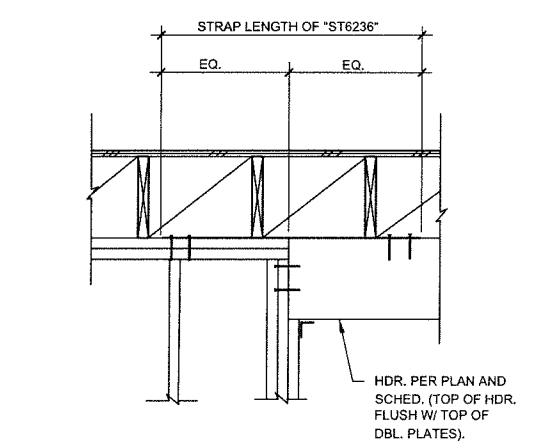
1 TYPICAL LINTEL DETAIL
NO SCALE



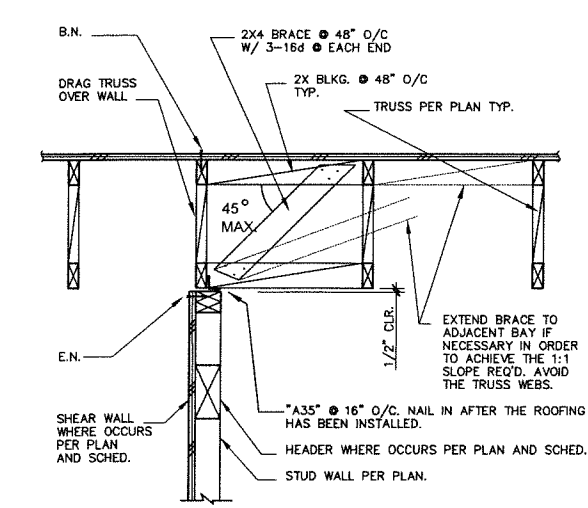
8 UNBLOCKED DIAPHRAGM
NO SCALE
B.N. BOUNDARY NAILING
E.N. EDGE NAILING
F.N. FIELD NAILING



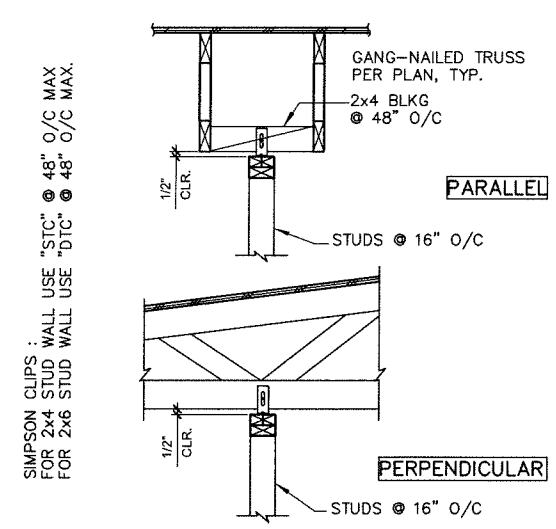
5 TRUSS TO BEAM
NO SCALE



2 HDR. @ DBL. PLATE LEVEL
NO SCALE



6 TRUSSES PARALLEL TO WALL
NO SCALE



3 TYP. NON-BRG. PART. CONN.
NO SCALE

2-TECH CONSULTING ENGINEERS

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DRAWN BY : ZRD
DESIGNED BY : ZRD
ENGINEER : ZRD
CHECKED BY :
DATE :
DATE ISSUED : 8-20-2021

REVISIONS :

NO.	DATE	DESCRIPTION
1		

JOB NAME :
RESIDENTIAL ADDITION/REMODEL
420 E. 8TH. AVENUE
ESCONDIDO - CA. 92025

CLIENT :
NICHE BUILDERS GROUP
1855 FIRST AVENUE
SAN DIEGO - CA. 92101

SHEET TITLE :
FRAMING DETAILS

SHEET NUMBER :
S8

CERTIFICATE OF COMPLIANCE

Project Name: 420 E. 8th Ave Addition

Calculation Description: Total 24 Analysis

Calculation Date/Time: 2023-08-16T18:22:33.000-0700

Input File Name: 420 E 8th Ave Add.rpt

C:\SR-PM\9

(Page 1 of 9)

GENERAL INFORMATION					
01	Project Name: 420 E. 8th Ave Addition				
02	Run Title: Total 24 Analysis				
03	Project Location: 420 E. 8th Ave				
04	City	Camden	05	Standards Version: 2019	
06	Zip Code	08205	07	Software Version: Eng/cyrcs 3.2	
08	Climate Zone	3D	09	Front Orientation (deg/ Cardinal): 135	
10	Building Type	Single Family	11	Number of Dwelling Units: 1	
12	Project Sector	Suburban/Hamlet	13	Number of Bedrooms: 3	
14	Addition Count: Floor Area (sq ft)		15	Number of Stories: 1	
16	Existing Count: Floor Area (sq ft)		17	Foundation Average U-Value: 0.3	
18	Total Comp. Floor Area (sq ft)		19	Glazing Percentage (%): 15.22%	
20	ADU Bedroom Count		21	ADU Conditional Floor Area (sq ft)	
22	Is National Code Applicable? Yes				

COMPLIANCE RESULTS				
01	Building Compliant with Computer Requirement			
02	This building incorporates features that require field testing and/or verification by a certified RBS user under the supervision of a CEC-approved MORS provider.			
03	Building does not incorporate Special Features			

ENERGY USE SUMMARY				
Energy Use (BTU/h) (sq ft)	Standard Design	Proposed Design	Compliance Margin	Potential Improvement
Space Heating	13.72	0.18E	0.04	1.5
Space Cooling	94.2	36.3	7.0	0.4
HVAC Ventilation	0	0	0	0
Water Heating	12.05	27.35	0	0
Self-Monitoring/Service Green	n/a	0	0	n/a
Compliance Energy Total	145.07	73.83	8.26	5.6

Registration Number: 271444497/Status:Completed/Type:CA Building Energy Use Summary (cf - 2019 National Code Compliance)

Report Search Date/Time: 2023-08-16T18:22:33.000-0700

Report Version: 2019.5.200

Report Provider: CA (CF) 15-0

Report Generated: 2023-08-16 13:25:10

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01		02		03		04		05		06		07		08		09		10		11	
Name		System Type		Heating Unit Name		Cooling Unit Name		Run Name		Distribution System		Required Thermostatic Control		Status		Verified Existing Condition		Heating Equipment Count		Cooling Equipment Count	
Formica-1		Heating and cooling systems cabinet		Heating Component 1		Cooling Component 1		H01G-E-1-1		Air Distribution System-1		Service		Active		No		1		1	

HVAC - HEATING UNIT TYPES							
01		02		03		04	
Name		System Type		Number of Units		Heating Efficiency	
Heating Component 1		Central gas furnace		1		H01G-100	

HVAC - COOLING UNIT TYPES															
01		02		03		04		05		06		07		08	
Name		System Type		Number of Units		Efficiency EER/SEER		Efficiency SEER		Durability Construction		Multi-speed Compressor		HERS Verification	
Cooling Component 1		Central split AC		1		12.2		14		Not Zero		Single Speed		Cooling Equipment Labels are	

HVAC COOLING - HERS VERIFICATION															
01		02		03		04		05		06		07		08	
Name		Verified EER		Airflow Export		Verified EER		Verified SEER		Verified Multi-Speed		Verified Refrigerant Charge		Verified Refrigerant Charge	
Cooling Component 1		Not Required		0		Not Required		Not Required		Not Required		Not Required		Not Required	

CERTIFICATE OF COMPLIANCE Project Name: 420 E. 9th Ave Addition Calculation Description: T-16 24 Analysis		Calculation Date/Time: 2021-08-16T15:33:00-07:00 Input File Name: 420 E 9th Ave.420134		C16R-PM-010 (Page 2 of 9)		
REQUIRED SPECIAL FEATURES The following are features that must be provided in addition for meeting the mandated energy performance for this computer analysis. N = NO SPECIAL FEATURES REQUIRED						
OTHER FEATURE SUMMARY The following is a summary of the features that must be field-verified by a certified BERS Rater as a condition for meeting the mandated energy performance for this computer analysis. Additional details are provided in the Rating Action Sheet. Registered CTOs and CTOs are required to be completed in the web registry. Heating Input Verification: * Boiler range Hood Cooling System Verification: * Low Efficiency Split/A/C Heating System Verification: * None HVAC Distribution System Verification: * Duct Sealing Required for All Part Load Equipment; otherwise, co-ax bundling seal is allowed Ductwork: Heat Meter System Verification: * None						
BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft ²)	Number of Showering Units	Number of Bedrooms	Number of Joints	Number of Ventilation Cooling Systems	Number of Water Heaters
420 E. 9th Ave Addition	3,513	2	3	2	0	1
ZONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft ²)	Avg. Ceiling Height	Water Heating System 1	Water Heating System 2
Existing	Conditioned	Humidistat/C	1315	8	DHW Sp-1	N/A
Addition	Conditioned	Humidistat/C	2218	8	DHW Sp-1	N/A

CERTIFICATE OF COMPLIANCE					Calculation Date/Time: 2021-08-07 11:17:00-07:00		C18-PF-010	
Project Name: 420 E. 8th Ave Addition					Input File Name: 420 E 8th Ave.dwg		(Page 5 of 9)	
Calculation Description: Title 24 Analysis								
DISCRETE SURFACE CONSTRUCTIONS								
01	02	03	04	05	06	07	08	
Construction Name	Surface Type	Construction Type	Finishing	Total U-Value R-value:	Inverter / Exchanger Coefficient R-value	U-factor:	Assembly Layers	
W-13 Wall	Exterior Wall	Wood Framed Wall	1x8 pl 16 in. O.C.	0.55	None / None	0.095	Inside Finish: Gypsum board Gypsum / Insulator: 1 1/2" Dual Insulator: R-15 Exterior Finish: 1/2" Cementitious	
W-16 Wall	Interior Wall	Wood Framed Wall	2x4 pl 16 in. O.C.	1.0	None / None	0.297	Inside Finish: Gypsum board Gypsum / Finishing material: 1/2" Exterior: Gypsum board, 1/2"	
Area: Wood Ceiling	Area: Ceiling	Wood Framed Ceiling	2x4 pl 24 in. O.C.	0.0	None / None	0.044	Finishing: Gypsum board, 1/2" Insulator: None Gypsum/Insulating Exterior: Finishing material, 1/2"	
Area: Wood Ceiling	Area: Ceiling	Wood Framed Ceiling	2x4 pl 24 in. O.C.	0.0	None / None	0.044	Finishing: Gypsum board, 1/2" Insulator: None Gypsum/Insulating Exterior: Finishing material, 1/2"	
Interior Floor: Concrete	Floor: Slab Concrete	Wood Framed Floor	2x12 @ 18 in. O.C.	1.0	None / None	0.216	Floor Surface: Carpeted Floor Girth: Wood Exterior: Finishing material, 1/2"	
2x18 Floor Construction	Floor: Slab Concrete	Wood Framed Floor	2x12 @ 18 in. O.C.	0.31	None / None	0.046	Floor Surface: Carpeted Floor Girth: Wood Exterior: Finishing material, 1/2"	
W-18 Roof Deck	Ceilings: Deck Deck	Wood Framed Ceiling	2x4 pl 24 in. O.C.	0.56	None / None	0.029	Deck Ceiling: Plywood 5/8" thick Deck / Finishing material: 1/2" Insulator: None, Gypsum board	

HVAC - DISTRIBUTION SYSTEMS																
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	
Design	Flow	Pressure	Supply	Return	Supply	Return	Supply	Return	Supply	Return	Supply	Return	Supply	Return	Supply	Return
Room	Type	Design Type	Flow	Pressure	Supply	Return	Supply	Return	Supply	Return	Supply	Return	Supply	Return	Supply	Return
Room 1	Room 1	Room 1	Room 1	Room 1	Room 1	Room 1	Room 1	Room 1	Room 1	Room 1	Room 1	Room 1	Room 1	Room 1	Room 1	Room 1




HVAC - RAIN SYSTEMS			
01	02	03	04
Name	Type	Flow Rate (GPM/100 SF)	Notes
Room 1	Room 1	Room 1	Room 1

HVAC RAIN SYSTEMS - HEAT VERIFICATION	
01	02
Name	Verified Heat Flow Rate
Room 1	Room 1



<div> <div>CERTIFICATE OF COMPLIANCE</div> <div> <div>Project Name: 4320 E. 8th Ave Addition</div> <div>Calculation Date/Time: 2023-06-16T11:13:00 (PDT)</div> </div> <div> <div>Calculation Description: Tilt-2 Analysis</div> <div>Input File Name: 4320 E 8th Ave Addition.tbl</div> </div> </div> <div>CFR 906.05 (Page 1 of 5)</div>											
DISJOINT SURFACES											
01	02	03	04	05	06	07	08	09	10	11	12
Name	Zone	Connection	Area	Orientation	Gross Area (sq ft)	Windward and Upwind Area (sq ft)	Tilt (deg)	Wall Exception	Status	Verified	Existing Condition
Front Wall	Existing	Default Wall Prior to 1977	155	Expos. 254	154	154	90	None	Existing	Yes	
Left Wall	Existing	Default Wall Prior to 1977	275	Left	254	64.9	90	None	Existing	Yes	
Rear Wall	Existing	Default Wall Prior to 1977	515	Rear	154	0	90	None	Existing	Yes	
Right Wall	Existing	Default Wall Prior to 1977	45	Right	254	148.9	90	None	Existing	Yes	
Rear Wall 2	Addition	0-15 Year	315	Back	0	0	90	Exclusions	New	Yes	
Right Wall 2	Addition	0-15 Year	45	Right	214	62.6	90	Exclusions	New	Yes	
Interior Surface	Additional Detail	0-15 Year	515	Rear	0	0	15.4	None	New	Yes	
Interior Surface 2	Additional Detail	0-15 Year	45	Right	0	0	90	None	New	Yes	
Roof	Existing	0-15 Year	1235	123.5	123.5	123.5	12.3	None	Existing	Yes	
Roof 2	Addition	0-15 Year	275	Left	275	64.9	12.3	None	Existing	Yes	
Roofed Floor	Existing	Default Floor Construction	1235	123.5	123.5	123.5	12.3	None	Existing	Yes	
Roofed Floor 2	Addition	0-15 Year Construction	45	Right	275	64.9	12.3	None	Existing	Yes	
ATTIC											
01	02	03	04	05	06	07	08	09	10	11	12
Name	Connection	Type	Roof Rise (in 12)	Roof Inclination	Roof Pitch	Roof Pitch	Roof Pitch	Roof Pitch	Status	Verified	Existing Condition
Attic Existing	Attic Bay Existing	Vertical	0	0	0	0	0	0	None	Existing	Yes
Attic Existing	Attic Bay Existing	Vertical	0	0	0	0	0	0	None	Existing	Yes

CERTIFICATE OF COMPLIANCE Project Name: 430 E. 3rd Ave And 3rd Calculation Description: Title 24 Analysis				Calculation Date/Time: 2023-04-04T11:13:00-07:00 Input File Name: 430 E 3rd Jan 2023.rtd				CFR-Part 610 (Page 6 of 9)				
BUILDING ENVELOPE - PERMS VERIFICATION												
E1		E2				E3			E4			
Quality Insulation Penetration (QIP)		High R-Value Spray Foam Insulation				Building Envelope Air Leakage			Compl'd			
Not Required		Not Required				Not Required			N/A			
WATER HEATING SYSTEMS												
G1	G2	G3		G4	G5	G6	G7	G8	G9	G10	G11	
Name	System Type	Distribution Type		Water Heater Name (WH)	Water Heating System	Combustion Distribution	HEAT Verification	Status	Verified Existing Condition	Existing Water Heating System		
Direct Sp. 3	Electric Hot Water (DHW)	Water Distribution System		Electric Water Sp. 3.11	n/a	None	n/a	Existing	Yes			
WASTE HEATERS												
H1	H2	H3	H4	H5	H6	H7	H8	H9	H10	H11	H12	
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (Lb)	Energy Factor or Efficiency	Input Rating or IPH (kW)	Tank Insulation R-Value (inches)	Standby Loss or Recovery (F)	Limit or Flow Rate	NEE Heat Pump Brand or Model	Loc. Location or Model	Status
Direct Water 1	Gas	Gaswater Storage	3	55	0.6-1.02	14.75 10.0% 10.0%	0	70	85 gpm	n/a	n/a	Existing
WATER HEATING - HEATING DISTRIBUTION												
D1	D2	D3		D4	D5	D6	D7	D8	D9	D10	D11	
None	Pipe Insulation	Parallel Piping		Compact Distribution	Complete Distribution Type	Recirculation Control	Control Order Distribution	Shower Stalls Water Heat Recovery				
Direct Sp. 1, 12	Not Required	Not Required		Not Required	None	Not Required	Not Required	Not Required				

[illegible]

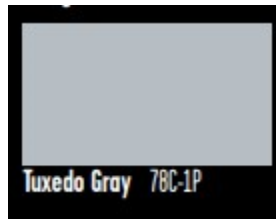
<div></div>		<div>13060 CHAMBERD WAY SAN DIEGO, CA. 92130</div>		<div>TEL (858) 218-4600 FAX (858) 549-2121 zdouder@gmail.com</div>	
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CHECKED BY : _____		DATE : _____		_____	
DATE ISSUED : 08-20-2021					
REVISIONS :					
NO.		DATE		DESCRIPTION	
△		_____		_____	
△		_____		_____	
△		_____		_____	
JOB NAME :		RESIDENTIAL ADDITION/REMODEL 420 E. 8TH. AVENUE ESCONDIDO - CA. 92025			
CLIENT :		NICHE BUILDERS GROUP 1855 FIRST AVENUE SAN DIEGO - CA. 92101			
SHEET TITLE : TITLE-24 ENERGY					
SHEET NUMBER : T1					

[illegible]

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		DATE: 08-20-2021	
ZRO			
ZRD			
ZRO			
DATE			

[illegible][illegible]

ATTACHMENT 3
PL22-0057



Proposed Body Color
Texcote Tuxedo Gray 78C-1P



Proposed Trim Color
Texcote Bright White T-314



Proposed Roofing Color and Material
Owens Corning Duration Composition Shingle in Night Sky